

Single Storey Rear Extension  
at  
33 Onslow Avenue  
Cheam

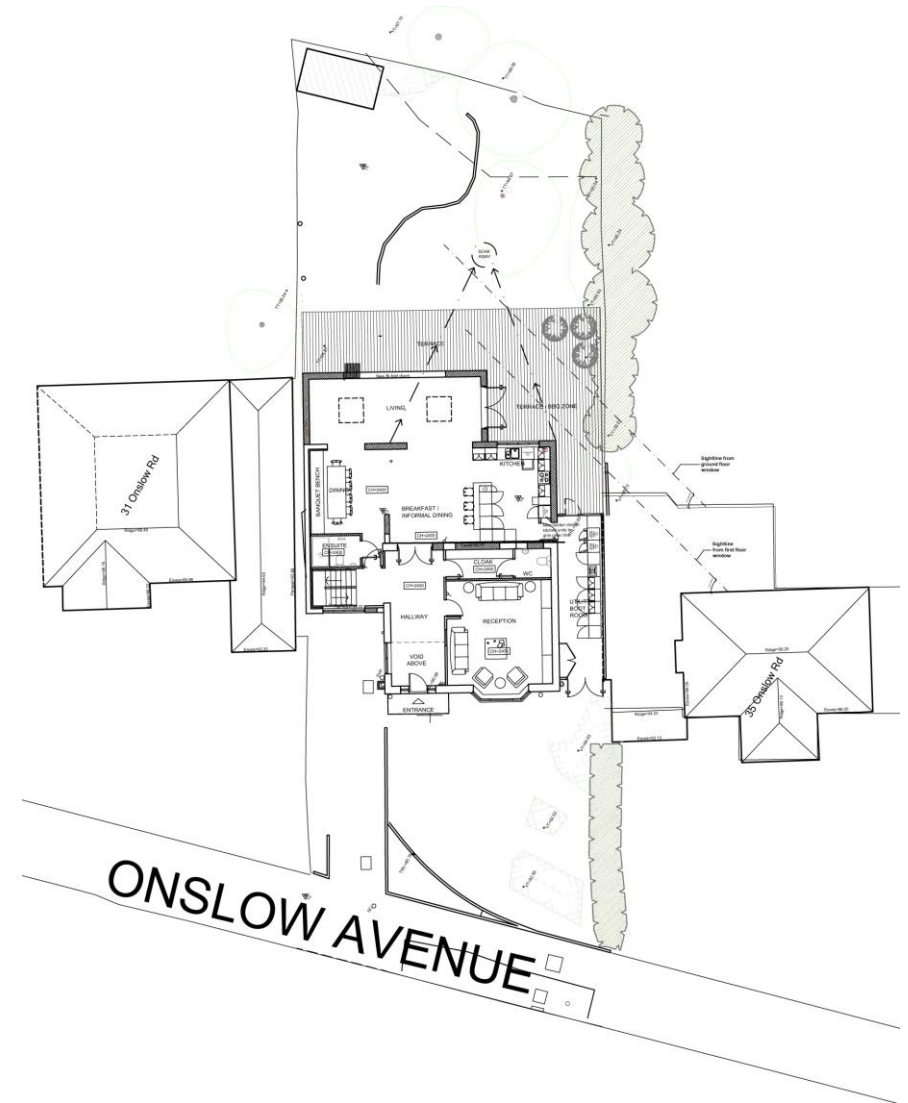
Prepared by  
Bell Associates Architects Ltd

For and on behalf of  
Evercorp Properties Ltd

## INTRODUCTION

Planning permission reference DM2023/01555 approved construction for a two-storey rear extension together with adjustments to facades and re-modelling of the roof to a more traditional style.

The works are progressing and the shell is substantially complete.



Proposed Site Layout

## PLANNING HISTORY SUMMARY

There have been three recent planning approvals for the subject site which are relevant to this application:

### **DM2023//01094**

Erection of single storey rear extension, conversion of garage into a habitable room and a front entrance porch.

