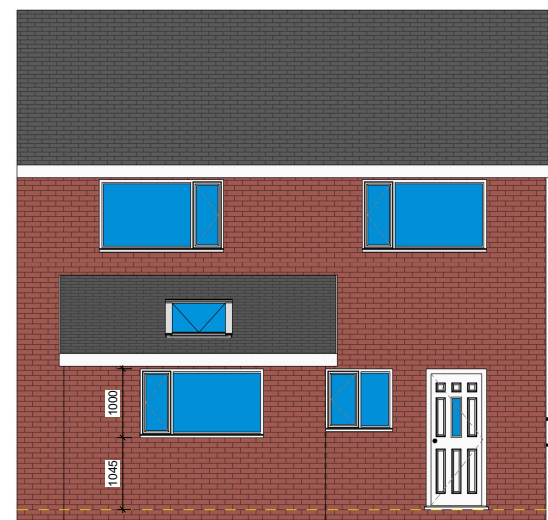
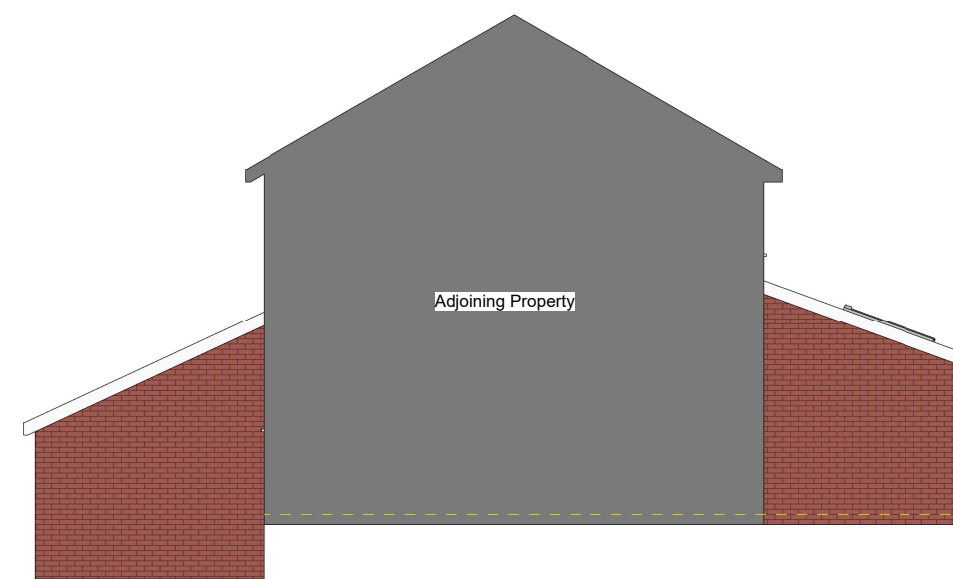


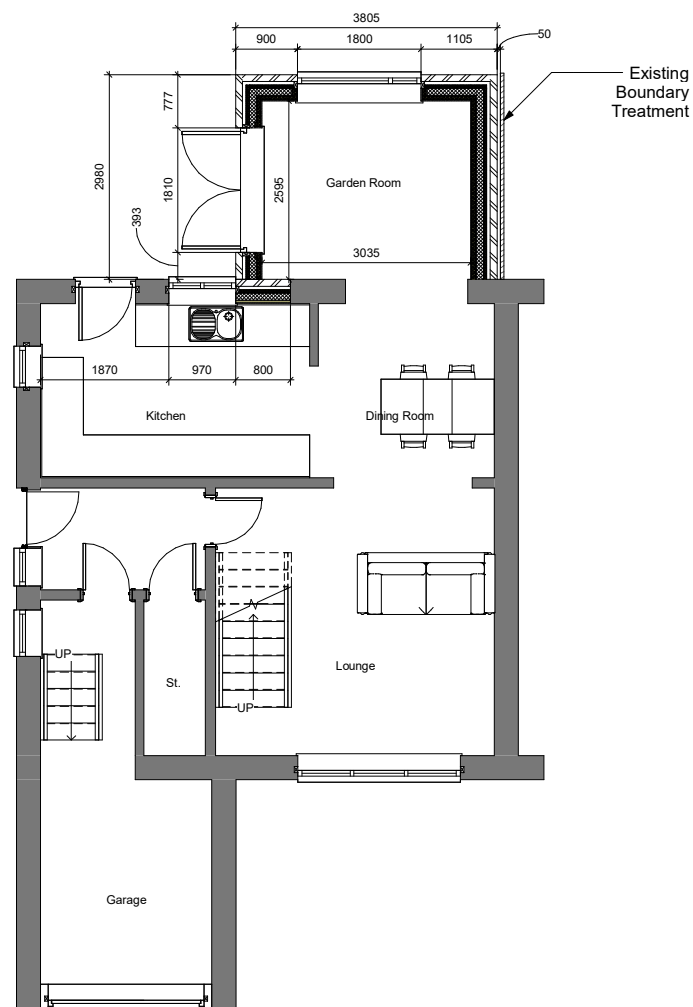
**3 Proposed LHS Gable Elevation**  
1 : 50



