



Proposed 2 Storey
Rear Extension

New Orchard, Bottom Lane, West Wellow SO51 6EZ

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Background

New Orchard is a detached single storey dwelling. It has been extended a number of times.

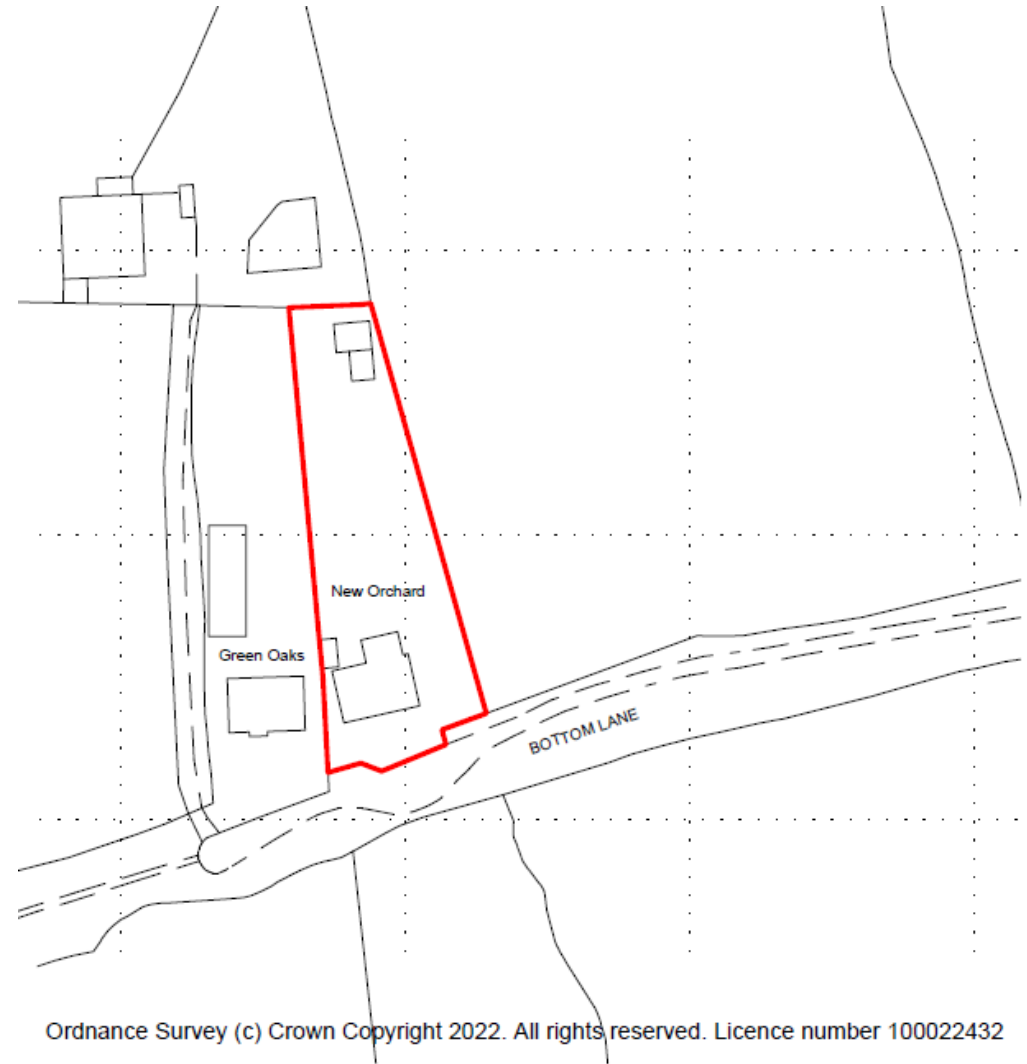
The current owners now wish to rationalise the plan and address shortcomings in the accommodation with a further extension.

The property is not listed or in a conservation area.

The site is within flood zone 1 which has a low probability of flooding.

Flood map showing the flood zone your site is in

The map shows the flood risk to your site and the surrounding area.



