

Prior Notification Support Statement.

Address: Dyke Farm
Symington
KA1 5PN

Applicant: Mr Ron Turkington

Proposed conversion of agricultural shed.



SECTION 1

1.1 Introduction

SECTION 2

2.1 Planning Considerations

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SECTION 1.

1.1 - INTRODUCTION :

The following information is provided as a supporting statement for the Prior notification application for the conversion of an existing agricultural shed located at Dyke Farm, Symington.

The shed sits behind 3 newly constructed dwellinghouses off the C93, and is accessed from an existing lane located between the new house at Dyke Farm and Woodbank House. The shed was constructed in the mid 90's and has been in use as an agricultural cattle shed from that point to the current day.



Figure 1 – Site location.



Figure 2 – Photograph of the shed from the west.



Figure 3 – Photograph of the shed from the west.



Figure 3 – Front elevation of the shed.

2.1 – PLANNING CONSIDERATIONS

The Planning Policy and conditions relevant to this application are :

The Town Planning and Country Planning (General Permitted and Use Classes (Scotland) Amendment Order 2020

“Class 18B

(1) Development consisting of a change of use of a building and any land within its curtilage from a use as an agricultural building to a use as a dwelling together with the following building operations to the extent which they are reasonably necessary to convert the building to use as a dwelling.

(2) Development is only permitted by this class if -

- *the building is constructed before 4 November 2019.*
- *the building was used solely for an agricultural use as part of an agricultural unit on 4 November 2019.*
- *the floor space of any residential unit developed by virtue of this class would not exceed 150 square metres.*
- *the external dimensions of the building (excluding guttering and pipes required for drainage or sewerage, flues and aerals) should not extend beyond the external dimensions of the existing building at any given point,*
- *the building is not listed,*
- *not a site of archaeological interest,*
- *not a military explosives storage area.*
- *no risk of flooding to the site*

The shed was constructed in the mid 90's and has been in use as an agricultural cattle shed from that point to the current day.

Due to a change in the clients circumstances, it has been decided that the agricultural shed is no longer required as part of the agricultural activities at Dyke Farm. (Farm Code 69-180-0025)

The existing shed comprises a steel portal frame, with aluminium cladding to the roof and part height to three of the external walls.

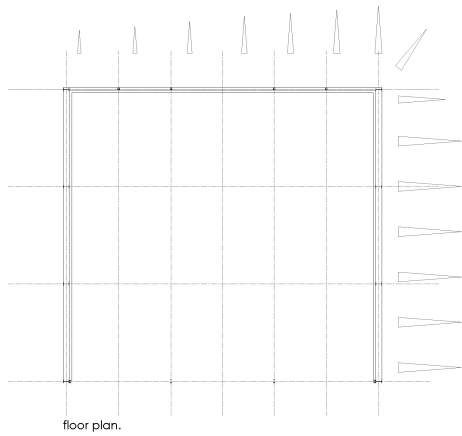
The building is not listed, and there is no archaeological interest in the site.

The site has not been used as a military explosive storage area.

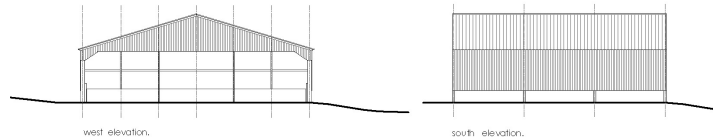
2.2 – COMPARABLE APPROVED APPLICATION

The following information may be useful in the consideration of this Prior Notification application, and references a similar application which gained Prior Notification approval from the neighbouring East Ayrshire Council.

Given that the Agricultural Permitted Development policy is a national policy introduced by the Scottish Government to help achieve an increase in rural housing on sites it considers already having been developed, then it's a material consideration what is acceptable nationally under this policy. Had this been an application based on the Local Authorities rural planning policy then weight could not be attached to other planning departments determinations. However, that is not the case and other determinations within Scotland are material in determining the outcome. To that end we have included a very relevant and comparable example that was approved on a site in adjacent East Ayrshire.



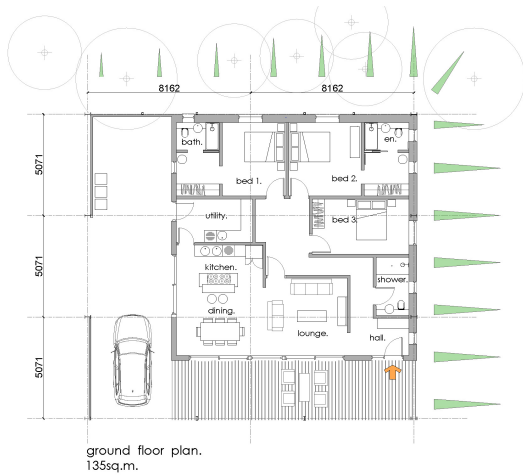
floor plan.



west elevation.

south elevation.