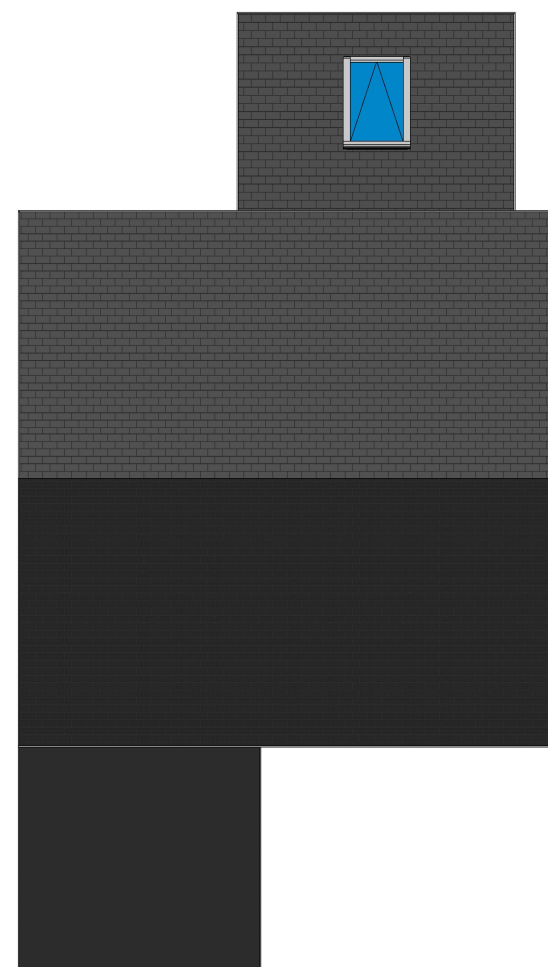
**4 Proposed Rear Elevation**  
1 : 50



**5 Proposed RHS Gable Elevation**  
1 : 50



**1 Proposed Ground Floor Plan**  
1 : 50



**2 Proposed Roof Layout**  
1 : 50

**GENERAL NOTES**

**Front Elevation**  
Existing elevation brick construction, with a clad and render finish in places. Existing windows are anthracite grey UPVC. There are to be no changes to the front elevation.

**Gable Elevations**  
Existing elevation brick construction, existing windows are black UPVC. Proposed works are to be brick construction to match the existing in colour. Proposed doors to be white UPVC to match the existing in colour and material.

**Rear Elevation**  
Existing elevation brick construction, existing windows are white UPVC. Proposed works are to be brick construction to match the existing in colour. Proposed window to be white UPVC to match the existing in colour and material.

**Roof**  
Existing roof has a tile finish. Proposed construction is to have a smooth tile finish to match the existing in colour and material.

**CDM REGULATIONS 2015**  
The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer (to plan, manage and coordinate the planning and design work) and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrangements in place for managing and organizing the project).

**Building Regulations**  
All work is to comply with the relevant Building Regulations and all statutory notices are to be given to the Building Control department at the local authority at the appropriate stages. All contractors are to visit site to acquaint themselves with the layout and access to the site prior to tendering. If an approved inspector is used then the AI must notify the local authority that the building regulations will be carried out under the initial notice procedure. AI to be given notice of statutory inspections to allow inspection at appropriate stages.

**Materials, goods and workmanship**  
Goods, materials and workmanship are to be of the best quality of their respective kinds and those for which there are a British Standard or Code of Practice are to conform thereto unless otherwise stated. Descriptions of goods, materials and workmanship given in any one trade are to apply throughout this Specification unless otherwise stated. All workmanship shall be carried out in accordance with current Building Regulations. All materials shall be used and fixed strictly in accordance with manufacturer's instructions, unless specified otherwise. All commodities to be new and left in perfect condition on completion and when incorporated into the works.

**Health & Safety**  
The Contractor shall ensure that all safety, health and welfare measures required under or by virtue of the provision of any enactment or regulations or the working rules of any industry are complied with. In carrying out the works the contractor shall at all times comply with the requirements of the Construction (Design and Management) Regulations 2015, this will include taking on Clients duties, unless Client appoints separate Principal Designer. Where necessary notifications to be served to HSE and appropriate Construction manuals produced.

**Legend**

- Brickwork - Plans
- Blockwork - Plans
- Internal Stud Wall - Plans
- PIR Insulation - Plans
- Brickwork - Elevations
- Tile Roof Finish - Elevations

01	Planning Issue	26/03/24
00	Initial Issue	20/03/24
Rev. No.	Revision Description	Rev. Date
Title: Proposed Floor Plan, Elevations and Roof Layout		
Project: 47 Greave Close, Rossendale, BB4 8JT.		
Client: Daniel Delaney, 47 Greave Close, Rossendale, BB4 8JT.		
Scale (@ A1)	Drawn By:	Checked By:
As indicated	JW	AW
Date: 20/03/2024		Project Number: 374
Drawing Number: JCBD-24-374-2		Revision Number: 01