### **DM2023//00610**

Demolition of existing house and erection of a two-storey detached house with accommodation in roof space, parking, cycle and bin storage areas.

### **DM2023/01555**

Erection of a two-storey rear extension and conversion of existing garage into a habitable room, formation of a front entrance canopy and alterations to fenestration to all elevations, conversion of loft space, involving alterations to the existing roof line, increase of the ridge height of the main roof, two dormers to rear roof slope and a roof light to front roof slope.

The above applications were all approved.

## THE SITE

The site is located at 33 Onslow Avenue, Cheam, SM2 7ED.

Onslow Avenue and the surrounding neighbourhood and locality is characterised by large, detached properties set back from relatively wide tree lined roads. Properties do vary in size, but all are generous family dwellings with substantial rear gardens. Many of the original properties have been either remodeled, rebuilt or extended over a period of many years.

33 Onslow Avenue is located towards High View and, when first constructed in 1953, was fully detached and one of the smaller family dwellings along the avenue. Similarly, the rear garden is generous but less deep compared to many in the area.



No 33 Onslow Avenue – Birds Eye View



No 33 Onslow Avenue – Birds Eye View

### EXISTING PHOTOGRAPHS – REAR ELEVATION

The previously approved application DM2023/015555 has been constructed and as the photos opposite shown has been substantially completed. The walls and roof have been completed and the fenestrations will be installed in the following week (at point of writing 15 April).

As a result, we believe the building therefore can be deemed as existing for the purpose of this application. The existing drawings represent the approved drawings as per application ref DM 2023/01555.



Rear Elevation – As per approved application DM2023/01555



Rear Elevation – As per approved application DM2023/01555

**THE PROPOSAL**

This planning application seeks approval to construct an additional single storey extension to the rear. At 3.5m deep from the line of the as built line for the previously approved scheme the footprint aligns with the rear face of the existing single storey side extension to 31 Onslow Avenue.

The extension will not be visible from 31 Onslow Avenue and is within the 45 degree visibility splay from 35 Onslow Gardens meaning there is no detrimental impact on neighbours.

The proposed extension is 3.5m deep, 9.04m wide, and 3.0m high with a GIA area of 27.0 sqm.

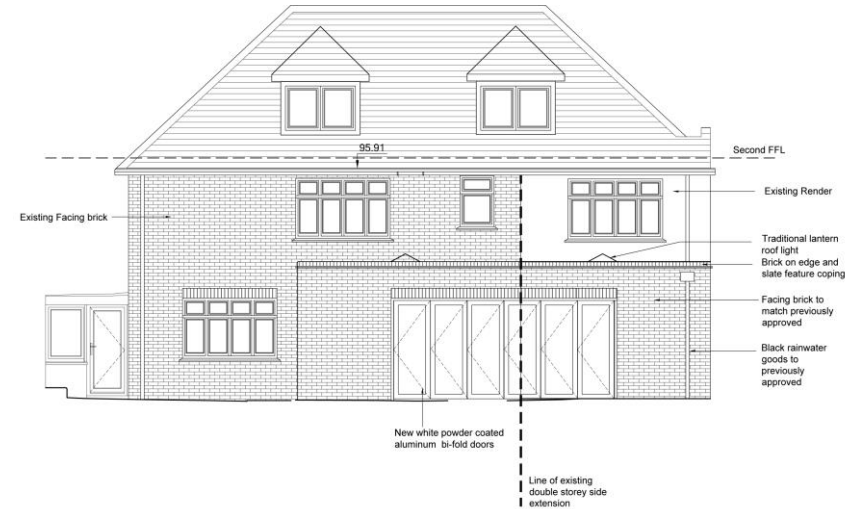
Elevations are of red facing brick to match the existing property with a creased tiling and brick on edge coping detail to the parapet. The flat roof integrates two lantern light rooflights. A set of bi-folding doors and a pair of doors are white aluminium to match the colour of the frames to the existing property.

Rainwater is drained to a soakaway located in the rear garden and sized to accommodate the additional drainage load from the extension.

