

A PHASE I DESK STUDY TO SUPPORT THE PROPOSED CONVERSION OF:

**NISSEN HUTS AT NEWTOWN MEADOW, FINGAL STREET,
WORLINGWORTH, IP19 7HR**



CLIENT: Victoria and Julian Uff
ARCHITECT: Modece Architects Limited
REFERENCE: TJB/23.378/Phase1
DATE: 5 April 2024

A F Howland Associates Limited
The Old Exchange
Newmarket Road
Cringleford
Norwich
NR4 6UF

Tel: 01603 250754
Email: admin@howland.co.uk
Website: www.howland.co.uk

Copyright © A F Howland Associates Limited 2024



A F Howland Associates

CONTENTS

1.	INTRODUCTION	1
2.	SITE LOCATION	2
3.	GEOLOGY	2
4.	HYDROLOGY	2
5.	REVIEW OF HISTORICAL ARCHIVES	2
6.	HAZARDOUS GAS SOURCES	3
7.	CURRENT LAND USES SURROUNDING THE SITE	3
8.	WALKOVER SURVEY	3
9.	DISCUSSION OF ENVIRONMENTAL ISSUES	4
10.	PRELIMINARY CONCEPTUAL MODEL	5
11.	CONCLUSIONS AND RECOMMENDATIONS	7

APPENDICES

APPENDIX A: REFERENCES

APPENDIX B: SITECHECK ASSESS REPORT

APPENDIX C: DRAWINGS

APPENDIX D: RISK ASSESSMENT CLASSIFICATION



1. INTRODUCTION

A F Howland Associates Limited was instructed by Victoria and Julian Uff (the “Client”) to carry out a Phase I Desk Study for the proposed conversion of Nissen Huts at Newton Meadow, Fingal Street, Worlingworth, Suffolk IP13 7HR (Drawing 23.378/Phase I/01). This was required to support a Class Q planning application with Mid Suffolk District Council.

This report presents archive historical and environmental information and gives details of a walkover survey undertaken to confirm the current condition of the site and surrounding area. A Sitecheck report for a small portion of land surrounding the Nissen Huts has been commissioned by the Client and is referred to in this report. The information is used to develop a preliminary conceptual model using the *source-pathway-receptor* principle and provides a qualitative risk assessment of land contamination.

The report has been carried out in general accordance with accepted best practice and methodologies (BSI, 2017; Environment Agency, 2020; DCLG, 2013) and was prepared for the sole and exclusive use of the Client and its advisors. Other parties using the contained information do so at their own risk and any duty of care to those parties is specifically excluded subject to copyright as detailed below.

The copyright of any proposal or any data presented in the report, including without exclusion all text and all procedures and methods developed by A F Howland Associates Limited is held by A F Howland Associates Limited and all rights to such are reserved.

No part of the content of, procedures described, or other facets of the report will be copied or used by others outside of the immediate context for which the work was commissioned without the express and specific request and approval to do so in writing.



2. SITE LOCATION

The site considered in this report comprises a set of three Nissen huts, located on the northern edge of the village of Worlingworth, approximately 9 km south east of Eye, Suffolk. They are centred at National Grid reference 621545, 268969 and at an elevation of around 60 m above Ordnance Datum (aOD).

3. GEOLOGY

Geological mapping (BGS, 2024) indicates for the site to be underlain by bedrock geology of the Crag Group (sand) overlain by diamicton of the Lowestoft Formation.

The British Geological Survey archive has been searched for historic borehole records. The closest borehole (TM26NW4¹), sunk in 1941 and located around 750 m to the east recorded approximately 25 m of “Boulder Clay”, interpreted to be the Lowestoft Formation, overlying the sand and gravel of the Crag.

4. HYDROLOGY

The bedrock geology of the Crag is classified as a principal aquifer. The overlying superficial deposits of the Lowestoft Formation are classified as a secondary (undifferentiated) aquifer with soils of low leaching potential. The site is located within the total catchment of a Source Protection Zone (SPZ).

The nearest surface water features are interconnected ponds and field drains, the closest of which lies about 50 m to the south east. The site is located within a Surface Water Drinking Water Safeguard Zone

5. REVIEW OF HISTORICAL ARCHIVES

A review of historical maps has been undertaken to identify potentially contaminating land uses on site and in the surrounding area.

During the latter part of the nineteenth century, the site lay within the eastern corner of a field located adjacent to a cluster of buildings identified as *Newtown*. The surrounding

¹ [BGS ID: 565006, BGS Reference: TM26NW4](#)



area was rural and mostly comprised fields. There was a pond shown off-site to the south east. By the early 20th century, the site was identified as *Allotments*.

By the latter part of the 20th century, the Nissen huts, which make up the site, were shown to be present. Additional buildings were surveyed to be present just north of the huts.

Aerial images dating from 1945 to 2022² are available. It is not possible to identify any site features on the 1945 image and for most of the images between 1999 to 2022 the area surrounding the site is obscured by trees, although the Nissen huts are visible throughout this period. Nearby, an existing barn and an adjacent shed can be seen on an image from 2007. Evidence of the present-day floricultural business is first seen on the 2021 image.

6. HAZARDOUS GAS SOURCES

Less than 1% of the properties in the site area are likely to have a radon level at or above the Great Britain action level. Radon protection measures are not typically required in this scenario.

Another source of potentially hazardous gases can be from landfill sites, other waste treatment facilities and uncontrolled backfill of voids such as mineral extraction pits. There are no active, recent or historical landfill sites within 500 m of the site nor has any potentially infilled land been identified within the surrounding area.

