



1 MONTPELIER SQUARE, LONDON SW7

Client **COSTAS MICHAELIDES**

Document **MINOR MATERIAL AMENDMENT
DESIGN & ACCESS STATEMENT**

Revision **A**

Issue Date **09.04.2024**

GarnettArchitecture

Architecture, Planning, Interiors

This statement has been compiled on behalf of Costas Michaelides by a consultant team led by Garnett Architecture for the proposed refurbishment and extension of 1 Montpelier Square.

The proposals outlined in this Design & Access Statement and associated drawings, describe a proposed Minor Material Amendment for the consented scheme outlined in 23/03312/FULL and 23/03313/LBC.

The amendment sought in this application is limited to the design of the basement floor and associated stair and ceilings.

1.2 PROJECT TEAM

Client:	Costas Michaelides
Architect:	Garnett Architecture LLP
Planning Consultant:	Union 4 Planning Ltd
Heritage Consultant:	JB Heritage Consulting Ltd
Cost Consultant:	Abakus Consulting Ltd
Structural Engineer:	Evolve Consulting Engineers Ltd
Services Consultant:	E+M Tecnica LLP
Approved Inspector:	The Building Inspectors Ltd
Party Wall Surveyor:	Schofield Surveyors Ltd
Acoustic Specialist:	Noico Ltd
Lift Consultant:	LECS Ltd
AV & Lighting Consultant:	CSS Ltd

1.3

ABOUT THE ARCHITECTS



Garnett Architecture are committed to high quality design and have considerable experience in working on historically sensitive locations in the Westminster area. The practice is known giving new life to old and historic buildings through adaptive interventions. Projects range in size from design of whole urban blocks to high quality fit out of private houses. Much of **Garnett** Architecture's work is carried out in Conservation Areas and the practice has proven experience of working on complex sites involving a mix of uses.

Garnett Architecture are interested in the appropriate use of materials, the manipulation of light and volume within the spaces we create, and stewardship and enhancement of our urban heritage. The practice's objective is to release all the potential the project has to offer, for our client, the community, and the environment.

2.0

DESIGN OVERVIEW

The proposed amendment to the consented scheme relates to the basement floor level. The proposals outlined in this statement seek to level the floor throughout the new basement.

These proposals will not be visible from outside the property. These proposals will not increase the area of the scheme. These proposals will not impact any of the retained fabric of the heritage asset.

These proposals will not increase the finished floor-to-ceiling height in any way from the consented scheme.

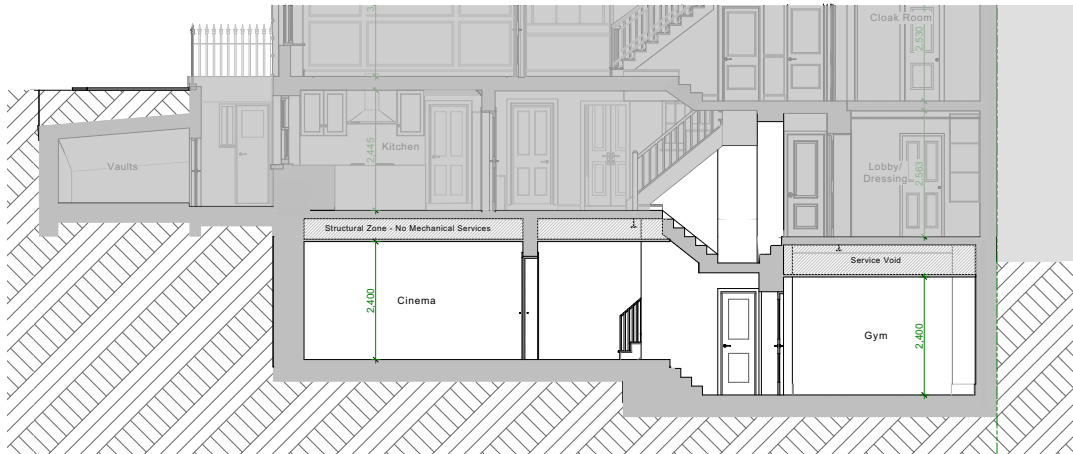


Fig. 2.1: Section of Approved Scheme (23/03312/FULL)