Existing shed.

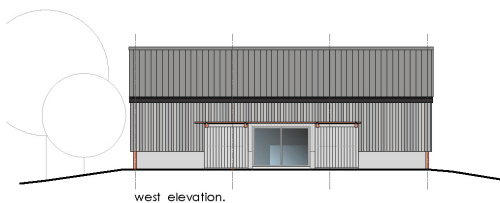


ground floor plan.
135sq.m.

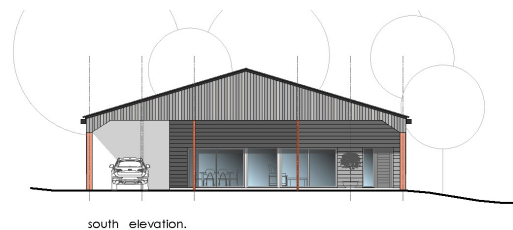


section a.

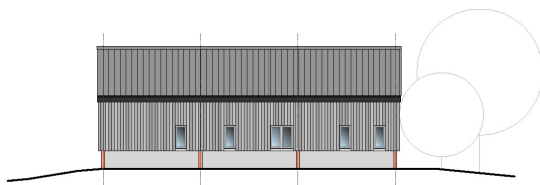
Proposed conversion
to dwelling house.



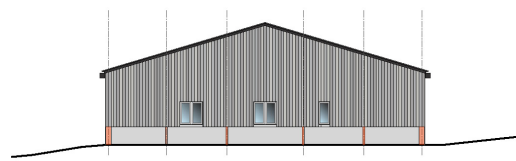
west elevation.



south elevation.



east elevation.



north elevation.

Circular 2/2015 sets out that demolition, constitution of walls, insertion of doors and windows is acceptable to the extent that allows the building to be brought to a habitable building standard and that all works are permissible that are necessarily required to achieve that outcome. The only level of works that it states is not permissible is complete demolition and a new build.

2. *Building operations are only permitted by Classes 18B and 22A to the extent that they are reasonably necessary to convert the existing building to use as a dwelling. They are limited to:*
- *the installation or replacement of doors, windows, roofs and exterior walls*
 - *the installation or replacement of water, drainage sewerage electricity gas or other services*
 - *partial demolition to the extent necessary to carry out the installation or replacement of doors, windows, roofs and exterior walls; and*
 - *the provision of access to the dwelling and of a hard surface for parking of vehicles ancillary to the enjoyment of the dwelling.*
3. *The installation or replacement of doors, windows, roofs and exterior walls or of water, drainage, sewerage, electricity, gas or other services is only permitted to the extent reasonably necessary for the building to function as a dwelling.*

The application seeks to meet these design criteria by utilising the existing steel structure. The approval has also recognised that demolition and modelling of the building beyond that which is essentially necessary is also permissible to achieve a building of quality design.

6. *The partial demolition of any building should therefore be minimised and generally confined to work essential to make the building suitable for use as a dwelling. While partial demolition is only permitted to the extent it is reasonably necessary to carry out the operations specified above it is recognised that in some cases doing so could enhance the design and appearance of the building. .*

SECTION 2.

2.2 - PROPOSALS:

The proposals are to retain the steel portal frames of the existing shed and form the four new family dwelling houses utilising the existing structure. The central section of roof will be removed.

The materials used in the external fabric of the building are appropriate and respect the rural setting, namely :

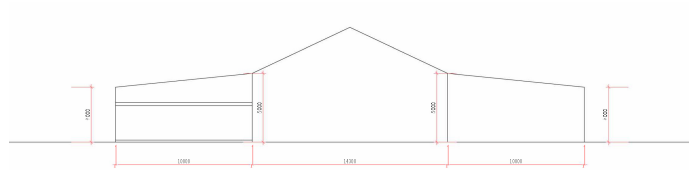
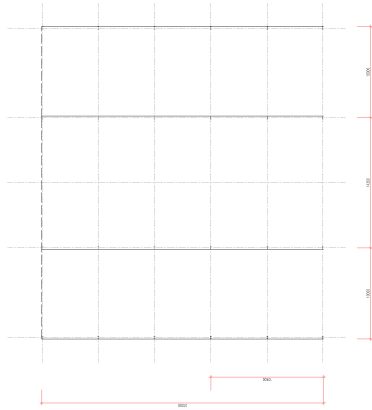
External walls : Vertical open slatted larch lining.

Roof : Corrugated fibre cement roofing sheet - Black.

