

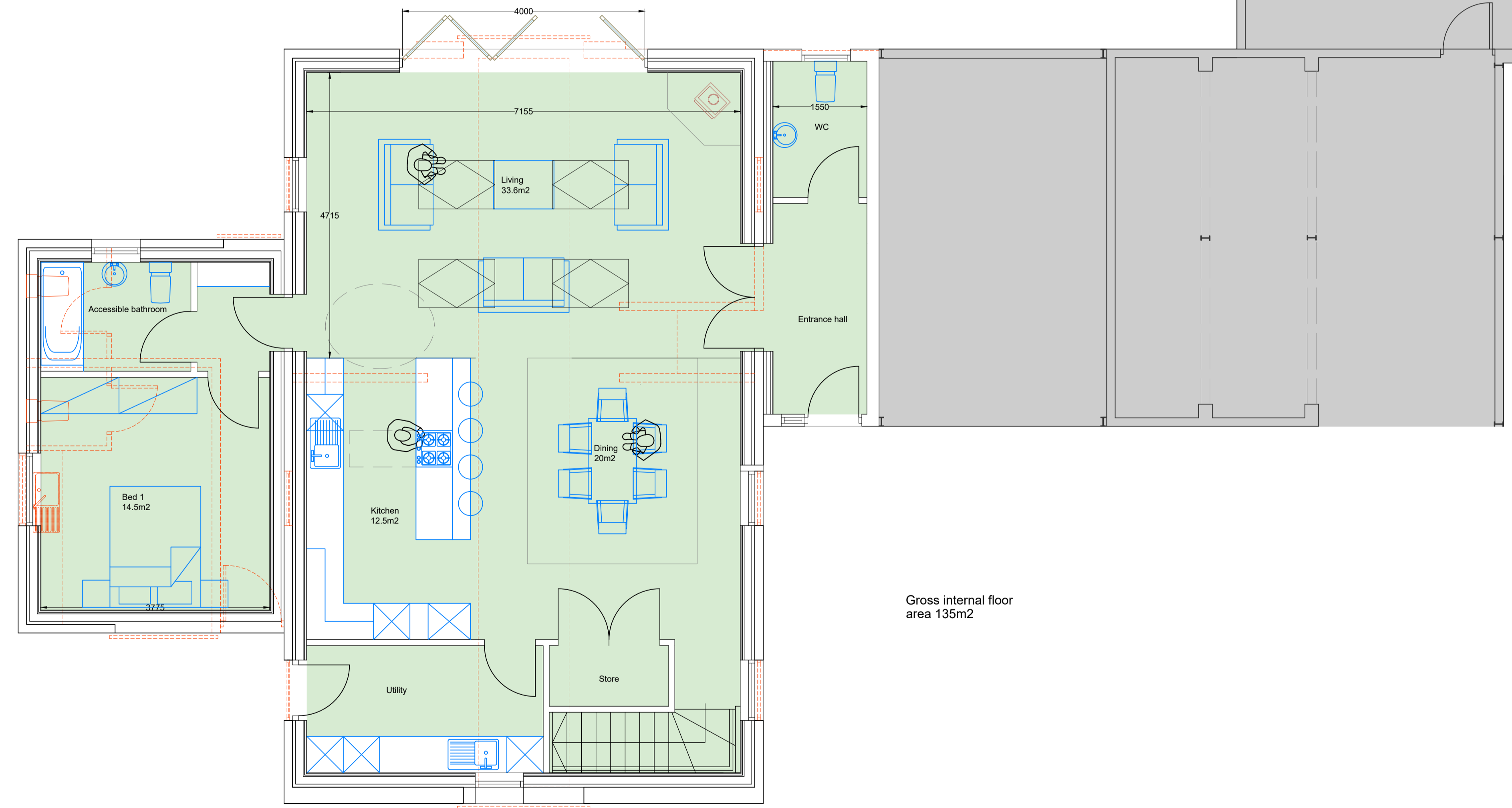
Section AA at stair

Existing Floors:
Break out and remove existing concrete floors and excavate to sound bearing.
New Floor:
65 self levelling screed with integral underfloor heating pipes
polythene slip layer
50 wide Xtratherm XT/UF perimeter insulation to full depth of screed
150 reinforced concrete, thickened below new timber frame to Str.Engs. specification.