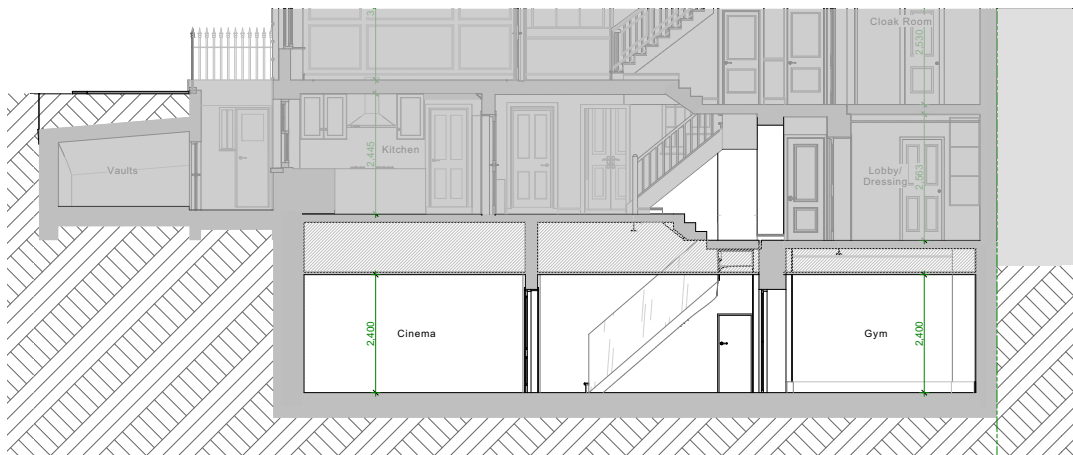


Fig. 2.2: Section of Proposed Scheme

2.0

DESIGN OVERVIEW



Fig. 2.3: Section of Approved Scheme (23/03312/FULL)

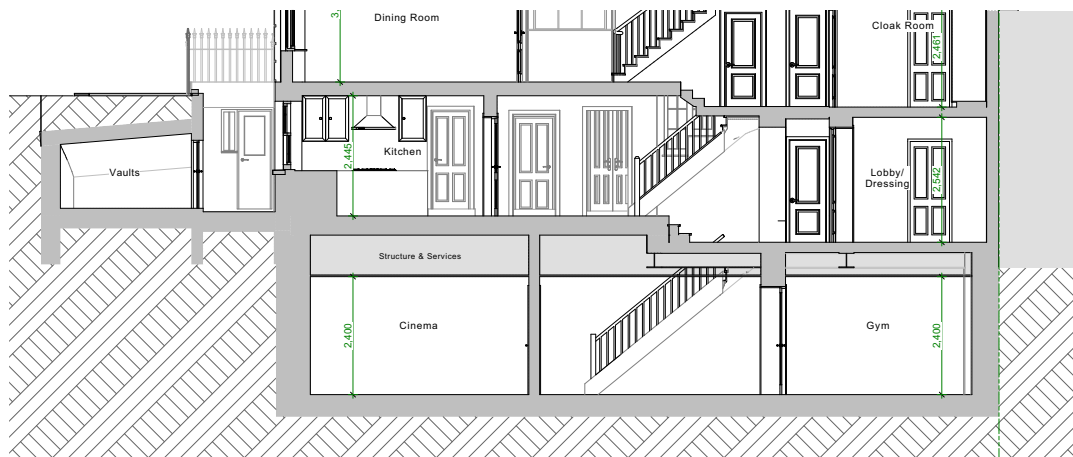


Fig. 2.4: Section of Original Scheme Submitted May 2023

The scheme proposed in this application closely resembles the scheme originally submitted as part of 23/03312/FULL and 23/03313/LBC.

The design of the proposals for the consented application was amended during the planning process, following advice from the Planning Officer & Design Officer from Westminster City Council. This was due to concerns over the size of the void above the basement ceiling.

However, the impacts of these changes had not been fully realised by the design team during the planning process. It is only on reflection and design development following determination that the design team now proposes this amendment.