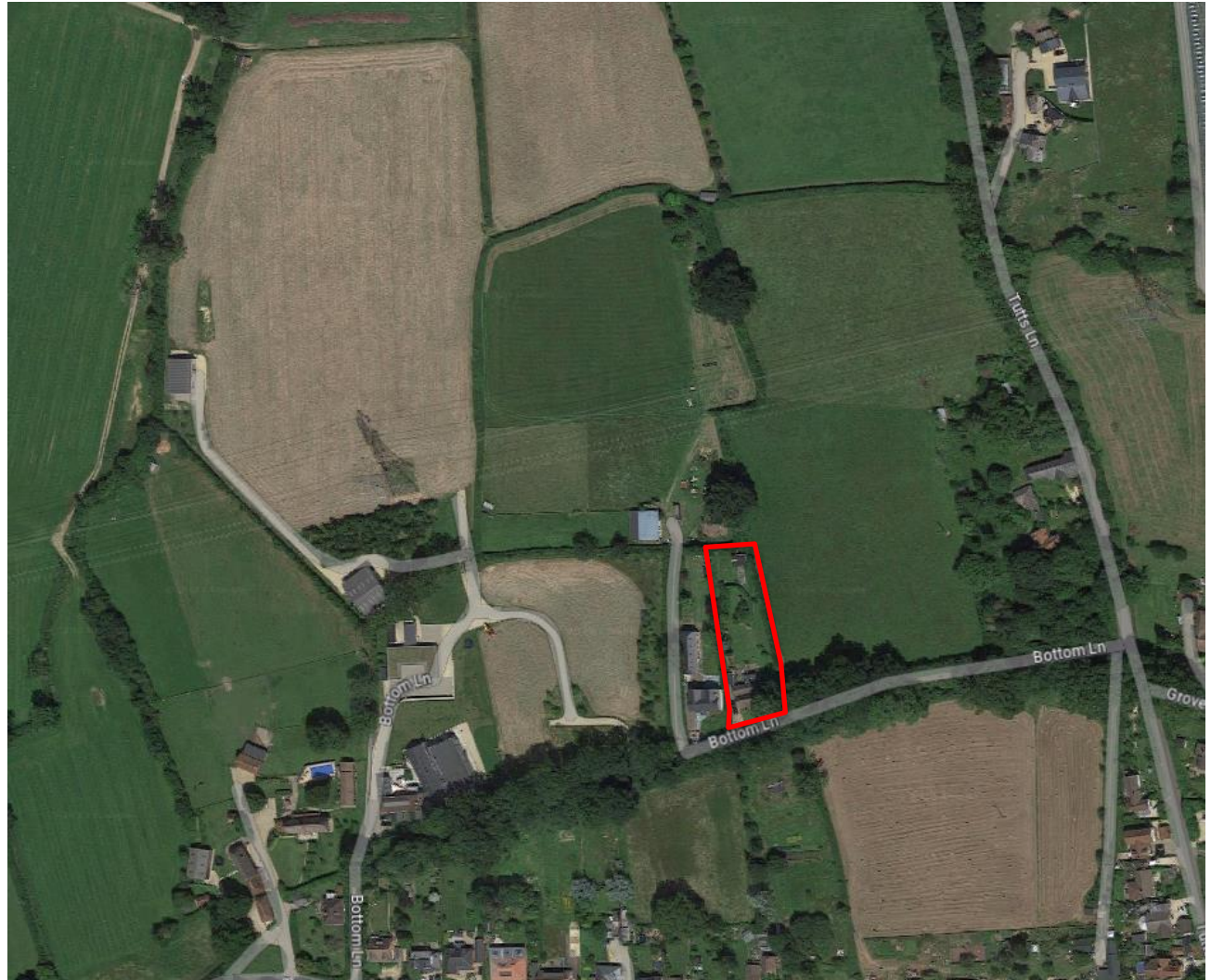
Location

New Orchard is located along an unmade track (Bottom Lane) which is part of West Wellow footpath no 19.

The location is outside the main settlement of West Wellow and in the countryside which is very much characterised by scattered farms / small holdings which form clusters of cottages and buildings.

The only immediate neighbour to New Orchard is Green Oaks to the West comprising a 5 bed 2 storey house and ancillary garage building with accommodation over.

Green Oaks and New Orchard form a distinct group of rural buildings. The next nearest buildings are Chapmans Farm, Bottom Lane Farm and Lukes Farm all forming distinct clusters.



Setting

New Orchard is located along an unmade track (Bottom Lane) which is part of West Wellow footpath no 19.

New Orchard is set back from the hedge line of the unmade track Bottom Lane. As such the cottage can only be seen from the public footpath once one is standing in front. Even then the building is set lower than the road level.

There is a significant Oak tree with a TPO at the South Eastern corner of the site.

The immediate neighbour Green Oaks is a larger scale 2 storey house.

New Orchard with Green Oaks behind as seen looking South from within garden of New Orchard



Green Oaks with New Orchard behind as seen looking East from Bottom Lane



New Orchard with Green Oaks behind as seen looking West from Bottom Lane

Existing

The original part of New Orchard as seen from Bottom Lane is a small single storey cob bungalow with a thatch roof. A later rear extension has been added which replicated the front part being constructed of block walls and thatch roof. This was then later added too with a further kitchen extension to the east with thatch roof together with a flat roofed garden room / conservatory extension to the rear/north.