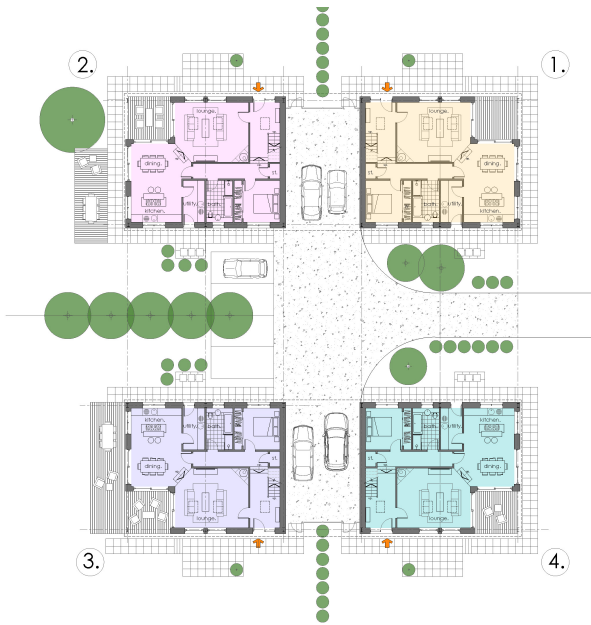
Windows and doors : Aluminium windows and doors - Anthracite.



Internal images of the existing shed, showing the existing steel portal frame in good condition, and suitable for conversion.



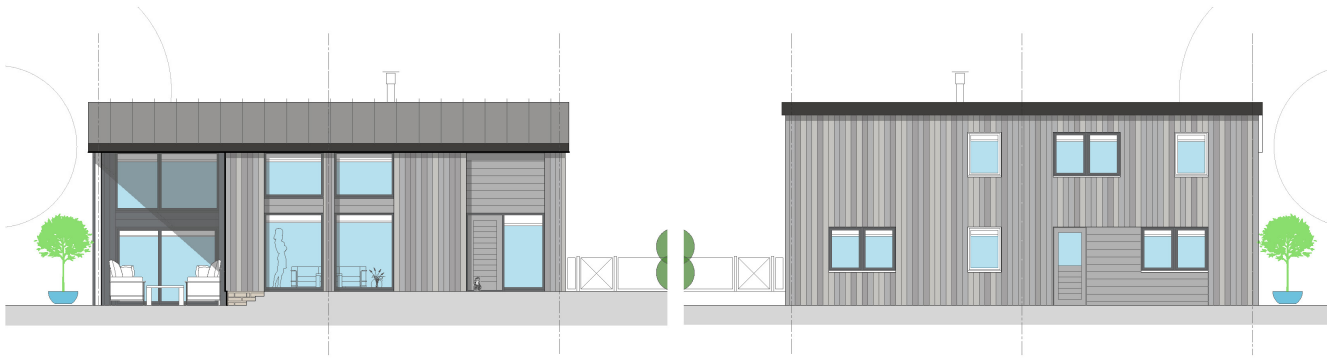
Existing shed.



Proposed ground floor plan.



Proposed first floor plan.



FRONT ELEVATION.

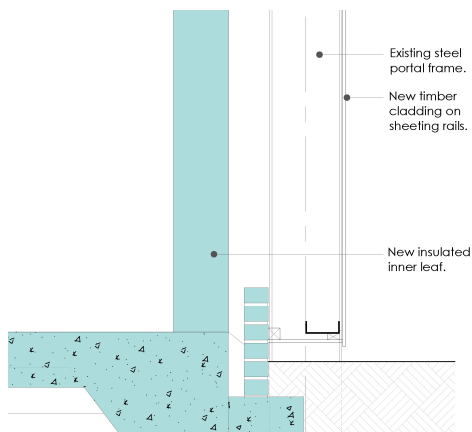
REAR ELEVATION.



SIDE ELEVATION.



TYPICAL SECTION.



WALL DETAIL A

METHODOLOGY :

The cladding to the walls and the roof of the existing shed will be removed. New sheeting rails will be fitted between the existing steel portal frames to take the new timber external cladding. New insulated concrete floor slab will be installed and a new insulated timber framed inner wall leaf built, all to conform to the current Building Regulations.

CONCLUSIONS.

The conversion of the existing agricultural shed has been designed in accordance with the criteria set out in the Planning Policy noted above.

- the building was constructed before 4 November 2019.
- the building was used solely for an agricultural use as part of an agricultural unit on 4 November 2019.
- the floor area per dwelling does not exceed 150 square metres.
- the external dimensions of the buildings (excluding guttering and pipes required for drainage or sewerage, flues and aerials) do not extend beyond the external dimensions of the existing building at any given point,
- the building is not listed,
- is not a site of archaeological interest,
- was not a military explosives storage area.
- and there is no risk of flooding to the site.