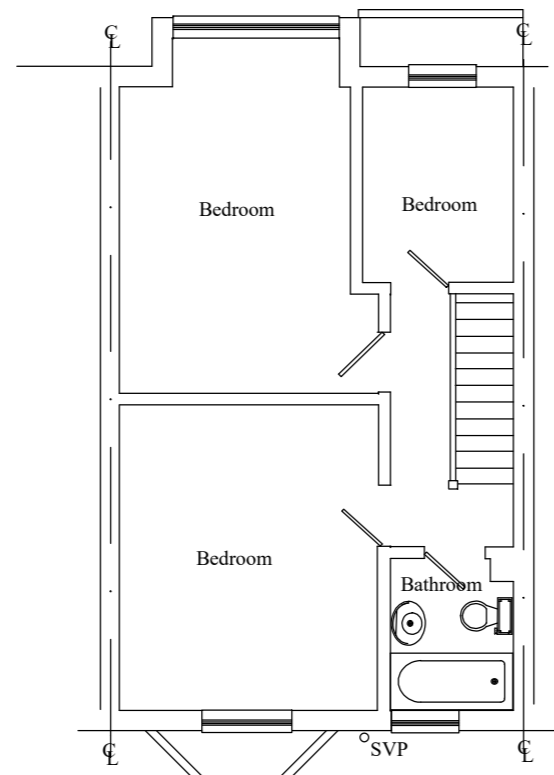
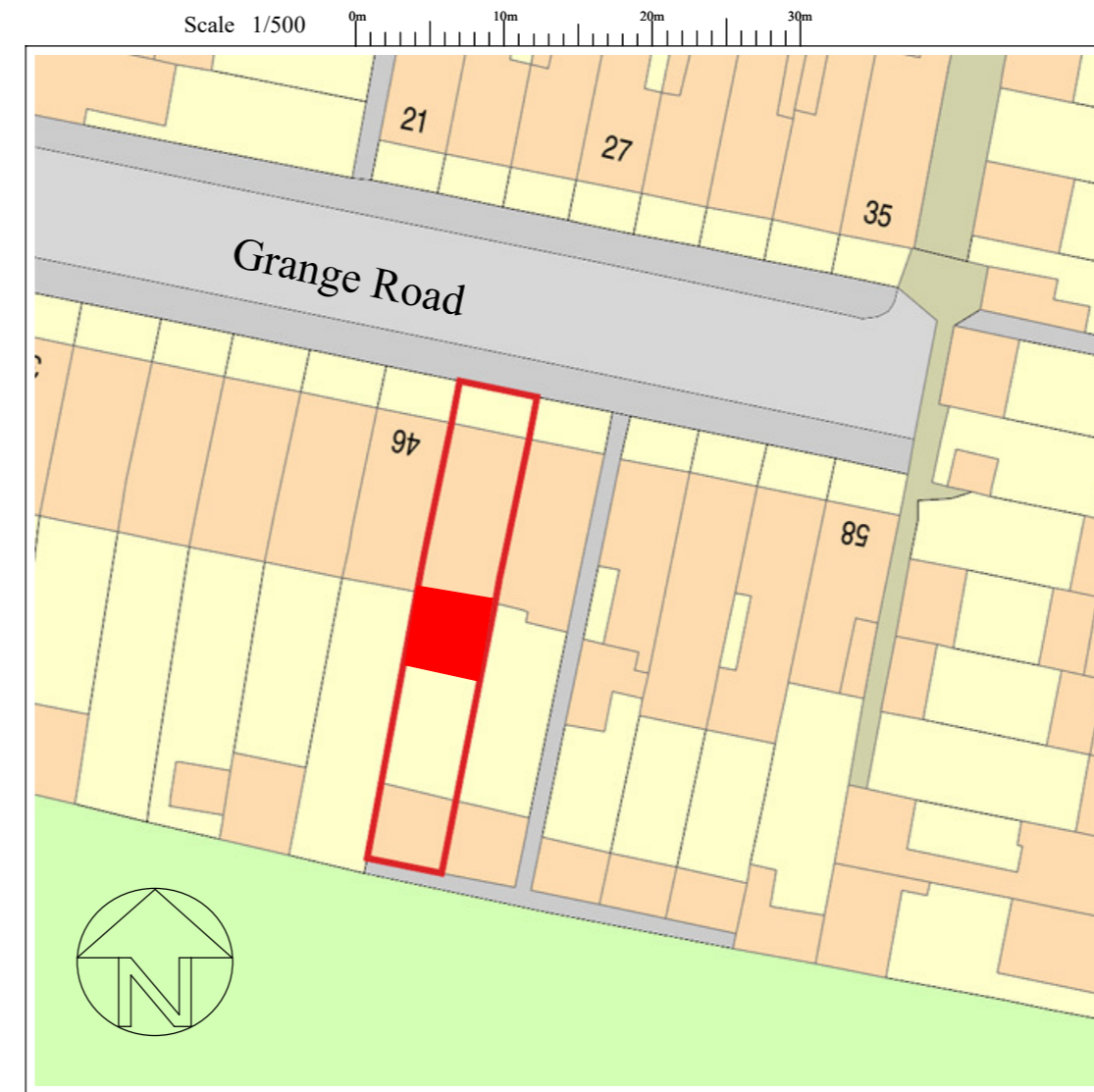