3.1

ACCESS

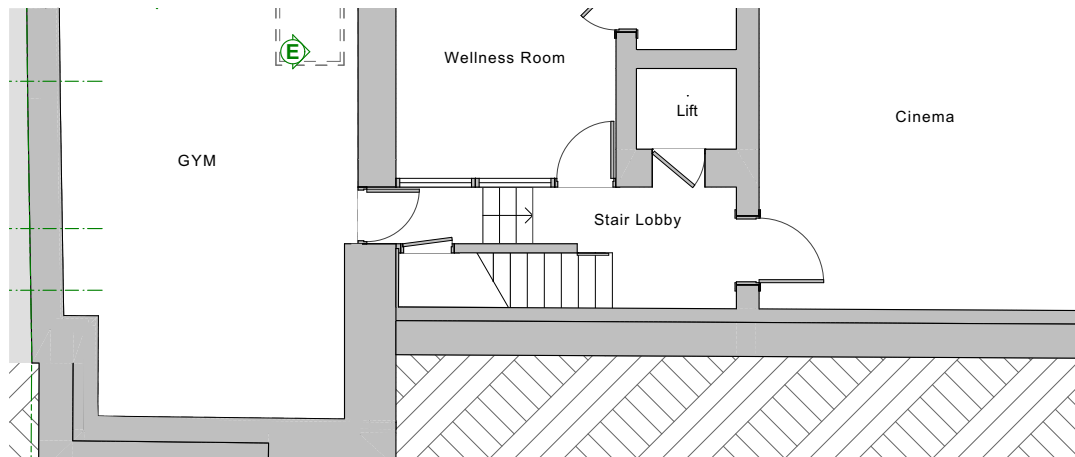


Fig. 3.1: Partial Floor Plan of Approved Scheme (23/03312/FULL)

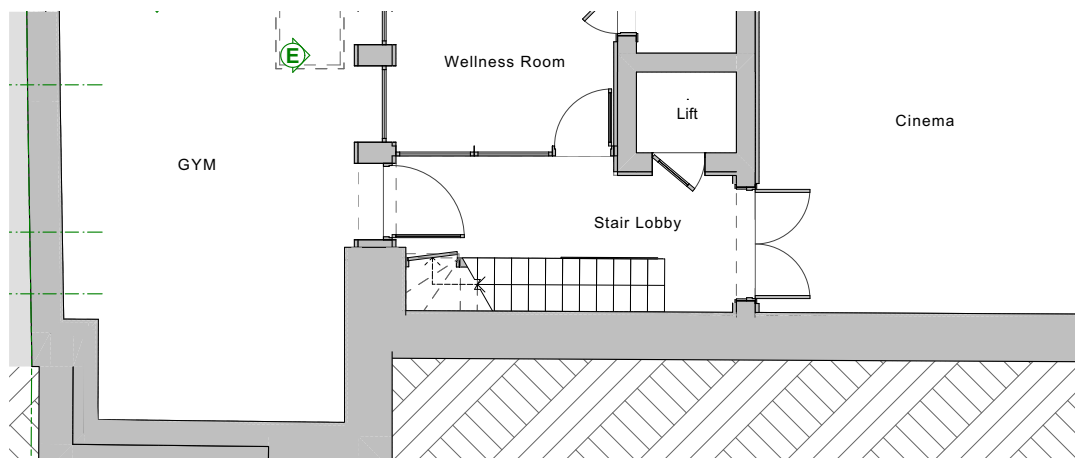


Fig. 3.2: Partial Floor Plan of Proposed Scheme

These proposals revolve around removing the split level in the basement, so the entire floor can be accessible by the lift.

While not all areas of the house will have level access from the lift landings, the design team asserts that the basement is an entirely new floor and should have level access.

As well as the amendment to remove the internal basement steps & level the floor, this application also seeks the de minimis changes to the doors to the cinema and gym. With the gym door to increase in size, and the cinema door to increase to a double-door. The revised design also pushes back the wall to the wellness room and removes the wall between the main stair and the lobby.

These changes will make the basement space feel more generous.