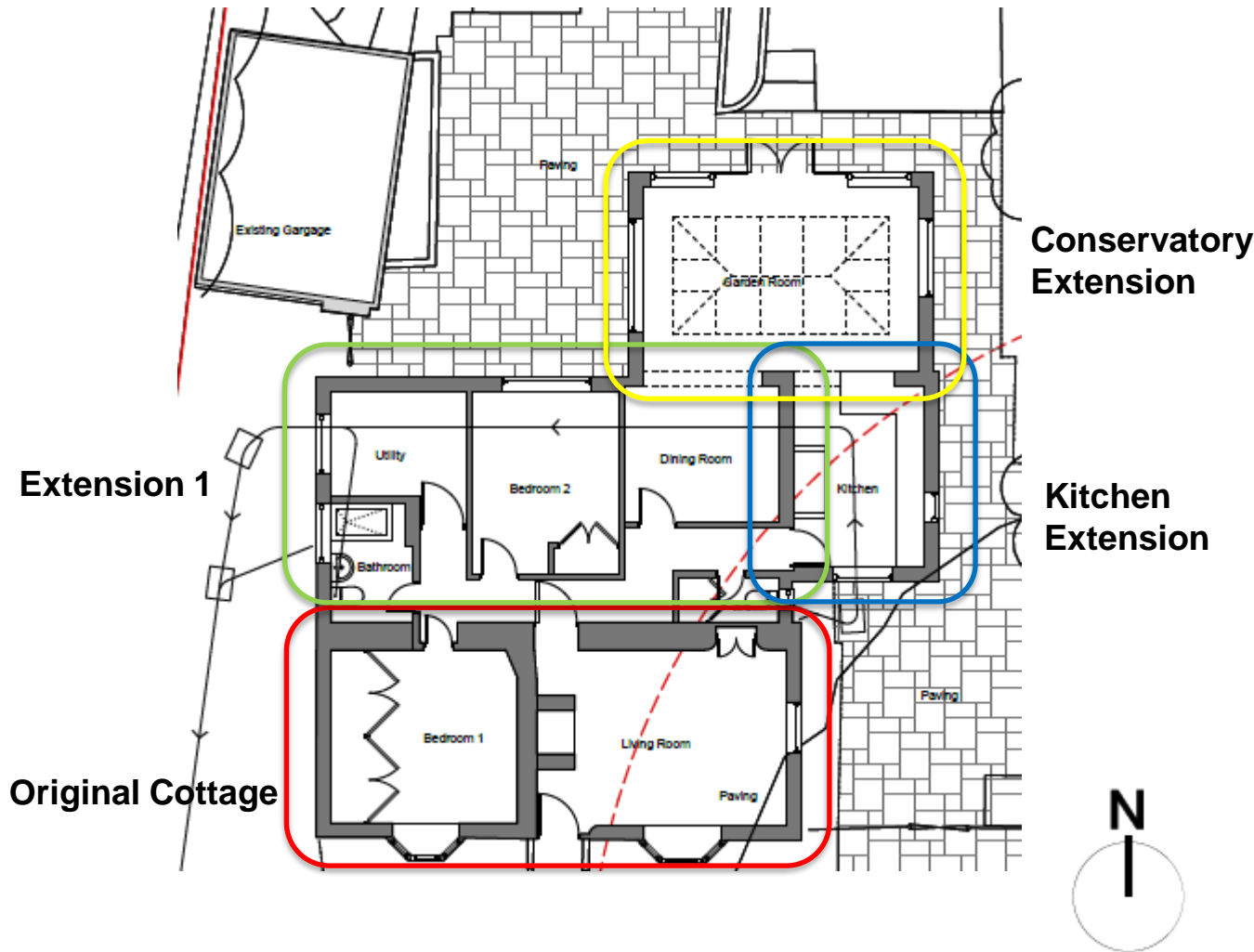


South Elevation



North Elevation

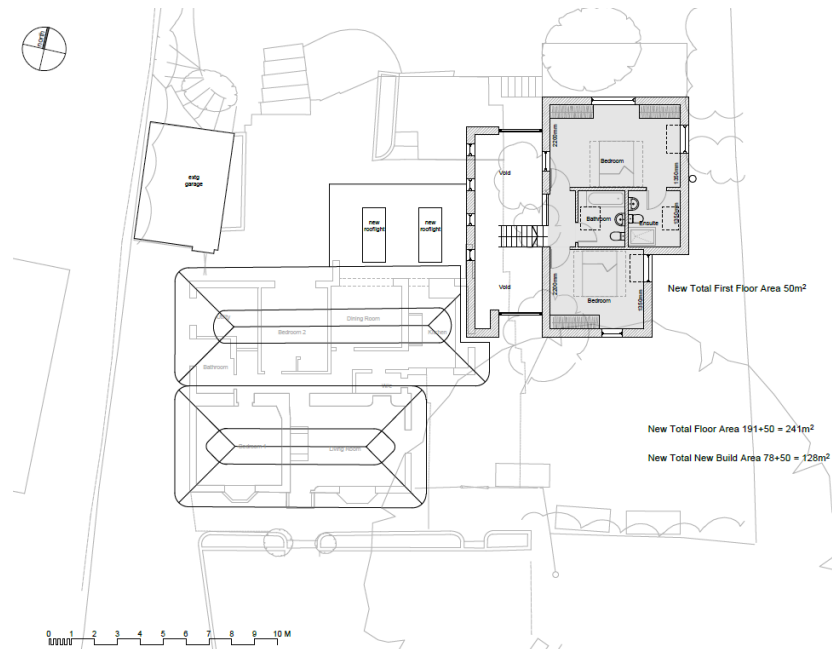
New Orchard, Bottom Lane, West Wellow SO51 6EZ



Planning History

There has been a recent Householder Application 23/01995/FULLS for a side and rear extension which has been refused for the following reasons:-

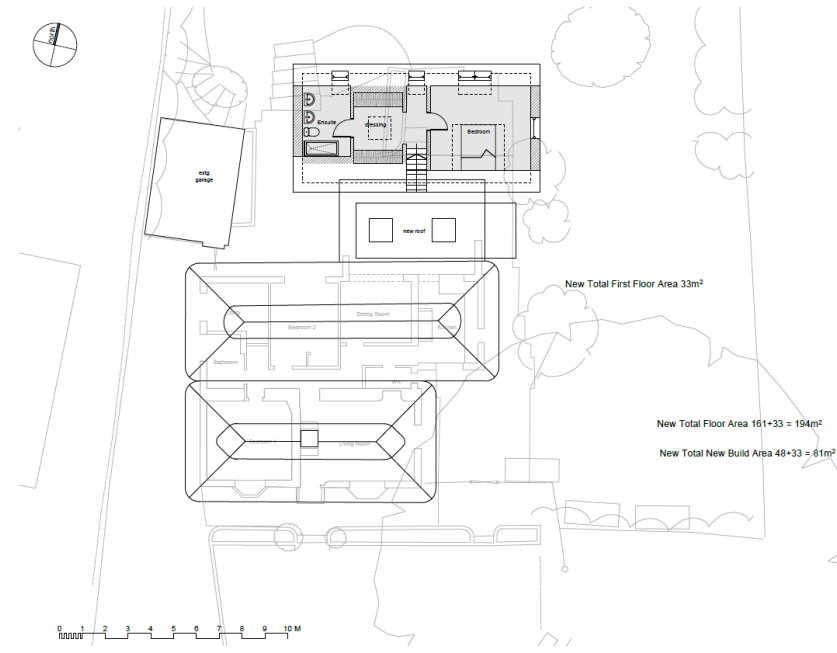
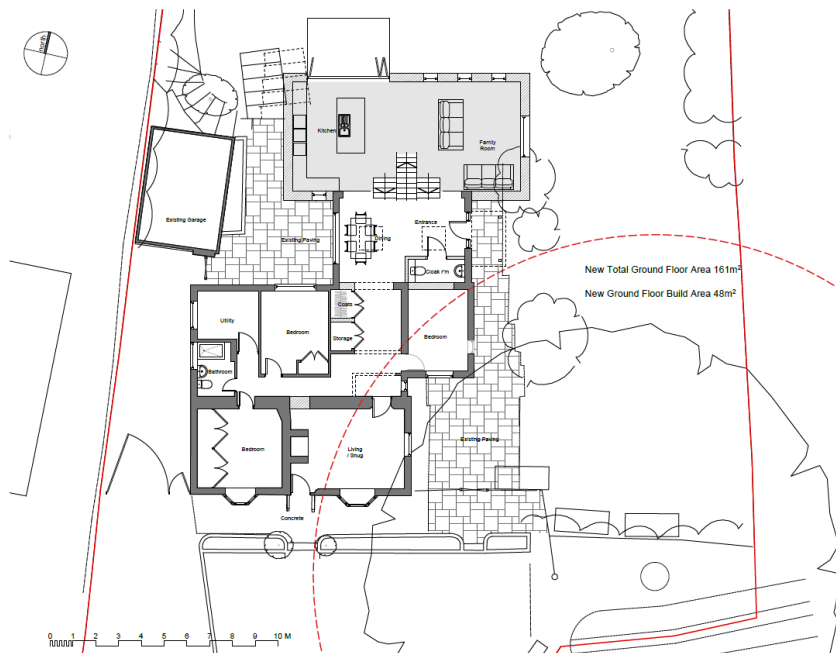
01. The two storey side extension would not integrate with or respect the existing dwelling New Orchard due to its design and scale, which would not be proportionately subservient to the host property, and would overwhelm the small unassuming character of this non-designated heritage asset, thereby reducing its significance. The merits of providing additional living space do not outweigh the harm caused to the significance of the non-designated heritage asset through the loss of its historical character and identity as a small thatched cottage. The proposals are therefore contrary to Policies COM2, COM11, E1 and E9 of the Test Valley Borough Revised Local Plan (2016) and appendix 2 of the Wellow Village Design Statement 2010.
02. The proposed development would by virtue of the location and positioning of the proposed extension and the proximity to a TPO tree threaten the retention of the important tree due to on-going pressure to prune or fell tree canopies to the amenity areas and habitable windows of the proposed extension. Furthermore the shading of the garden for large portions of the day, and long term maintenance issues of the guttering, roofs and garden would place pressure on the removal or excessive pruning of this important tree. Such works would have an adverse impact on the character and appearance of the area. The development would therefore be contrary to policies COM2 and E2 of the Test Valley Borough Revised Local Plan 2016 & Appendix 2 of the Wellow Village Design Statement 2010.