7. CURRENT LAND USES SURROUNDING THE SITE

The huts are currently used within a floricultural business. An area of land just east of the Huts accommodates the flower beds. There is a residential property to the east of the site, of which a series of agricultural barns lay beyond. Arable land is present to the north and east and makes up the general surrounding area.

There are recent or current industrial activities listed within 200 m of the site, with the closest being a motor vehicle garage located approximately 240 m to the north east.

8. WALKOVER SURVEY

A walkover survey was carried out on the 4 April 2024 to enable identification of the current land uses and other relevant details not otherwise identified from the archival

² Google Earth (accessed 04/04/2024)



information. The pertinent details are provided on Drawing 24.378/Phase I/02 in Appendix C.

The three huts proposed for conversion lay within a small plot used for an on-site floriculture business. The huts, which encompassed the entire site area, were half-cylindrical in design and formed with blockwork walls to the north and south. Convex corrugated cement board panels formed the roof of the huts, along with their east and western walls. Wooden doors were present on the north and south walls. Each hut had a concrete floor slab which extended to the exterior of the huts to the south and west. The corrugated cement board panels were in good condition with no evidence of disturbance aside from being painted on the interior of one of the buildings. The interior of the huts was inspected further. They were found to be used for storage associated with the on-site floriculture. They contained machinery used for light agriculture and general maintenance along with hand tools and small solvent and fuel stores. There were no signs of spillages. In addition to the general items stored within the huts, the western hut contained a kitchenette and the eastern hut contained some domestic items. The base of the huts was generally level along with the surrounding site, which was in turn surrounded by hedges to all aspects. A small building lay just north of the central hut. The surrounding area was given over to agriculture.

There were no surface water features on site, but a pond was located off-site to the south east.

9. DISCUSSION OF ENVIRONMENTAL ISSUES

It is proposed to convert the existing nissen huts into a residential dwelling.

The site is underlain by both a principal and secondary (undifferentiated) aquifer and lies within the total catchment of a Source Protection Zone. There are surface water features in the immediate surrounds. The superficial clay deposits would provide a low permeability barrier over the principal aquifer.

It is understood that the immediate plot surrounding the huts has historically been of agricultural use, but has been under the Client's ownership since 2001. The huts are considered to have been used in conjunction with the surrounding site since their construction and are currently being utilised in a cut flower business.



No significant potential sources of contamination have been identified, but localised contamination could have arisen from the past use of the site and its surrounding area. The hardstanding surfacing within the site acts as a barrier to any potentially contaminated soils beneath. If the proposals for the site include the creation of garden areas, where end users may become exposed to the soils, future investigation is recommended to rule out the risk of contamination.

No sources of potential ground gas have been identified.

It is noted that corrugated cement board makes up the fabric of the huts. During the conversion, the processing of this should be overseen by a licensed contractor.

10. PRELIMINARY CONCEPTUAL MODEL

Following a review of the archival information and the walkover survey a Preliminary Conceptual Model was devised to determine the risk to appropriate targets from the potential contaminating activities assessed for the site.

The Preliminary Conceptual Model collates the evidence gained and establishes the potential linkages that may exist under the principle of “source-pathway-receptor”. This is presented in Table 1 below.

A risk category³ is determined for the potential linkages and an assessment made of risk and the significance of that risk from professional judgement. Where appropriate, further work is recommended to assess whether the potential linkages are realised.

³ Risk assessment classification included as Appendix E



Source of Contamination	Pathway	Receptor	Probability and Reasoning	Consequence and Reasoning	Risk Classification
Potentially contaminated soils from historical and current use	Direct contact, inhalation, ingestion	Human end-users	Unlikely – potential for localised contamination from past use identified, but mitigated by hardstanding within the buildings. If garden areas are to be included these should be considered separately.	Medium – hardstanding within huts removes pathway to human end users	Low Risk
		Construction workers	Low likelihood – potential for localised contamination identified but unlikely to be significant enough to impact construction workers	Mild – short term exposure but can be controlled by use of PPE and suitable hygiene practices	Low Risk
	Percolation and migration of leachate / mobile contaminants	Groundwater	Unlikely – potential for localised contamination identified but significant mobile or leachable contamination not expected and low permeability superficial deposits present	Medium – site is underlain by both principal and secondary aquifers and lies within a SPZ	Low Risk
		Surface water		Medium – ponds in the surrounding area	Low Risk
	Direct Contact	Water supply pipes	Unlikely – no source of contamination that could permeate plastic water supply pipes identified	Medium – human receptors	Low Risk
		Buried concrete	Unlikely – no evidence for significant aggressive chemicals	Medium – robust receptor	Low Risk
Potentially infilled land on and off site	Gas migration and accumulation in structures	Human end-users	Unlikely – no infilled land identified	Severe - acute risk to potential end users	Low/Moderate Risk¹
		Structures			Low/Moderate Risk¹
Radon Gas		Human end-users	Unlikely – site outside of radon affected area	Medium - chronic risk to human end users	Low Risk

Notes: ¹ a moderate/low risk has been determined based on the probability and consequence however, based on the lack of a ground gas source the risk is likely to be low or negligible.

