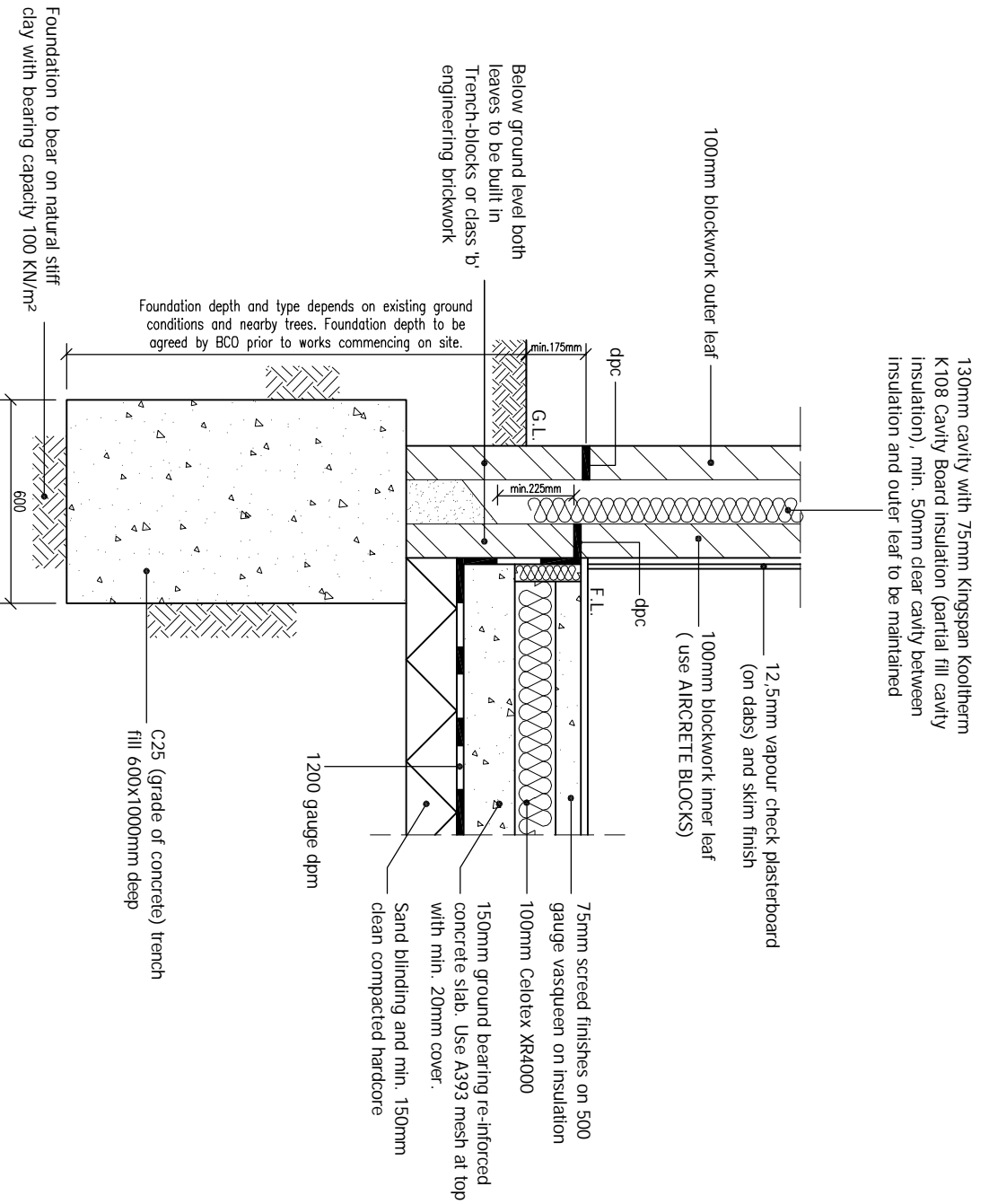
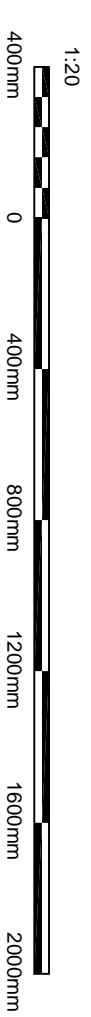


