

PROPOSED OUTBUILDING FLOOR PLAN 1:50  
(INTERNAL AREA = 21.9Square mm)

**SMOKE DETECTION**  
Mains operated linked smoke alarm detection system to BS EN 14604 and BS 5839-6:2019 to at least a Grade D category LD3 standard and to be mains powered with battery back up. Smoke alarms should be sited so that there is a smoke alarm in the circulation space on all levels/ storeys and within 7.5m of the door to every habitable room. If ceiling mounted they should be 300mm from the walls and light fittings. Where the kitchen area is not separated from the stairway or circulation space by a door, there should be an interlinked heat detector in the kitchen.

**ESCAPE WINDOWS**  
Provide emergency egress windows to any newly created first floor habitable rooms and ground floor inner rooms. Windows to have an unobstructed openable area that complies with:  
- minimum height of 450mm and minimum width of 450mm.  
- minimum area 0.33m<sup>2</sup>.  
- the bottom of the openable area should be not more than 1100mm above the floor.  
The window should enable the person to reach a place free from danger from fire.

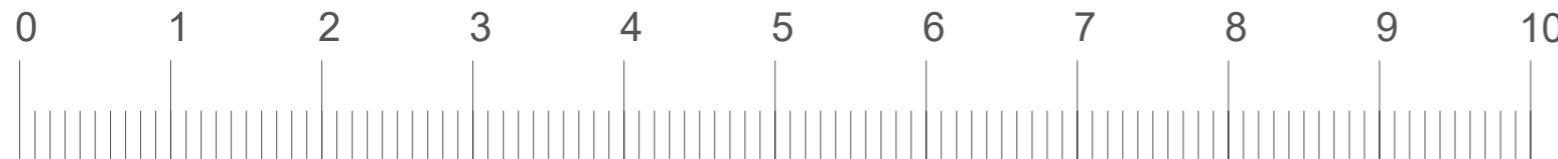
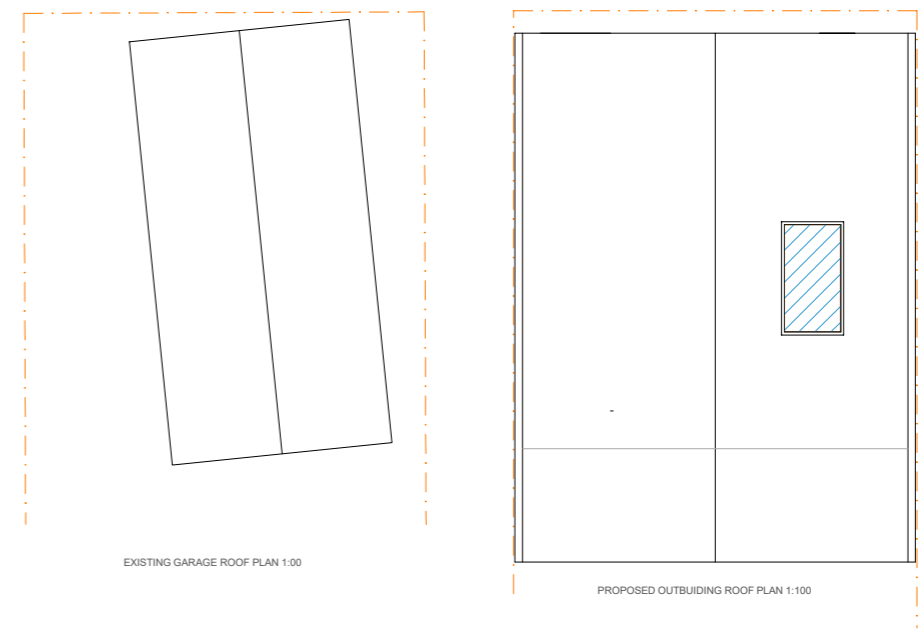
**INTERNAL STUD PARTITIONS**  
100mm x 50mm softwood treated timbers studs at 400mm ctrs with 50 x 100mm head and sole plates and solid intermediate horizontal noggins at 1/3 height or 450mm. Provide min 10kg/m<sup>3</sup> density acoustic soundproof quilt tightly packed (eg. 100mm Rockwool or Isowool mineral fibre sound insulation) in all voids the full depth of the stud. Partitions built off doubled up joists where partitions run parallel or provide noggins where at right angles, or built off DPC on thickened concrete slab if solid ground floor. Walls faced throughout with 12.5mm plaster board with skim plaster finish. Taped and jointed complete with beads and stops


**ELECTRICAL**  
All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme such as BRE certification Ltd, BSI, NICEIC Certification Services or Zurich Ltd. An appropriate BS7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so. A copy of a certificate will be given to Building Control on completion.

**INTERNAL LIGHTING**  
Install low energy light fittings that only take lamps having a luminous efficiency better than 80 lumens per circuit watt. All fixed to have lighting capacity (lm) 185 x total floor area, to comply with Part L of the current Building Regulations and the Domestic Building Services Compliance Guide.

**FIXED EXTERNAL LIGHTING**  
Install low energy light fittings that only take lamps having a luminous efficiency better than 80 lumens per circuit watt. External light fittings to have both the following:  
- Automatic controls which switch luminaires off in response to daylight  
- If luminous efficacy is 75 light source lumens or less automatic controls which switch luminaires off after the area lit becomes unoccupied, if luminous efficacy is greater than 75 light source lumens, manual control can be installed.

**LEAD WORK AND FLASHINGS**  
All lead flashings, any valleys or soakers to be Code 5 lead and laid according to Lead Development Association. Flashings to be provided to all jambs and below window openings with welded upstands. Joints to be lapped min 150mm and lead to be dressed 200mm under tiles, etc. All work to be undertaken in accordance with the Lead Development Association recommendations



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|  | CDM Regulations 2007. Party Wall Act 1996, Clients and contractors are reminded that the project is within the scope of these regulations MBL Associates Ltd engaged as designers will not accept any liability for failure of these parties to carryout their duties as required by these statutes   | ALL STRUCTURAL INFORMATION TO BE IN CONNECTION WITH STRUCTURAL ENGINEERS CALCULATION AND DRAWINGS   |   | <b>Scale:</b><br>1:50 & 1:100 @ A3                               | <b>Date:</b><br>09/04/2024 |
|  |   |   |   | <b>Drawing No</b>  | SFR10/003                  |