Table 1 – Preliminary Conceptual Site Model

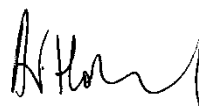


11. CONCLUSIONS AND RECOMMENDATIONS

1. A Phase I Desk Study was undertaken for the proposed conversion of three Nissen huts at Newtown Meadow, Fingal Street, Worlingworth, IP13 7HR.
2. The site is currently in use as a cut-flower business. Historically it was in agricultural use. The huts have been present since the mid twentieth century.
3. No significant potential sources of contamination have been identified but localised contamination could have arisen from past general use of the site.
4. Geological mapping indicates the site to be underlain by a bedrock geology of the Crag overlain by superficial deposits of the Lowestoft Formation. The Crag is a principal aquifer and the superficial deposits are a secondary (undifferentiated) aquifer. There are surface water features in the immediate surrounds.
5. The risk of the exposure of locally contaminated soils to human end users is mitigated by the hardstanding surface within the barns. Human end-users are unlikely to come into contact with the soils below the site underneath the huts. A low risk is concluded.
6. It is unlikely that significant mobile or leachable contamination is present that could pose a threat to surface water or groundwater and low permeability superficial deposits would prevent significant migration. A low risk is concluded.
7. It is unlikely that contamination exists on site that would have the potential to permeate water supply pipes or be aggressive to concrete and a low risk is concluded.
8. No significant sources of ground gas have been identified and a low or negligible risk from ground gas is concluded.
9. When considering the proposed conversion of the Nissen huts, no investigation is recommended. However, if garden areas are proposed, an intrusive investigation is recommended to target any high exposure areas. This should include analysis for a suite on contaminants and quantification of the risks identified in the conceptual model.



T J Barker
BSc (Hons) AMIEnvSci
A F HOWLAND ASSOCIATES
5 April 2024



Eur Ing Dr A F Howland
MSc PhD DIC CEng FIMMM CGeol FGS GMICE



APPENDIX A: REFERENCES

BRITISH GEOLOGICAL SURVEY (BGS). 2024. <https://www.bgs.ac.uk/map-viewers/geoindex-onshore/>

BRITISH STANDARDS INSTITUTE (BSI). 2017. BS 10175:2011+A2:2017. Code of practice for investigation of potentially contaminated Sites. British Standards Institution. London.

DEPARTMENT FOR COMMUNITIES AND LOCAL GOVERNMENT (DCLG). 2013. The Building Regulations - England - Approved Document C: Site preparation and resistance to contaminants and moisture, 2004 and incorporating 2010 and 2013 amendments.

ENVIRONMENT AGENCY. 2020. Land Contamination Risk Management (LCRM). Accessed at: <https://www.gov.uk/government/publications/land-contamination-risk-management-lcrm>. Environment Agency, Bristol.



APPENDIX B: SITECHECK ASSESS REPORT

Reference 306337736



Sitecheck Assess



Contaminated Land

PASSED

No significant contaminant linkage has been identified and any liabilities from contaminated land are unlikely. No further action is required.



Flood Risk Screen

NONE IDENTIFIED

We have not identified an elevated flood risk at your property. A full flood risk report is not considered necessary.



Energy & Infrastructure Screen

IDENTIFIED

A screening of Energy & Infrastructure projects has identified a project/s at or close to the property. You should purchase a SiteSolutions Energy & Infrastructure report to better understand the potential impact on the property. Please refer to the next section for further information.



Radon

NONE IDENTIFIED

The property is not considered to be within a radon affected area. No further action is considered necessary.



Environmental Constraints

NONE IDENTIFIED

No Environmental Constraints have been identified within 250 metres of your property.

This report is issued for the property described as:
Home Farm, New Town, Worlingworth, WOODBRIDGE, Suffolk, IP13 7HR

Report Reference:
306337736

National Grid Reference:
621470 268940

Customer Reference:
2312_Newtown_SAS

Report Date:
26 January 2023

CONTACT DETAILS

If you require any assistance please contact our customer support team on:

0844 844 9966

or by email at:
helpdesk@landmark.co.uk

Professional Opinion and Recommendations

Please see below our recommendations and next steps. These may be copied into your Report on Title if you wish. No physical site inspection has been carried out or is proposed.



Section 1: Contaminated Land

PASSED

Professional Opinion

In the professional opinion of Landmark Information Group, the level of risk associated with the information assessed in this report:

- 1) is unlikely to have an adverse effect on the value of the property, and
- 2) is not such that the property would be designated "contaminated land" within the meaning of Part 2A of the Environmental Protection Act 1990.

You should be aware of the following:

As part of this assessment, we have considered sensitive receptors and human health, as this information is considered as part of the Local Authorities Part 2A inspection strategy.

Please see section 1 for further information. Alternatively, please contact your professional advisor or Landmark Customer Services on 0844 8449966.



Section 2: Flood Risk Screen

NONE IDENTIFIED

Landmark Information have not identified an elevated flood risk at your property. A full flood risk report is not considered necessary.



Section 3: Energy & Infrastructure Screen

IDENTIFIED

Landmark Information have identified Energy or Infrastructure projects at or close to the property. In order to gain more detailed information regarding the projects and the potential impact, it is recommended that you purchase a SiteSolutions Energy & Infrastructure report. If you would like more information, please contact your Search Provider or our Customer Services Team on 0844 844 9966 or email helpdesk@landmark.co.uk.



Section 4: Radon

NONE IDENTIFIED

Landmark Information have identified that the property is in a lower probability radon area as less than 1% of homes are estimated to be at or above the action level for radon gas.

Radon Protection Measures: No radon protective measures are necessary in the construction of new dwellings or extensions to existing buildings.

Professional Opinion and Recommendations



Section 5: Environmental Constraints

NONE IDENTIFIED

Landmark Information have not identified any environmental constraints within 250m of the property.