CLIENT TO CONFIRM TREE SPECIES FOR ALL TREES WITHIN 25 METERS OF PROPOSED WORKS TO DETERMINE RECOMMENDED DEPTH OF FOUNDATION REQUIREMENTS TAKEN FROM NHBC TREE TABLES.



TYPICAL FOUNDATION DETAIL
Scale 1:20



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DRAWING STATUS	CONSTRUCTION
REV.	DATE NAME DESCRIPTION

OBJECT BUILDERS LTD
 SUITE 9, HAMLIN HOUSE, BEADLES
 LANE, OLD OXTED, RH8 9JJ
 Tel: 0203 8220825
 office@object-builders.co.uk

GENERAL NOTES:
 Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineers calculations and any specialist supplier drawings. Homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
 2. Inform the Building Control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.
 3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electric, water and drainage services. Homeowner is responsible for ensuring that all services are correctly located and connected. Owner is responsible for establishing own boundary lines as OB Ltd are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
 4. OB Ltd are not responsible for builders changing design methods from proposed works. The client is responsible for ensuring that any changes to the design are agreed in writing with the architect.
 5. Owner is responsible for providing suitable and safe working conditions for the proposed building works. For any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
 6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Client's responsibility)

7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
 8. Works carried out under a building notice or prior to approval of drawings are at the contractor/owner risk. (all OB Ltd drawings must be approved before works commence).
 9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of OB Ltd before executing the structural, drainage, mechanical and electrical works. This includes any discrepancies between the Bill of Materials of conditions.
 10. All OB Ltd structural designs are subject to building control. However, the contractor/owner must ensure that all drawings are approved by building control on site before commencement and purchase of building control or the engineer before works can commence. OB Ltd is not responsible for building control or the engineer's actions on site.
 11. All steelwork to be fabricated on site or off site. All steelwork to be fabricated on site by building control inspector/builder for load bearing or non-load bearing status before purchase of steel/s. If non-load bearing then steel should not be ordered. No refund or claim can be given against OB Ltd on the design/modifications changed for these steel/s.

OTHER NOTES:
 All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed roof and wall finishes shall be in accordance with the current building regulations. Proposed windows shown on this drawing which overlook other property's are designed to be non-opening and of obscure glazing. For a permitted development, left design the former designed on this drawing is set back from the street by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.
 An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and ensure they are in accordance with current building regulations. ALL DRAINAGE SYSTEM IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.
 TERMS - This drawing has been created by OB Ltd for the 'client' only. A liquid contract has been made between both party's in which a signed contract for creation of works involving person-working hours for this drawing has been made. No liability will be taken or claim made of drawing and any other drawings relating to this project for whatever reason can be taken by any company, organization or person that is not a party to the contract. This drawing is the property of object-builders and is not to be reproduced or used in any way without the written consent of object-builders. All rights reserved. This drawing is the property of object-builders and is not to be reproduced or used in any way without the written consent of object-builders. All rights reserved. This drawing is the property of object-builders and is not to be reproduced or used in any way without the written consent of object-builders. All rights reserved.
 12. All drainage connections is assumed & is subject for checking by builder, Thomas water & building control, and approved by building control before works commence.

ALL STRUCTURAL ELEMENTS (such as beams, inlets, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECT TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

SITE ADDRESS	
69 WARWICK ROAD, BARNET, HERTS, EN5 5EH	
DRAWING TITLE	
PROPOSED DRAWINGS	
DRAWN AT	HEAD OFFICE
SCALE	as shown
DRAWING NO.	10.
REVISION	02. APRIL. 2024
DRAWN BY	
www.object-builders.co.uk	