Planning History

Following the Full Planning Application Approval refusal a Pre App Advice Application was been submitted 23/02917/PREAPS for a rear extension :-

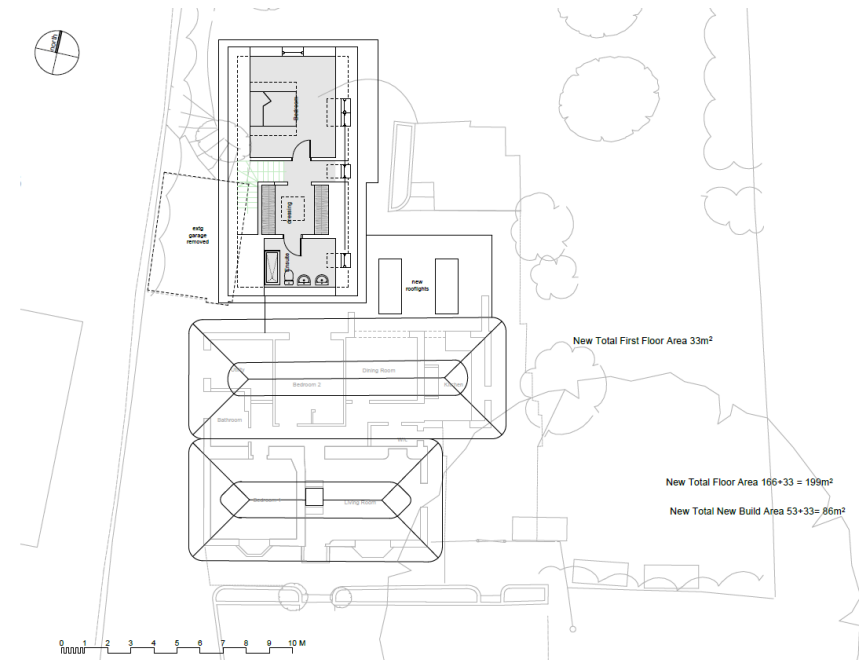
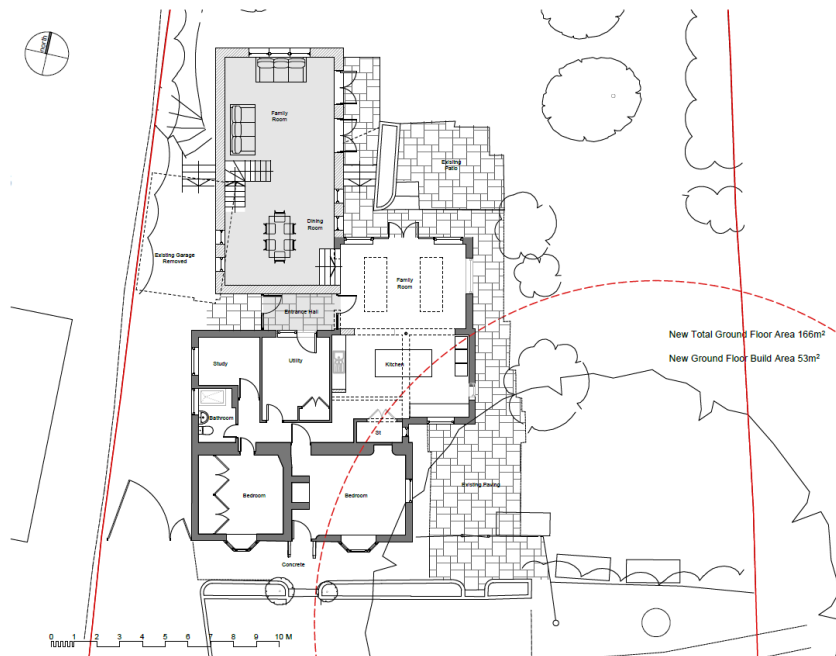
However, whilst it was an improvement the proposal was still considered to overwhelm the existing cottage. It was said that any proposal should not extend beyond the existing side elevation and reduced further in height to be fully subordinate and less visually intrusive in the landscape.