3.2

COMPROMISED LAYOUT

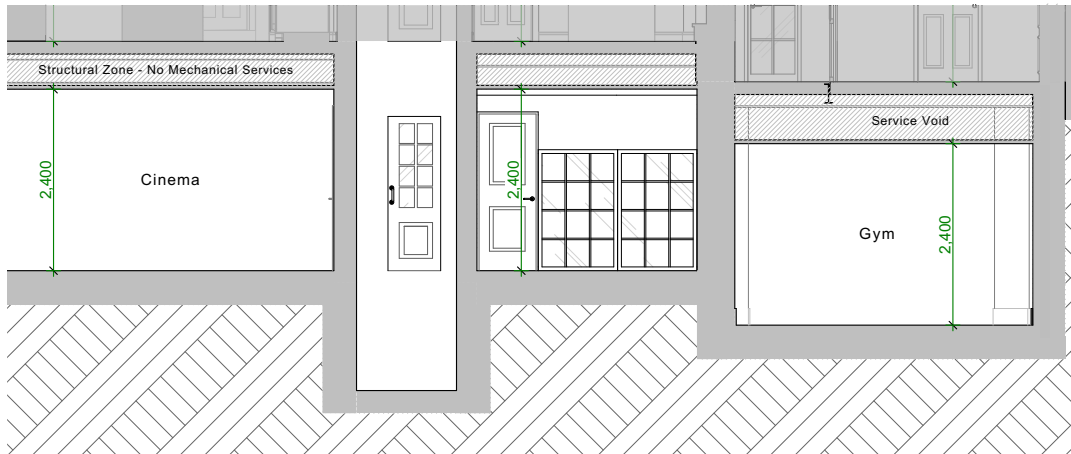


Fig. 3.3: Section E-E of Approved Scheme (23/03312/FULL)



Fig. 3.4: Section F-F of Approved Scheme (23/03312/FULL)

(Please refer to Figures 3.1 & 3.2) The steps to join the split levels currently compromises the door to the wellness room. In order to accommodate a landing at the bottom of these steps, the door to the gym had to be smaller. And the door to the wellness room became uncomfortably close to the top step. Removing these steps & split level would resolve these issues.

One impact of the split levels that was not realised during the original planning process, was how it would compromise the glazed partition into the wellness room. (Please refer to Figures 3.3 & 3.3.) By raising the floor level below the main body of the house, the glazed partition becomes uncomfortably low.

The Design Team asserts the importance of this glazed partition; as the basement is naturally without windows to the outside, and the smaller spaces are at risk of feeling uncomfortably compressed.

3.2

COMPROMISED LAYOUT

- CONTINUED



Fig. 3.5: Section E-E of Proposed Scheme



Fig. 3.6: Section F-F of Proposed Scheme

As shown in figures 3.5 & 3.6, removing the level change in the basement and lowering the floor level below the main body of the house allows the height of the glazed partition to match that of the door into the wellness room. This is a much more elegant solution than the consented scheme has space for.

Removing the level change allows for the reintroduction of the internal windows between the wellness room and the gym. (Please refer to figure 3.7 overleaf.) This feature was originally proposed to bring natural light from the lightwell skylight in the gym into the wellness room.

When the split level was introduced, the internal window between the wellness room and the gym was omitted. This decision was made as the internal window was incongruent with the different levels of the rooms, with the window head becoming uncomfortably low in the wellness room (the head would have been 1.6m above FFL).

Removing the split level at the basement will enable these windows to be reinstated to the scheme in an elegant manner.