Next Steps

If you require any assistance, please contact our Customer Services Team on:
0844 844 9966 or helpdesk@landmark.co.uk

Property Location




Location Plan

The map below shows the location of the property.



Contains Ordnance Survey data © Crown copyright and database right 2023.

 Site

 Search Radii

Property Purchaser Guide

Understanding this report

The purpose of this report is to highlight any potential risk of contaminated land, as defined under Part 2A of the Environment Protection Act 1990. The report also examines whether the property is at risk from other specified environmental factors that may impact the future intended use and saleability of the property.

For contaminated land, we will state 'Passed' on the front page if our environmental consultants consider there to be no risk to the property. If a potential risk of contaminated land is found, the report front page will state 'Further Action'. In this case, we will include our recommendations and next steps.

For all other environmental factors, we will state 'None Identified' if no potential risk is found and 'Identified' if a potential risk is found. In this case, we will provide recommendations or details of further information required to explore this potential risk.

Section 1: Contaminated Land

In this section, we highlight on a map, and within our findings pages, if there are any potential contaminated land risks at or around the property. Contaminated land contains substances that are actually or potentially hazardous to health or the environment.

Section 2: Flood Risk Screen

This section is a flood screen. This means that if we highlight a flood risk at the property, a further report will be required in order to understand the full details and possible impact on the property. Within the section, we consider River, Coastal, Surface water, Groundwater and other flood risks.

Section 3: Energy & Infrastructure Screen

This section is an Energy and Infrastructure projects screen. This means that if we identify any projects at or

close to the property, a further report will be required in order to understand the full details and possible impact on the property. Within the section, we consider projects such as High Speed Rail (HS2), Crossrail 1 & 2, Railways, Southampton to London pipeline, Oil and Gas Exploration (Fracking), & Solar and Wind farms. (only wind and solar farms with a capacity to produce over 1MW of power are considered).

Section 4: Radon

In this section, we identify if the property is located in a radon affected area. Radon is a radioactive gas, which occurs naturally in rocks and soils and may be harmful to health. Employers have duty of care to mitigate the build up of radon gas in higher risk areas.

Section 5: Environmental Constraints

In this section, we identify factors that may have an influence on the property or surrounding area, such as national parks or conservation areas.

Next Steps

If you require any assistance, please contact our customer service team on: **0844 844 9966** or helpdesk@landmark.co.uk

Contaminated Land



Section 1a: Historical Land Uses

The map below shows the location of potentially contaminative historical land uses that have been identified from historical maps and other sources. Further details are shown on the following pages.



Contains Ordnance Survey data © Crown copyright and database right 2023.



Contaminated Land



Section 1a: Historical Land Uses

This section describes historical activity at and around the property, which could be considered to be contaminative. The information is taken from a variety of sources including Landmark's extensive historical map collection and analysis of historic activity. Records are highlighted due to the potential for contamination to exist.

Question	Response
Have any historical potentially contaminative land uses been identified within 250m of the property?	Yes

Map ID	Details	Distance	Contact
Potentially Contaminative Industrial Uses (Past Land Use)			
1	Class: Factory or works - use not specified Map Published Date: 1985	161m	1
Historical Tanks And Energy Facilities			
2	Type: Tanks Date Of Mapping: 1980	162m	1
Potentially Infilled Land (Non-Water) No features identified for this property.			
Potentially Infilled Land (Water) No features identified for this property.			

Contaminated Land



Section 1b: Incidents and Enforcements

The data within this section tells you whether your property or surrounding area has been identified by the Local Authority as “Contaminated Land” under Part 2A of the Environmental Protection Act 1990 or if there have been any other pollution incidents, prosecutions or enforcements. Should there be an indication of contamination, it is not necessarily a cause for concern. Your report will be assessed by our professional environmental consultants who will advise you what, if any, considerations need to be made should you proceed with the property purchase.

Question	Response
Have any incidents or enforcements been identified within 250m of the property?	No

Map ID	Details	Distance	Contact
Contaminated Land Register Entries and Notices No features identified for this property.			
Environmental Pollution Incidents No features identified for this property.			
Prosecutions Relating to Controlled Waters No features identified for this property.			
Prosecutions Relating to Authorised Processes No features identified for this property.			
Enforcement and Prohibition Notices No features identified for this property.			
Planning Hazardous Substance Enforcements No features identified for this property.			
Local Authority Pollution Prevention and Control Enforcements No features identified for this property.			

Contaminated Land



Section 1c: Landfill and Waste Sites

The information in this section identifies active and historical landfill and waste sites within 250 metres of the property. Having a landfill or waste site near your property does not necessarily mean that you or the property will be affected. However, it is something you need to be aware of, because landfill and waste can have a detrimental effect on the surrounding environment, property value and health. A closed landfill/waste site should be given equal consideration to an active site, because of landfill by-products. For instance, landfill with lots of organic material can continue to produce odours and gas for many years.

Question	Response
Have any landfill and waste sites been identified within 250m of the property?	No

Map ID	Details	Distance	Contact
	Historic Landfill No features identified for this property.		
	Registered Landfill Sites No features identified for this property.		
	Local Authority Recorded Landfill Sites No features identified for this property.		
	BGS Recorded Landfill Sites No features identified for this property.		
	Permitted Waste Sites - Authorised Landfill Site Boundaries No features identified for this property.		
	Integrated Pollution Control Registered Waste Sites No features identified for this property.		
	Registered Waste Treatment or Disposal Sites No features identified for this property.		
	Environmental Permitting Regulations - Waste Sites No features identified for this property.		
	Registered Waste Transfer Sites No features identified for this property.		

