

**SITE KEY:**

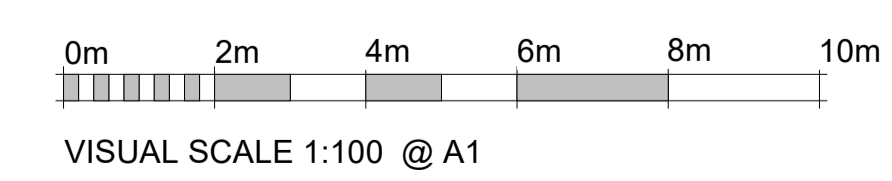
- Red line indicates site curtilage
- 44.50 etc Existing Site levels
- 44.50 etc Proposed Site levels
- - - Yellow dash indicates existing bungalow footprint
- T 40 **Tarmac Access** - Laid as nominal surface over open graded asphalt binder course and sub-base by approved contractor. All separated tarmac edges to be contained at edges with granite style edgers. Highway application required for these works.
- T 60 **Plot parking and paths** - Semi Permeable block paved surface over prepared type 1 hardcore base incorporating geotextile membrane layer. Driveways contained at edges with concrete/granite style edgers.
- T 60 **Patio area** - Formed with porcelain slabs, bedded on a mortar bed over 100mm thick concrete base over suitably prepared ground.
- Site Screening and Plot Separation:**
- T 60 **Type B:** 0.5m x 0.5m low level natural stone wall between plots bedded in cement mortar incorporating channelled concrete posts suitable for 1.8m wide x 1.2m high inset fence panels to achieve an overall screening height of 1.7m from the lowest plot with top cap rail.
- T 60 **Type C:** Channelled concrete posts suitable for 1.8m wide x 5foot high inset fence panels with a concrete base kicker rail. Fence to achieve an overall screening height of 1.7-1.8m.
- T 0 **Type E:** Existing hedge retained.
- T 40 **Type F:** Existing tree/s retained.
- T 80 **Type G:** Existing tree/s hedgrows removed.
- T 0 **Type H:** Natural Stone and Earth Cornish hedge 1.2 wide at ground level to 900mm wide at 1m high with evergreen shrub planted within top of wall.
- T 80 **Lawns** - 200mm thick top soil layer from on site stacks seeded or turfed.
- Services:**
- EXISTING FOUL SEWAGE MAIN (South West Water). Survey positions show little manholes on site, however connection is live and ASSUMED POSITIONS SHOWN.
- Lines of new private sewage and manholes to connect to South West Water Main Line- to specialist designs.
- Indicative positions of on site surface water pipework and soakaways.

**DETAILS OF ALL OTHER SERVICES eg: electric/ water/ communications ENTERING THE SITE AND PLOTS TO BE DESIGNED AND COORDINATED WITH RELEVANT APPROVED SUPPLIERS.**

**Areas:**

Roof surface water areas (m <sup>2</sup> )	
Plot 1:	195m <sup>2</sup>
Plot 2:	214m <sup>2</sup>
Driveways and paths- permeable gravel	

Gross Internal floor areas (m <sup>2</sup> ) approx.			
	Ground floor	First floor	TOTAL
Plot 1:	135 inc porch	71	206
Plot 2:	135 inc porch	73	208



**1 Site Plan**  
1 : 100

GENERAL NOTES:				
1. PLEASE DO NOT SCALE for construction purposes.				
2. Figured dimensions are in millimetres, levels in metres and are to be checked on site prior to all contractors commencing their works.				
3. Areas are in metres. Any areas indicated are approximate and indicative only.				
4. Any discrepancies to be reported to Webber Architecture in writing prior to any works being carried out.				
5. Drawing only to be used for the purpose specified.				
REVISION	DATE	BY		

**WEBBER**  
ARCHITECTURE

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PROJECT		CLIENT	
Plots at 19 Trelyn		Mr Chris King	
SHEET	Proposed Site + Roof Plan	Date	21/03/24
PURPOSE	Planning Submission	Scale (@ A1)	As Indicated
		Project number	265
		Drawn By	JW
		DRAWING NUMBER	A101
		REV	