An external terrace is proposed outside the extension which will be permeable paving with acco drains to the soakaway.

The site has been cleared as per the previous planning approval and the extension does not require removal of any trees or shrubs.

A substantial garden is retained of a size comparable with other properties in the area.



Proposed Rear Elevation



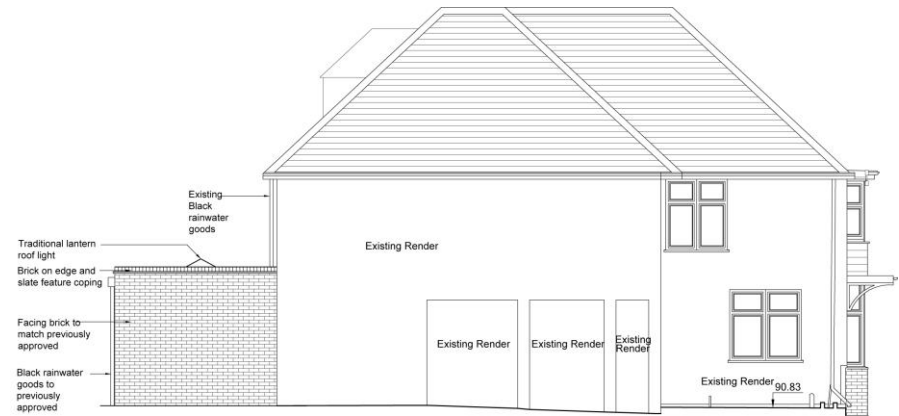
Existing Front Elevation

**THE PROPOSAL**

The new extension will meet and exceed the thermal insulation requirements of the revised Building Regulation Approved Document Part L 2012 edition incorporating 2023 amendments.

LED lighting and underfloor heating are to be installed to the newly formed living space.