Contaminated Land



Section 1d: Authorised Industrial Processes

The map below shows the location of any current or recent land uses that could have the potential to cause contamination. Further details are shown on the following pages.



Map ID	Fuel Station Entries	Contemporary Trade Directory Entries
Multiple Features Present	Local Authority Pollution Prevention and Controls	Explosive Sites
Planning Hazardous Substance Consents	Control of Major Accident Hazards Sites (COMAH)	Notification of Installations Handling Hazardous Substances (NIHHS)

Contaminated Land



Section 1d: Authorised Industrial Processes

This section describes current and licensed activities within 250 metres of the property, which have the potential to cause contamination or have an impact on the environment. The licensed activities could range from pollution to air, land or water; or storage of hazardous or explosive materials. Licences may no longer be active, but the nature of the past activity means it could still have an impact.

Question	Response
Have any current or recent authorised industrial processes been identified within 250m of the property?	Yes

Map ID	Details	Distance	Contact
Fuel Station Entries No features identified for this property.			
Local Authority Pollution Prevention and Controls			
4	Name: Oliver Farm Recycling Ltd/Crusher Trucks Ltd Reference: CTL/PPC/PG3/16(04)/02 Date of Issue: Location: Oak Tree Farm, Fingal Street, Worlingworth, Woodbridge, IP13 7PD Description: PG3/16 Mobile screening and crushing processes Status: Permitted	216m	2
Control of Major Accident Hazards Sites (COMAH) No features identified for this property.			
Planning Hazardous Substance Consents No features identified for this property.			
Notification of Installations Handling Hazardous Substances (NIHHS) No features identified for this property.			
Explosive Sites No features identified for this property.			
Contemporary Trade Directory Entries			
3	Name: Sax Vehicle Services Classification: Garage Services Location: Station Yard, Fingal Street, Worlingworth, Woodbridge, IP13 7PD Status: Active	190m	3

Next Steps

If you would like any further information in respect of the above findings, we recommend that you contact our Customer Services Team on **0844 844 9966** or helpdesk@landmark.co.uk. Further Information is also available in the 'Useful Information' section.

Flood Risk Screen



Section 2a: River and Coastal Flooding

River flooding occurs when rivers and streams are unable to carry away floodwaters within their usual drainage channels. River flooding can cause widespread and extensive damage because of the sheer volume of water.

Coastal flooding results from a combination of high tides, low lying land and sometimes stormy conditions. Coastal flooding can cause widespread and extensive damage because of the sheer volume of water.

Question	Response
Is there a potential risk of river or coastal flooding at the property?	No



Section 2b: Surface Water Flooding

Surface water flooding is common during prolonged or exceptionally heavy downpours, when rainwater does not drain away into the normal drainage systems or soak away into the ground.

Question	Response
Is there a potential risk of surface water flooding at the property?	No



Section 2c: Groundwater Flooding

Groundwater flooding generally occurs during long and intense rainfall when underground water levels rise above surface level. Groundwater flooding may last for weeks or several months.

Question	Response
Is there a risk of groundwater flooding at the property?	No



Section 2d: Other Flood Risks

We analyse any historic flood events records, the proximity of the property to surface water features and the elevation of the property above sea level to enhance our overall analysis of the property.

Question	Response
Are there other flood risks identified that could impact the property?	No

Next Steps

If you would like any further information in respect of the above findings, we recommend that you contact our Customer Services Team on **0844 844 9966** or helpdesk@landmark.co.uk.

Energy and Infrastructure Screen



Section 3a: Oil and Gas Exploration and Production

Any areas to be explored for their energy potential by the oil & gas industry must be licensed by the Oil and Gas Authority. Such exploration includes areas subject to hydraulic fracturing ("fracking") investigation.

Question	Response
Is the property within 4km of any licences or drilling wells that could indicate that onshore oil and gas exploration and production operations are or could happen in the area?	No



Section 3b: Existing or Proposed Wind Farms and Wind Turbines

Wind energy is one of several alternative energy sources; however, the location of wind farms or turbines can be contentious due to visual and auditory impact on the surrounding area. The information in this section gives insight into whether there are wind farms or turbines (planned or existing) in the vicinity of the report location. We only search those wind power developments which generate between 1MW and 50MW of power.

Question	Response
Is the property within 4km of existing or proposed wind farms or wind turbines?	No



Section 3c: Existing or Proposed Solar Farms

Solar energy is one of several alternative energy sources; however, the location of a solar farm can be contentious due to its visual impact on the surrounding area. The information in this section gives insight into whether there are solar farms (planned or existing) in the vicinity of the report location. We only search those solar developments which generate between 1MW and 50MW of power.

Question	Response
Is the property within 2km of existing or proposed solar farms?	No



Section 3d: Other Renewable Power Plants

As well as wind and solar power there are a variety of other renewable power sources in the UK. This section identifies planning applications associated with these other types of renewable energy (BEIS only provides data relating to developments which have a capacity to generate over 1MW of power).

Question	Response
Is the property within 2km of any other existing or proposed renewable power plant?	No

Energy and Infrastructure Screen



Section 3e: Infrastructure

This section identifies if there are any Infrastructure projects, such as the High Speed 2 Rail Link (HS2), Crossrail, railways or the Southampton to London pipeline at or close to the property. HS2 is a proposed railway line between London and the North of England. Trains along this route will operate at speeds of up to 250mph. Proximity to the route is likely to have an impact on the surrounding areas. The Crossrail 1 project is a rail project stretching from Reading and Heathrow in the west to Shenfield and Abbeywood in the east. It will improve journey times across London, ease congestion and improve connections. Crossrail 2 is a new (proposed) railway, linking the national rail networks in and around Surrey and Hertfordshire via an underground tunnel through London.