Planning History

Following discussion a further Pre App Advice Application was been submitted 24/00321/PREAPS for a rear extension :-

In short, this proposal was seen as a further improvement and recommended that the extension be reduced in length with a possible proportionate increase in width. The height of the extension should not extend above the existing roof form.



Design Proposals

We have now taken comments on board from the Pre App Advice Applications.



New Orchard as seen looking North from Bottom Lane

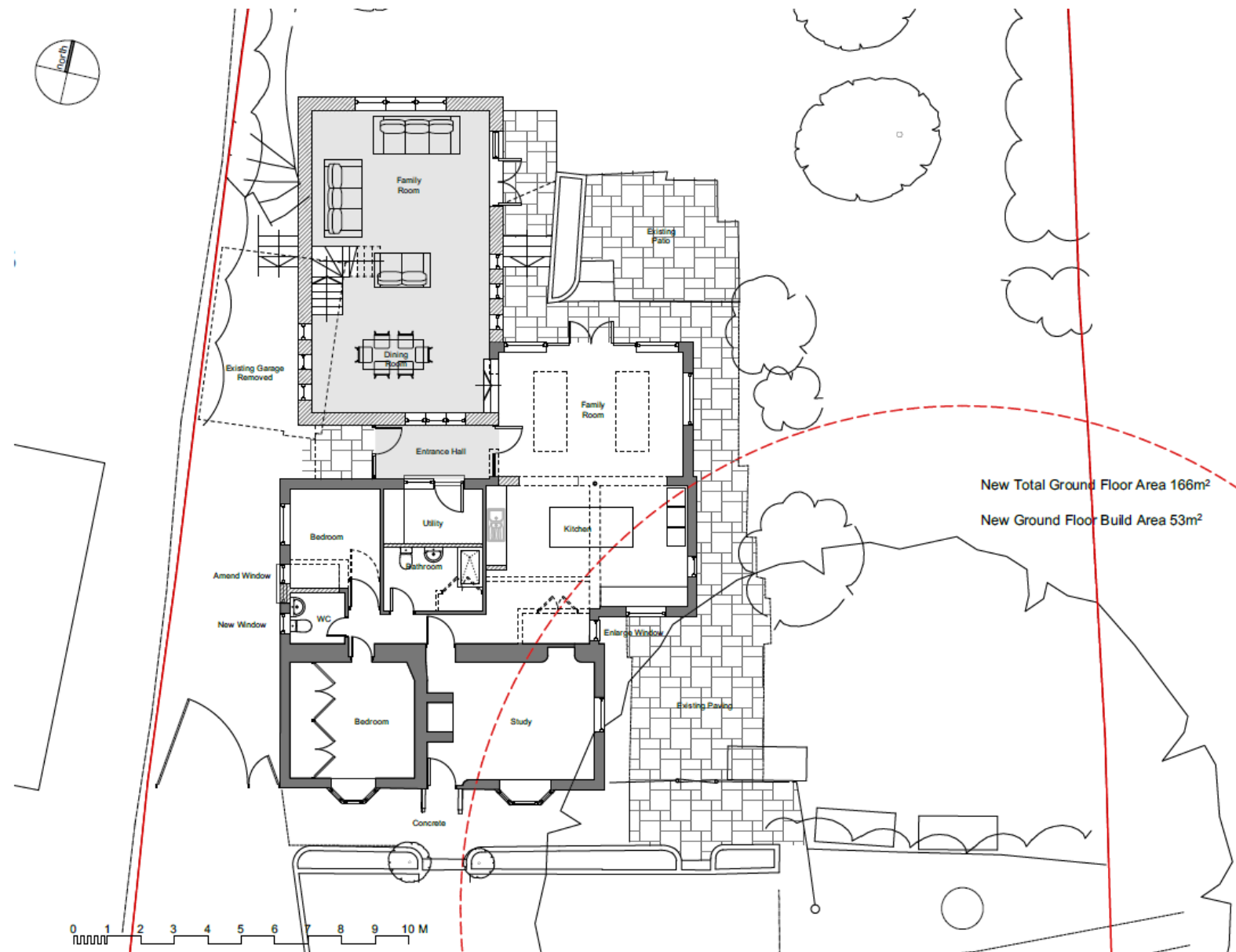


New Orchard as seen looking West



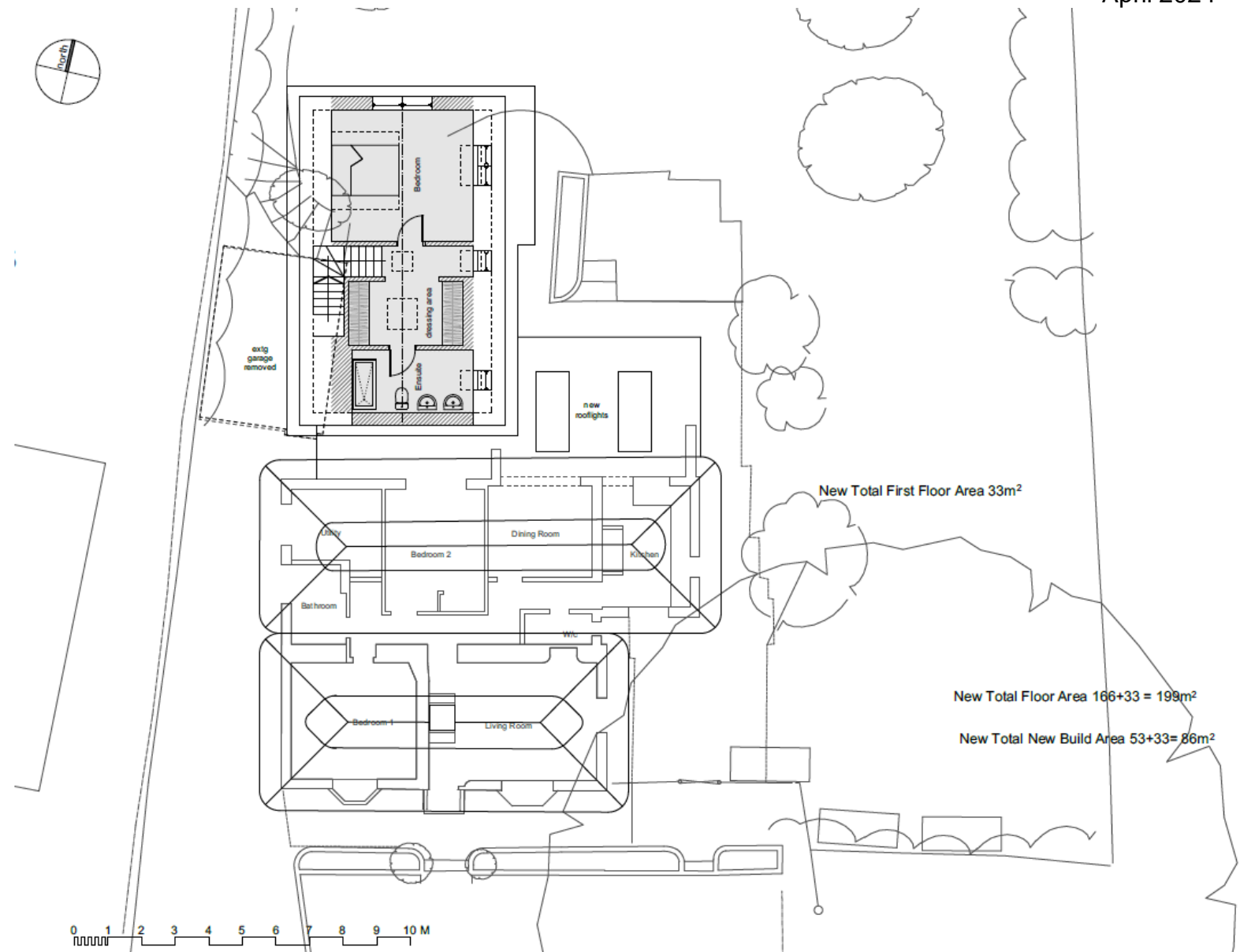
New Orchard as seen looking South from within garden