3.2

COMPROMISED LAYOUT - CONTINUED

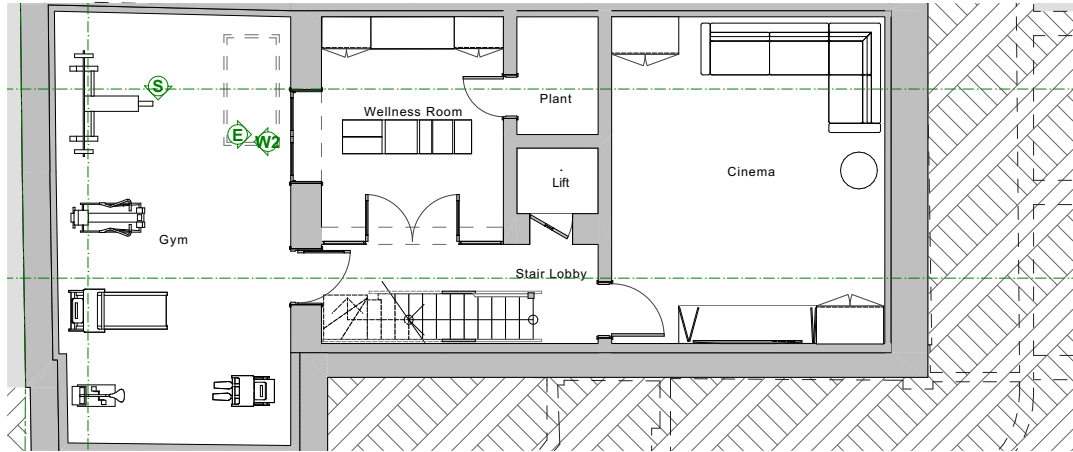


Fig. 3.7: Plan of originally proposed basement (23/03312/FULL - not consented)

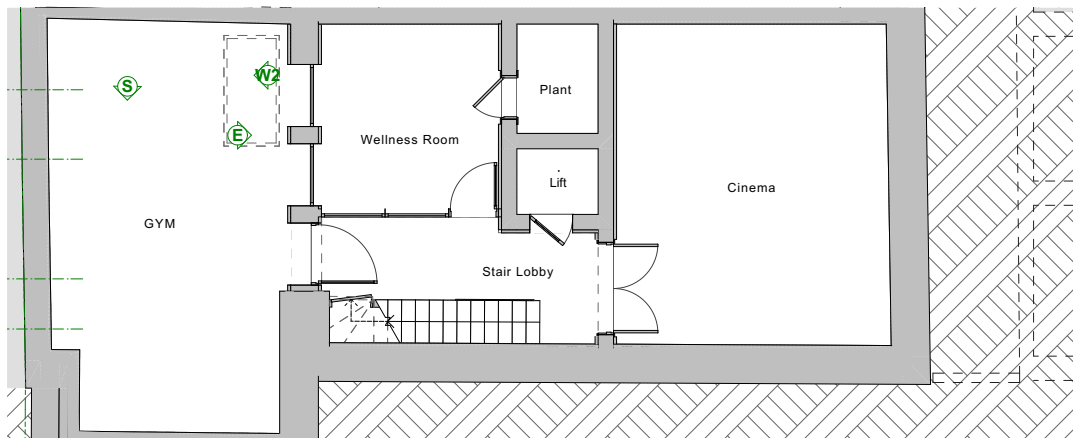


Fig. 3.8: Plan of now proposed basement

Figure 3.7 shows the internal window between the gym and wellness room that featured in the original submission for 23/03312/FULL, that was later omitted in the consented scheme.

Removing the split level allows the windows to be reinstated. Figure 3.8 demonstrates the new proposed openings between the gym and the wellness room. The greater glazed openings allow for more light to enter the gym. The proposal has been developed in accordance with Evolve's structural calculations.

3.3

IMPACT ON HIERARCHY



Fig. 3.9: Section of Approved Scheme (23/03312/FULL)



Fig. 3.10: Section of Proposed Scheme

Westminster Planning Policy 45.9 states that basement developments “...will be no more than one storey (approximately 2.7m floor to ceiling height) below the lowest part of the original floor level”. These proposals do not provide a floor to ceiling height greater than 2.7m.

Previous pre-application advice had stated that the Basement floor to ceiling height should be no greater than 2.4m. The design team understands that this advice had been given in order to preserve the hierarchy of the spaces within the listed building. And the design team understands that the 2.4m was set as this was marginally lower than the floor to ceiling height of the Lower Ground Floor above.

While the floor to floor height of the Basement to Lower Ground Floor is greater than that of the Lower Ground to Ground Floors above, this will not be visible at any point internally or externally of the scheme.