Question	Response
Is the property located in an area that could be impacted by the development of either HS2, Crossrail 1 or Crossrail 2?	No
Is the property located in proximity to railway tracks?	Yes
Is the property located in proximity to railway stations?	No
Is the property located in proximity to the Southampton to London pipeline route?	No

Next Steps

If you would like any further information in respect of the above findings, we recommend that you contact our Customer Services Team on **0844 844 9966** or helpdesk@landmark.co.uk.

Radon



Section 4: Radon Findings

The information within this section tells you whether the property is located in a radon affected area. Radon is a radioactive gas which occurs naturally in rocks and soils. You cannot see, hear, feel or taste it. Exposure to particularly high levels of radon may increase the risk of developing lung cancer, and is therefore something you need to be aware of.

Question	Response
Is the property in a radon affected area?	The property is in a Lower probability radon area (less than 1% of homes are estimated to be at or above the Action Level).
What level of radon protection measures for new dwellings or extensions to existing ones is required for the property?	No radon protective measures are necessary in the construction of new dwellings or extensions to existing buildings.

Next Steps

The Ionising Radiation Regulations, 1999, require employers to take action when radon is present above a defined level in the workplace. Advice may be obtained from your local Health and Safety Executive Area Office or the Environmental Health Department of your local authority. The Building Research Establishment (BRE) publishes a guide (BR293): Radon in the workplace. Advice on radon in the workplace can be obtained from the Public Health England.

For further information, please contact Public Health England (see Contacts section) or go to www.ukradon.org.

Environmental Constraints



Section 5: Environmental Constraints

This section provides information on areas which have been designated as having environmental or historical importance; as such there may be constraints on property or land developments or alterations.

Question	Response
Is the property within 250m of an area likely to be impacted by Environmental Constraints?	No

Details	Distance	Contact
National Nature Reserves No features identified for this property.		
Local Nature Reserves No features identified for this property.		
Marine Conservation Zones No features identified for this property.		
Sites of Special Scientific Interest No features identified for this property.		
Ramsar Sites No features identified for this property.		
Special Areas of Conservation No features identified for this property.		
Special Protection Areas No features identified for this property.		
Nature Improvement Areas No features identified for this property.		
Environmentally Sensitive Areas No features identified for this property.		
World Heritage Sites No features identified for this property.		
Ancient Woodland No features identified for this property.		
Country Parks No features identified for this property.		
Areas of Outstanding Natural Beauty No features identified for this property.		
Forest Parks No features identified for this property.		
National Parks No features identified for this property.		

Next Steps

If you would like any further information in respect of the above findings we recommend that you contact our Customer Services Team on 0844 844 9966 or helpdesk@landmark.co.uk.

Useful Information

Limitations and Terms & Conditions

This report has been published by Landmark Information Group Limited ("Landmark") and is supplied subject to our Terms and Conditions of Business, which can be found at <http://www.landmarkinfo.co.uk/Terms/Show/534>. It has been prepared on the understanding that it is to be used for an individual commercial property transaction and should not be used or relied on upon in a residential property transaction. This report is neither a guarantee of the physical condition of the subject property nor a substitute for any physical investigation or inspection. Whilst every effort is made to ensure the details in the report are correct, Landmark cannot guarantee the accuracy or completeness of such information or data, nor identify all the factors that may be relevant. If you are a private individual using this report Landmark recommends that you discuss its contents in full with your professional advisor.

Copyright Statement

The data supplied for this Sitecheck Assess report falls under the following copyrights: Contains Historic Environment Scotland and Ordnance Survey data © Historic Environment Scotland - Scottish Charity No. SC045925 © Crown copyright and database right 2017; Contains Natural Resources Wales information © Natural Resources Wales and database right; Contains Natural Resources Wales information © Natural Resources Wales and Database Right. All rights Reserved. Contains Ordnance Survey Data. Ordnance Survey Licence number 100019741. Crown Copyright and Database Right; Contains Natural Resources Wales information © Natural Resources Wales and Database Right. All rights Reserved. Some features of this information are based on digital spatial data licensed from the Centre for Ecology & Hydrology © NERC (CEH). Defra, Met Office and DARD Rivers Agency © Crown copyright. © Cranfield University. © James Hutton Institute. Contains OS data © Crown copyright and database right 2023. Land & Property Services © Crown copyright and database right; Contains public sector information licensed under the Open Government Licence v3.0; Contains, or is based on, information supplied by the Forestry Commission. © Crown copyright and database right 2023 Ordnance Survey [100021242] ; Copyright© 2023 Scottish Environment Protection Agency (SEPA); Designated Historic Asset GIS Data, The Welsh Historic Environment Service (Cadw), 2023, licensed under the Open Government Licence <http://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>; Flood data provided by JBA Risk Management Limited. © Copyright JBA Risk Management Limited 2008-2023; Ordnance Survey © Crown copyright and/or Database Right. All rights reserved. Licence 100022432 ; Some of the responses contained in this section are based on data and information provided by the Natural Environment Research Council (NERC) or its component bodies the British Geological Survey (BGS). Your use of any information contained in this report which is derived from or based upon such data and information is at your own risk. Neither NERC, BGS nor Public Health England where applicable, gives any warranty, condition or representation as to the quality, accuracy or completeness of such information and all liability (including liability for negligence) arising from its use is excluded to the fullest extent permitted by law; © Crown Copyright and Landmark Information Group Limited 2023. All rights reserved; Contains NatureScot information licensed under the Open Government Licence v3.0; © Environment Agency and database right 2023 ; © Experian Ltd 2023; © GeoSmart Information Ltd; © Historic England 2023. Contains Ordnance Survey data © Crown copyright and database right 2023; © RenewableUK 2023; © Thomson Directories Ltd 2023; ©Landmark Information Group and/or its Data Suppliers 2023; © Natural Resources Wales & United Kingdom Research and Innovation 2023; © Environment Agency & United Kingdom Research and Innovation 2023.