Design Proposals



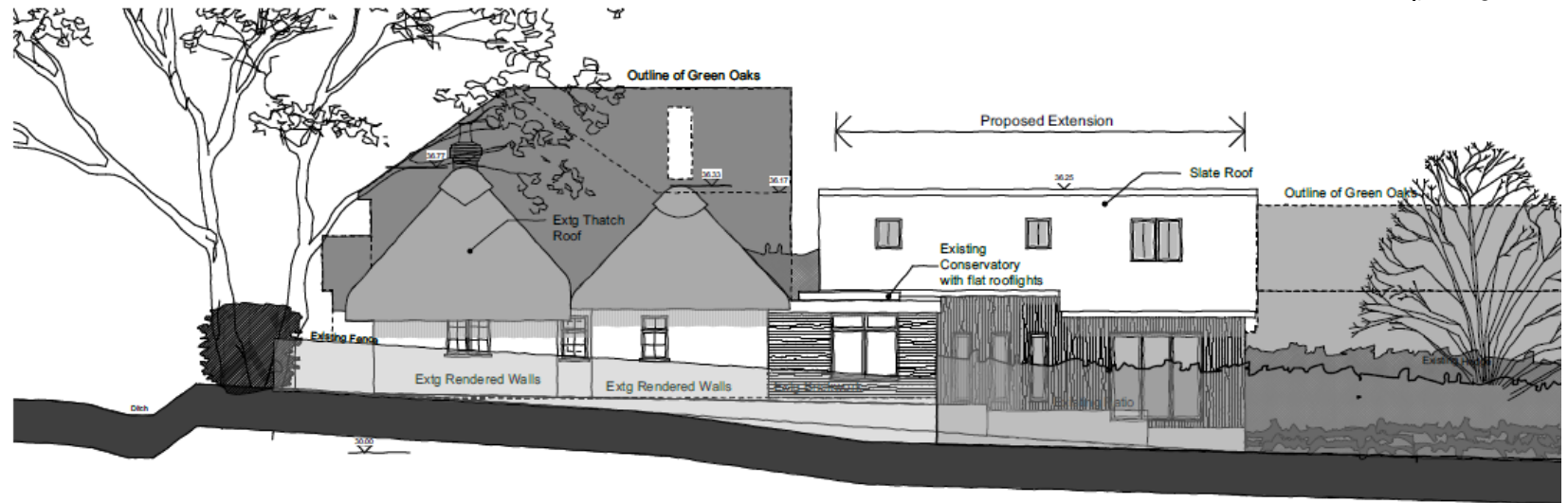
Ground Floor Plan

Design Proposals



First Floor Plan

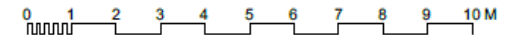
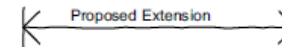
Design Proposals



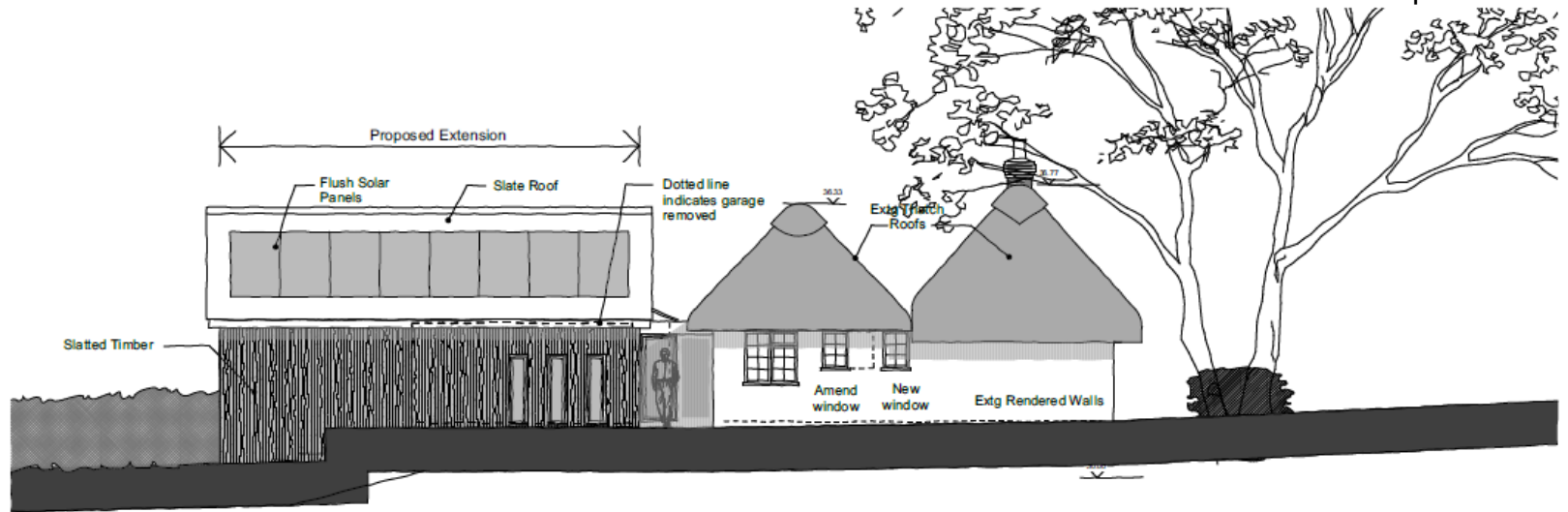
East Elevation



North Elevation



Design Proposals



West Elevation



South Elevation