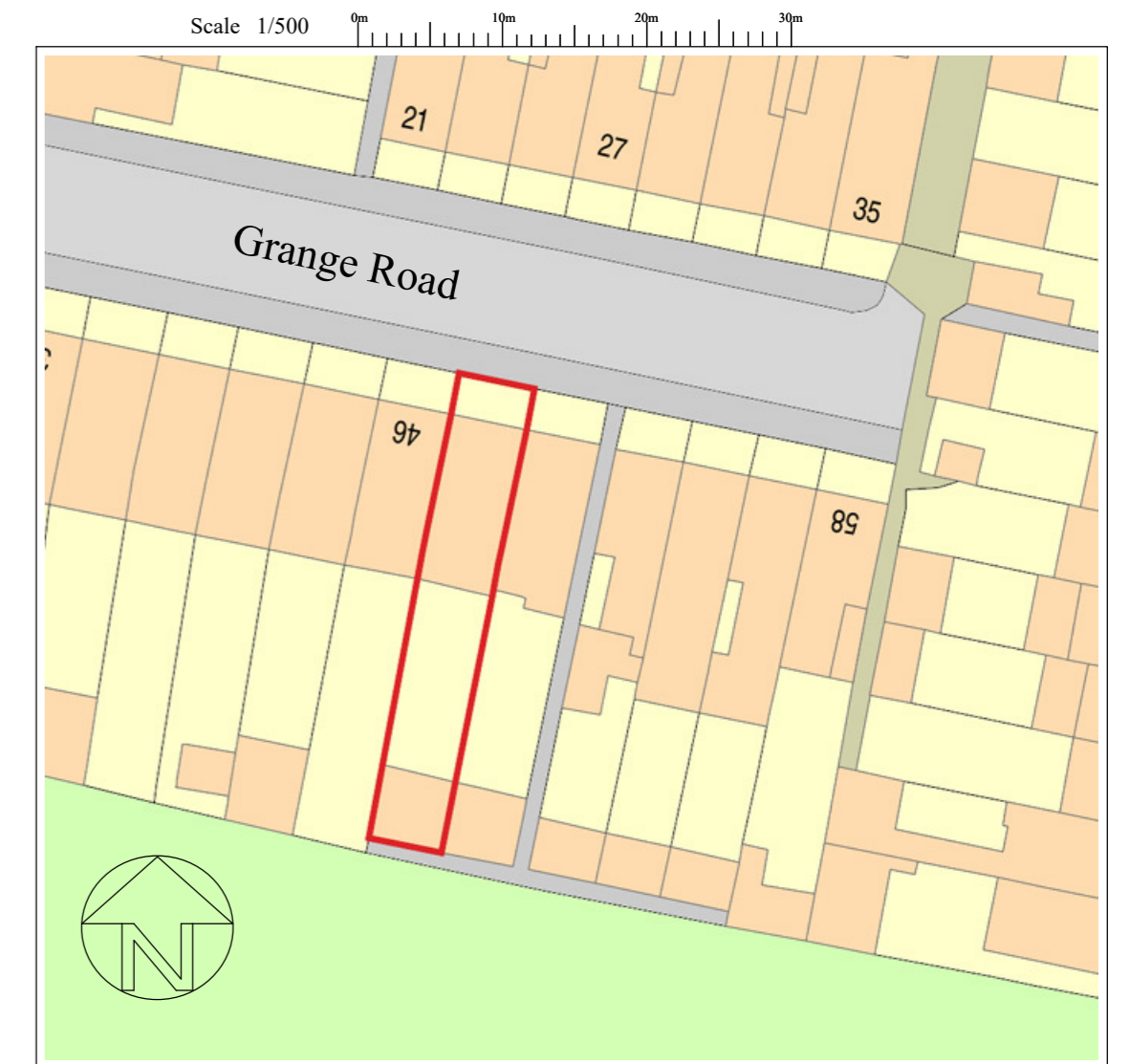
EXISTING GF PLAN



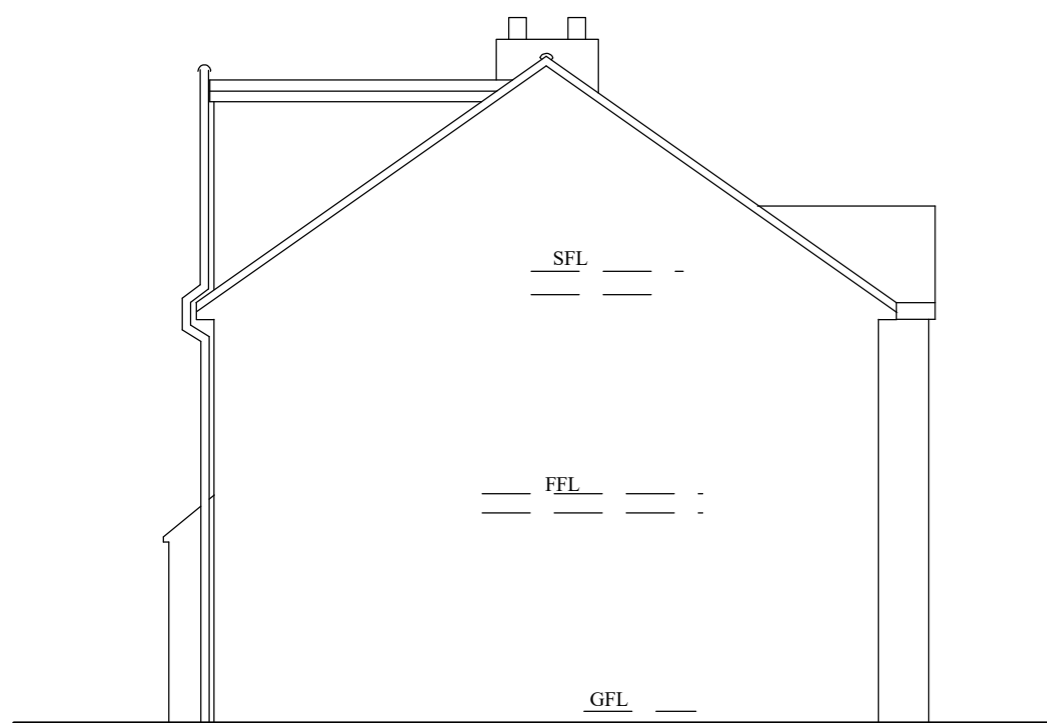
EXISTING FF PLAN



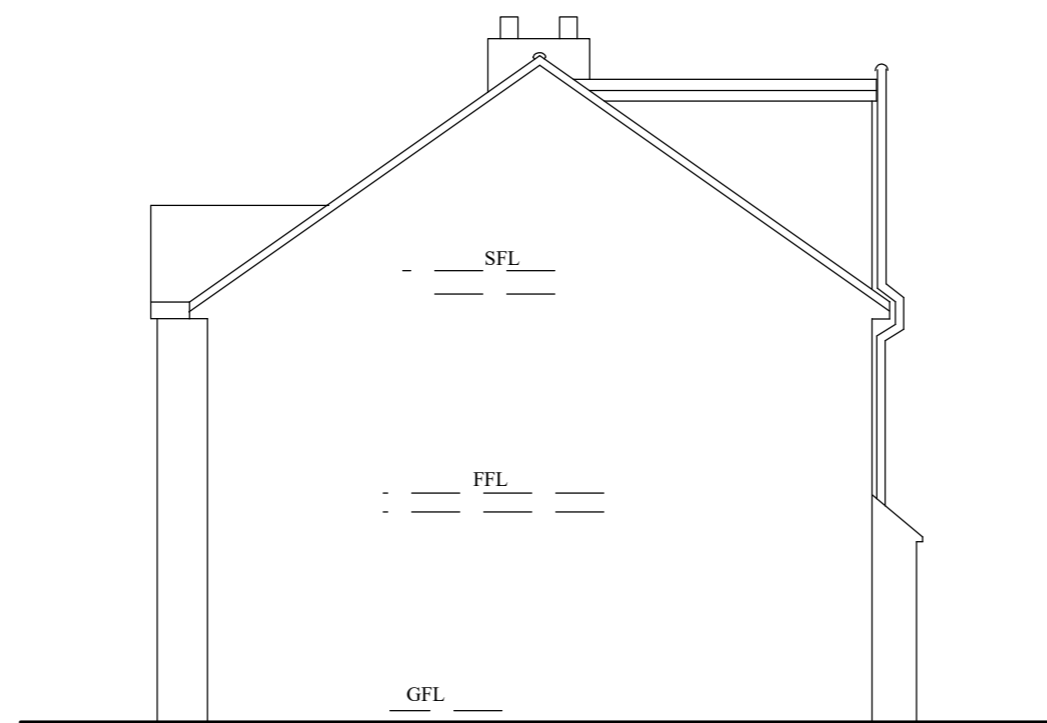
PROPOSED BLOCK PLAN



EXISTING BLOCK PLAN



EXISTING SIDE ELEVATION



EXISTING SIDE ELEVATION



EXISTING REAR ELEVATION

Notes:

- 1 This drawing is a copy right of Line Design Ltd
- 2 All dimensions must be checked before commencement of any works and inform the client of any discrepancies, before start of any works
- 3
- 4 This drawing may not be copied without prior approval from Line Design Limited
- 5 All building works to comply with Building regulations
- 6 These drawings are prepared taking pre-construction design as to CDM 2015 regulations. The client is required to comply with pre-construction and construction phase of the CDM 2015 regulations
- 7 Contractor to check all specifications and drawings prior to commencement of works and inform the client of any discrepancies.
- 8 Refer to structural, mechanical, electrical specifications and clients instructions.
- 9 Party Wall Act, would apply and the client to make arrangement with neighbouring properties before commencement of works.
- 10 The builder will be fully responsible for the building works, to make all relevant building regulations application, liason with building inspector and provide all relevant certificates on completion.

Revision	Description	Date

Project: **48 Grange Road, Southall, UB1 1BY**

Project Title:
Single Storey Rear Extension Under Priour Notification

Drawing No: PN4801	Revision:
Date: April 2024	Drawn by: AS
Scale: 1/100 @A2	Chkd by: MK