Landmark works in association with:



Useful Contacts

Please see below the contact details of the suppliers referred to within this report. For all queries please contact:

Landmark Information Group
 Imperium
 Imperial Way
 Reading
 RG2 0TD

If you require assistance please contact our customer services team on:

0844 844 9966

Or by email at:
helpdesk@landmark.co.uk

Contact	Name	Address	Contact Details
	Public Health England	Centre for Radiation Chemical and Environmental Hazards Chilton Didcot Oxon OX11 0RQ	T: 01235 822622 F: 01235 833891 E: radon@phe.gov.uk W: www.ukradon.org
1	Landmark Information Group Limited	Imperium Imperial Way Reading Berkshire RG2 0TD	T: 0844 844 9966 E: helpdesk@landmark.co.uk W: www.landmark.co.uk
2	Mid Suffolk District Council, Environmental Health Department	Council Offices 131 High Street Needham Market Ipswich Suffolk IP6 8DL	T: 01473 826622 E: customer.services@baberghmidsuffolk.gov.uk W: www.midsuffolk.gov.uk
3	Thomson Directories	Thomson House 296 Farnborough Road Farnborough Hampshire GU14 7NU	T: 01252 390025 W: www.thomsonlocal.com
4	British Geological Survey, Enquiry Service	British Geological Survey Environmental Science Centre Keyworth Nottingham Nottinghamshire NG12 5GG	T: 0115 936 3143 E: enquiries@bgs.ac.uk W: www.bgs.ac.uk

Useful Contacts

Please note that if you choose to contact any of the above organisations, they may have a charging policy in place for enquiries.

Useful Information

Information for Professional Advisers

This report is designed to satisfy the concerns raised by the Law Society Practice Note and has been prepared to assist conveyancing professionals who may be advising clients when they sell or buy a property. It is designed to bring information to their attention and help them decide whether they need to seek any further specialist advice. The report gives details of any issues that we have identified as affecting the property or located nearby, and our recommendations on what to do in relation to these issues. You are authorised to copy the recommendations on the Professional Opinion and Recommendations page into any report on title that you provide to your client.

Other Information

Positional Accuracy

We locate data in a variety of ways according to information provided to us and subsequent in-house research. If data is provided as a point on the ground, we provide a "positional accuracy" which tells you how confident we are of the actual location.

Landfill and Waste

At present no complete national data set exists for landfill site boundaries, therefore, a point grid reference, provided by the data supplier, is used for some landfill sites. In certain cases the point grid references supplied provide only an approximate position, and can vary from the site entrance to the centre of the site. Where the exact position of the site is unclear for Registered Landfill data, Landmark construct either a 100 metre or 250 metre buffer around the point to warn of the possible presence of landfill. The size of this 'buffer' relates to the positional accuracy that can be attributed to the site. For further information regarding landfill sites identified in the report, please contact the relevant agency or authority referenced in the Useful Contacts section.

The BGS holds records of over 3,000 landfill sites that accepted waste prior to the Control of Pollution Act (COPA) 1974. These were not subject to any strict regulation or monitoring.

Permitted Waste Sites and Environmental Permitting Regulations - Waste cover current or recently current consents issued for landfill sites, waste transfer, treatment or disposal sites by the relevant agency, under Section 64 of the Environmental Protection Act 1990 (Part 2) and prescribed by regulation 10 of SI No. 1056 of the Waste Management Licensing Regulations 1994.

Authorised Industrial Processes

Data supplied for Explosive Sites, Control of Major Accident Hazards Sites (COMAH) and Notification of Installations Handling Hazardous Substances (NIHHS) contains public sector information published by the Health and Safety Executive and licensed under the Open Government Licence.

Historical Land Uses

This section relates to categories of potentially contaminative land uses that have been identified by the analysis of selected Ordnance Survey historical mapping. The published date (range of dates) of the map(s) and the distance from the centre of search to the nearest point of the feature is given. Further details of the extent of the site or its activities are not available. Should you wish to examine the Ordnance Survey maps these are normally available for public inspection at the local archive or local major library. Alternatively, extracts of editions of Ordnance Survey maps are available on www.old-maps.co.uk

Potentially infilled land has been identified when a 'cavity' (a hole made by an extractive industry or natural occurrence e.g. pond) was indicated on a historic map but there was no evidence of its existence in the last available map for the area. No details of what may have been used to fill the cavity or exactly when or if it was filled are available from the mapping.