The only spaces that will be visible or accessible to the occupants will not have a floor to ceiling height greater than the floor above.

3.4

COMPROMISED SERVICES

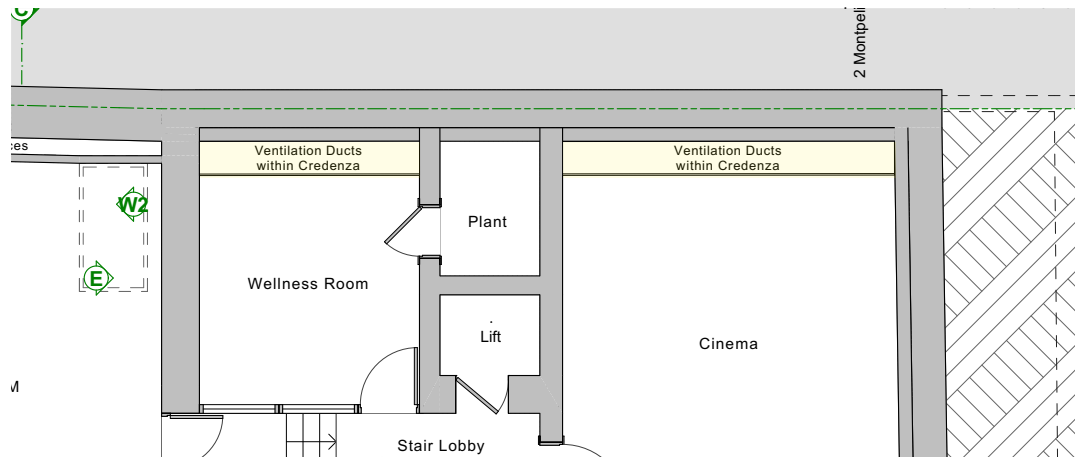


Fig. 3.11: Partial Floor Plan of Approved Scheme (23/03312/FULL)

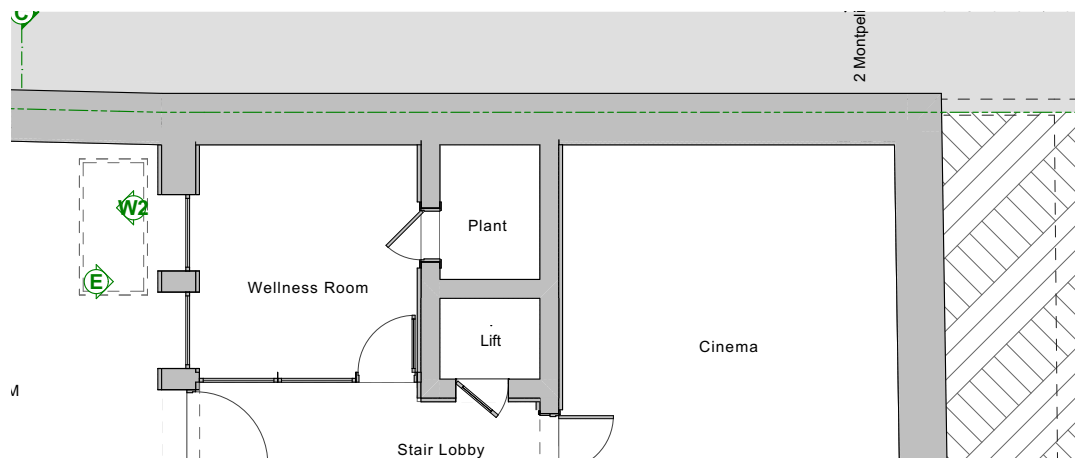


Fig. 3.12: Partial Floor Plan of Proposed Scheme

The consented scheme features ventilation ducts within in-built 'credenza' joinery units. As the basement does not have operable external windows, mechanical ventilation is required.

The omission of a mechanical services void in the Basement ceiling was 'solved' by bringing the ducts and grilles into fixed joinery pieces. However, doing so greatly reduces the efficiency of the ventilation system, and will require more energy to run.

The fixed joinery will also reduce the flexibility of the spaces in the basement, and reduce the overall available accommodation space.