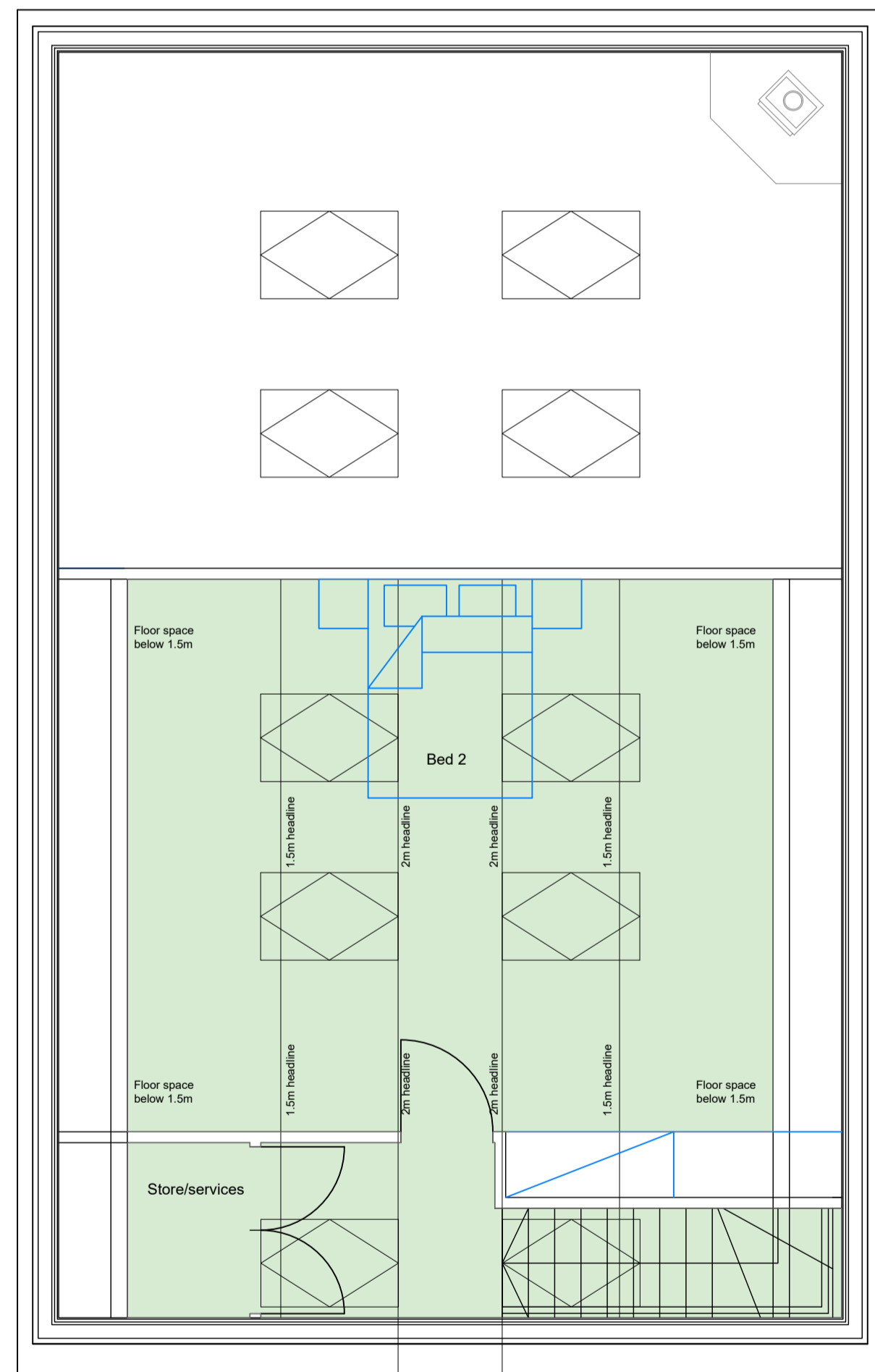
Improved Walls:
existing rendered brick
50 cavity
Tyvek Housewrap BM or equivalent
9 OSB
90 Knauf Earthwool Frametherm 35 Roll insulation between 95x45 C16 SW @ 400c/c with dwangs at 1200 vert' c/c
25 Xtratherm XT/TF insulation to inner face
Protect VC Foil Ultra AVCL
25x50 battens @400c/c forming service zone
12.5 Gyproc Wallboard
Plaster skim coat

Existing Roof:
Remove cement asbestos sheets and dispose of responsibly via a SEAP-licenced contractor.
Remove existing purlins and trusses.
Apply preventative insecticide treatment to all timbers.

New Roof:
New attic trusses to retain roofline.
Sandtoft NEO interlocking pantiles
Proctors Roofshield sarking membrane with 300 wide HD felt under at eaves and into gutter
19 sarking with min'2mm gap between each on trusses to retain existing roofline
90mm Xtratherm XT between rafters 30mm over face ceiling joists with
150 Knauf Earthwool Loft Roll 40 between ceiling joists and 150mm over
12.5 Gyproc Wallboard
Plaster skim coat



Ground floor plan



First floor plan

Gross internal floor area 135m2

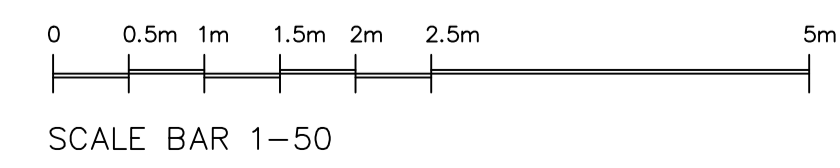
Unforeseen works
It is not always possible to identify all elements of construction of an existing building without carrying out extensive disruptive surveys at an early stage. The client should make allowance within their contingency for any costs associated with unforeseen works uncovered as the works progress.

Design Scheme Costs
Extension to dwelling based on £2000 to £2500 per m2
Area of extension XXm2
Construction cost band : EXX - EXX
All construction costs are subject to the addition of VAT
Note that these costs are broad brush indicative figures only based on generic square metre rates and do NOT take account of specific construction details. We STRONGLY recommend obtaining a detailed budget cost at an early design stage from a qualified quantity surveyor in order to achieve cost certainty at tender stages.

CDM (Construction - Design and Management) 2015
In order to avoid foreseeable risks The Principal Designer has eliminated hazards where reasonably practicable at the design phase. Where foreseeable hazards could not be designed out and in order to reduce the risk associated with those that remain, the following hazards have been identified :
1.
2.
.....

Rev	Description	Date	By	Chk'd
X	XXXXXXXXXXXXXXXXXX		XXXXXX	XX

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Drawings to be read & fully understood before work commences. **IF IN DOUBT ASK.** Use figured dimensions only.
All dimensions, spot levels and drainage positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported back to ABC Ltd



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Project: 10 Camptoun Holdings
Drawing title: Floor plans proposed

Project ref	Drawing No.	Issue status		
601	06	Prior Not.		
Scale	Print	Date	Drawn by	Ch'd by
1:50	A1	18/03/24	FJS	XXX