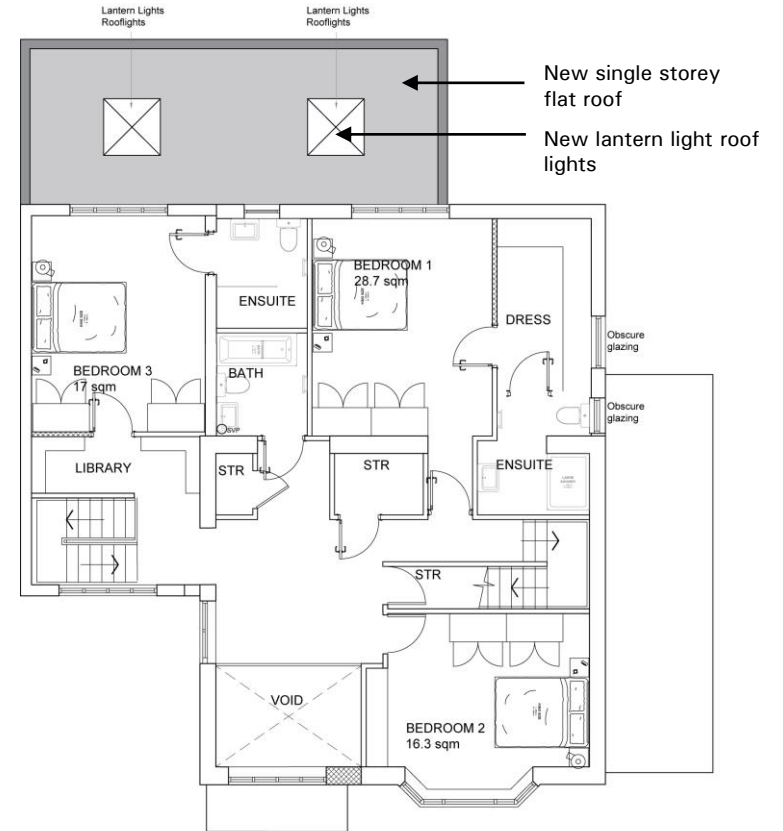
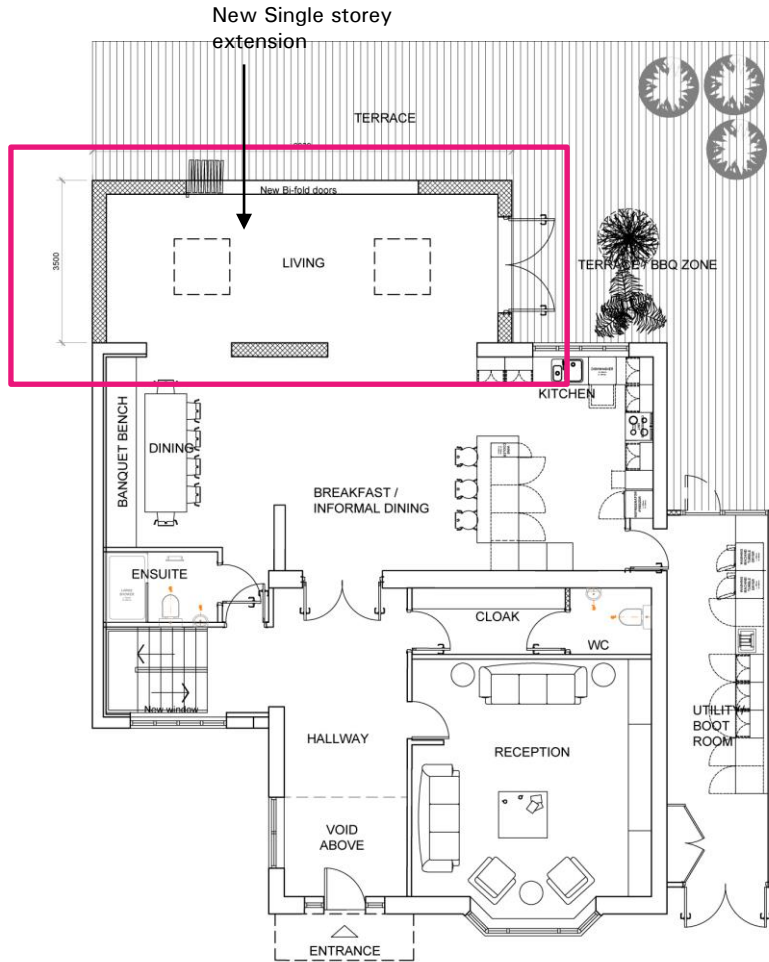
The fire escape strategy remains as for the previously approved planning permission.