Reinstating a services void above the proposed ceiling would remove the necessity for these fixed joinery pieces, and bring back flexibility to the basement spaces.

3.4

COMPROMISED SERVICES - CONTINUED

Another aspect of the design that was not fully realised during the planning process for 23/03312/FULL was the impact on drainage.

Omitting the mechanical service void from above the Basement Floor will severely compromise the ability to drain both rainwater and foul water.

As the basement is below the level of the existing drains, the revised drainage needs to be fed within a space between the Lower Ground Floor and the Basement. The omission of the mechanical service void will require additional pumping - which will introduce more points of potential failure to the system - or significantly impact the spaces in an undesirable manner.

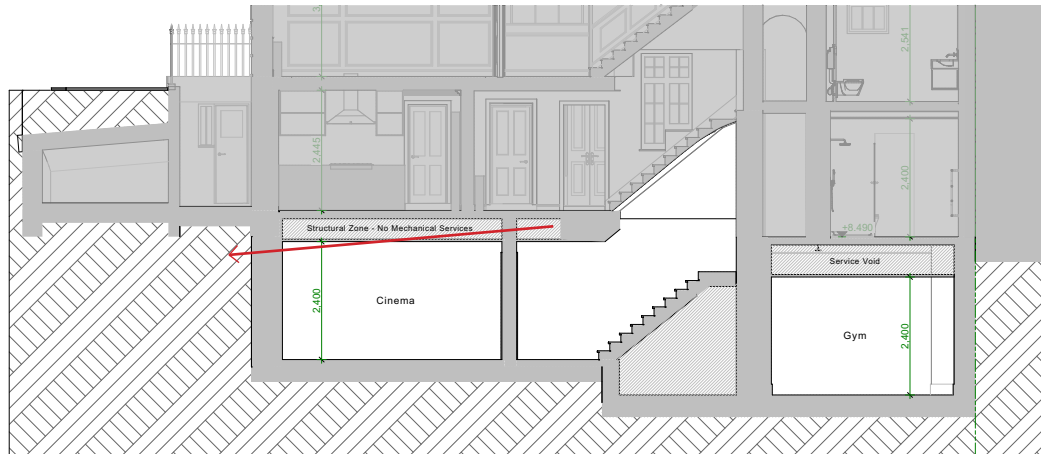


Fig. 3.13: Section of Approved Scheme (23/03312/FULL)

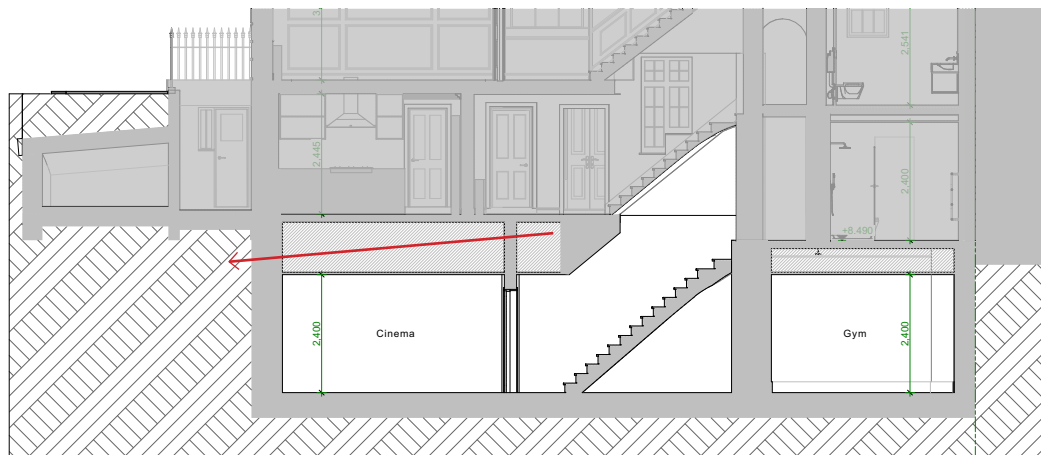


Fig. 3.14: Section of Proposed Scheme

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