**Proposed Side (West) Elevation 1**



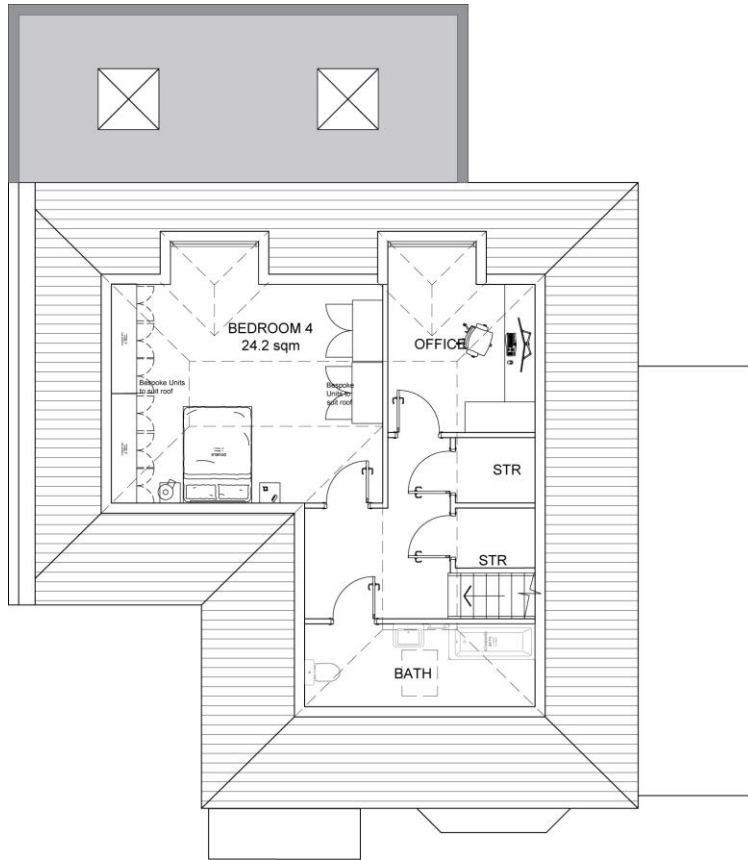
**Proposed Side (East) Elevation 2**



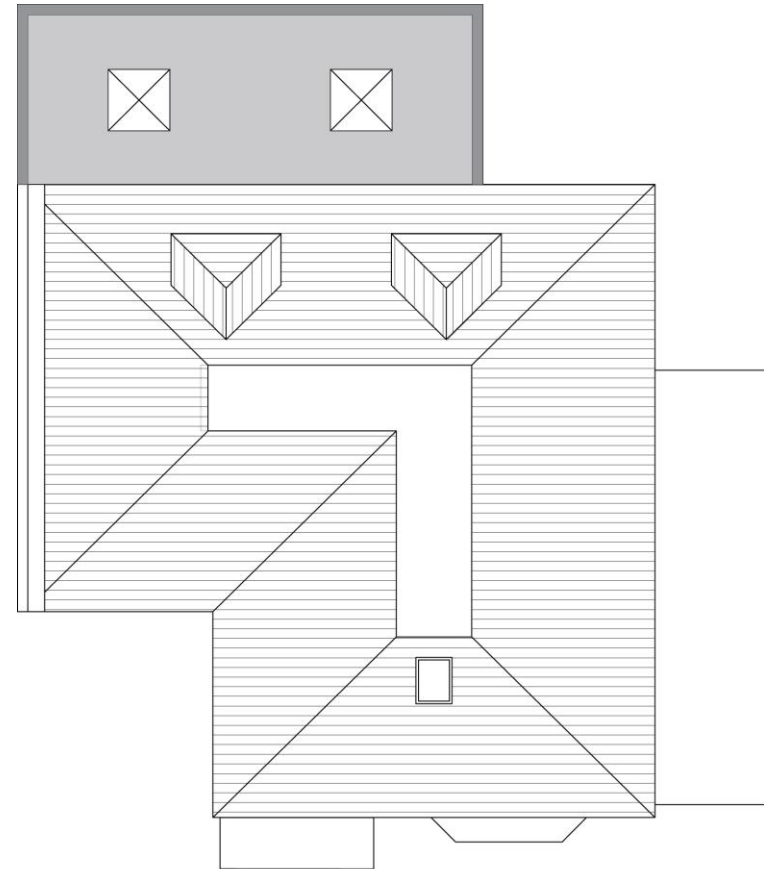
Proposed Ground Floor

Proposed First Floor





Proposed Second Floor Plan



Proposed Roof Plan

## LANDSCAPE AND ARBORICULTURAL

As previously mentioned the site has been cleared as per the previous planning approval and the extension does not require removal of any trees or shrubs.

An external terrace is proposed outside the extension which will be permeable paving with acco drains to the soakaway.

## FLOOD RISK ASSESSMENT

The subject site has been identified by the Environmental Agency as being in a Flood Risk Zone 1 and therefore has a low probability of flooding. All the information previously submitted remains the same and was part of the approval.

APPENDIX

**The following documents are being submitted in the support of the application**

**Bell Associates drawings**

- 093-022-100 Existing Location and Block Plan
- 093-022-101 Proposed Location and Block Plan
- 093-022-102 Existing Site Plan
- 093-022-103 Proposed Site Plan
- 093-022-201 Existing Floor Plans
- 093-022-202 Proposed Floor Plans
- 093-022-301 Existing Elevations
- 093-022-302 Proposed Elevations
- 093-022-401 Existing and Proposed Sections

**Reports and Assessments.**

- Flood Risk Planning Map
- Fire Safety Statement
- 33 Onslow form CIL