The point locations of historical tanks and energy facilities are identified from the text on Ordnance Survey 1:1250 and 1:2500 scale mapping published between 1943 and 1996, based upon a predetermined list of abbreviations, e.g. El Sub (Electricity Sub-station) and F Stn (Filling Station). The position of the point has been located at the centre of the identified text so that it would be within approximately 30 meters of the feature it was describing. The features themselves are related to energy and petroleum storage and cover the following: tanks, petrol storage, potential tanks

Useful Information

(at depots etc.), electricity sub stations and related features, gas and gas monitoring related features, oil related features and miscellaneous power features. NB: It should be noted that the Ordnance Survey abbreviation for tank (tk) is the same as that for tracks. Therefore some of the captured text may relate to tracks and not tanks when the exact nature of the feature is not clear from the mapping.

Other Information

Radon

Radon is a natural radioactive gas, which enters buildings from the ground. It is the geological conditions in certain areas that can lead to higher than average volumes (some of the highest radon levels have been found in the southwest, but levels well above average have been found in some other parts of the UK).

Radon has no taste, smell or colour and special devices are needed to measure it. The gas is diluted to harmless levels out in the open but has the potential to build up to higher concentrations indoors. Exposure to high concentrations of Radon gas can pose a health risk and studies have shown that it increases the risk of lung cancer.

This report informs you whether the property is in a radon Affected Area and the percentage of homes that are estimated to be at or above the radon Action Level. This does not necessarily mean there is a radon problem in the property; the only way to find out whether it is above or below the Action Level is to carry out a radon measurement in an existing property. Due to the nature of the way the information is gathered, your property/site may have more than one probability of radon attributed to it. We report the worst case scenario on the property/site you have provided. This information is an estimate of the probability that a property/site in Great Britain is at or above the "Action Level" for radon (the level at which Public Health England recommends that radon levels should be reduced, those with an average of 200 Bq m⁻³ or more). This information satisfies CON29 Standard Enquiry of Local Authority; 3.13 Radon Gas: Location of the Property in a Radon Affected Area. Where the property/site is a new build, this information provides information on the level of protection required for new buildings under BR211 (Scivyer, 2007).

Disclaimer: "Some of the responses contained in this section are based on data and information provided by the Natural Environment Research Council (NERC) or its component bodies the British Geological Survey (BGS). Your use of any information contained in this report which is derived from or based upon such data and information is at your own risk. Neither NERC, BGS nor Public Health England where applicable, gives any warranty, condition or representation as to the quality, accuracy or completeness of such information and all liability (including liability for negligence) arising from its use is excluded to the fullest extent permitted by law.

Environmental Constraints

The Local Nature Reserves national dataset is "indicative" not "definitive". Definitive information can only be provided by individual local authorities and you should refer directly to their information for all purposes that require the most up to date and complete dataset.

Crossrail 2

Data sourced from consultation documents as published by the Department of Transport.

Important Consumer Protection Information

This search has been produced by Landmark Information Group Ltd, Imperium, Imperial Way, Reading, Berkshire, RG2 0TD.

Tel: 0844 844 9966

Fax: 0844 844 9980

Email: helpdesk@landmark.co.uk

Landmark adheres to the Conveyancing Information Executive (CIE) standards.

The Standards:

- Conveyancing Information Executive Members shall act in a professional and honest manner at all times in line with the Conveyancing Information Executive Standards and carry out the delivery of the Search with integrity and due care and skill.
- Compliance with the Conveyancing Information Executive Standards will be a condition within the Conveyancing Information Executive Member's Terms and Conditions.
- Conveyancing Information Executive Members will promote the benefits of and deliver the Search to the agreed standards and in the best interests of the customer and associated parties.
- The standards can be seen here: <http://www.conveyinfoexec.com>

Complaints

If you have a query or complaint about your search, you should raise it directly with the search firm, and if appropriate ask for any complaint to be considered under their formal internal complaints procedure. If you remain dissatisfied with the firm's final response, after your complaint has been formally considered, or if the firm has exceeded the response timescales, you may refer your complaint for consideration under The Property Ombudsman scheme (TPOs). The Ombudsman can award up to £5,000 to you if the Ombudsman finds that you have suffered actual financial loss and/or aggravation, distress or inconvenience as a result of your search provider failing to keep to the Standards.

Please note that all queries or complaints regarding your search should be directed to your search provider in the first instance, not to TPOs.

TPOs Contact Details:

The Property Ombudsman scheme
Milford House
43-55 Milford Street
Salisbury
Wiltshire SP1 2BP

Tel: 01722 333306

Fax: 01722 332296

Website: www.tpos.co.uk

Email: admin@tpos.co.uk

Landmark Complaints Procedure

If you want to make a complaint to Landmark, we will:

- Acknowledge it within 5 working days of receipt
- Normally deal with it fully and provide a final response, in writing, within 20 working days of receipt
- Keep you informed by letter, telephone or e-mail, as you prefer, if we need more time
- Provide a final response, in writing, at the latest within 40 working days of receipt
- Liaise, at your request, with anyone acting formally on your behalf

Complaints should be sent to:

Customer Relationships Manager
Landmark Information
Imperium
Imperial Way
Reading
RG2 0TD

Tel: 0844 844 9966

Email: helpdesk@landmark.co.uk

Fax: 0844 844 9980

If you are not satisfied with our final response, or if we exceed the response timescales, you may refer the complaint to The Property Ombudsman Scheme (TPOs):

Tel: 01722 333306

Email: admin@tpos.co.uk

We will co-operate fully with the Ombudsman during an investigation and comply with his final decision.

APPENDIX C: DRAWINGS

Drawing 23.378/Phasel/01	Site Location Plan
Drawing 23.378/Phasel/02	Relevant Feature Plan
Drawing 002	Site Plans Copy 1 (Modece Architects Limited)





North



Circle indicates approximate location of site



A F Howland Associates
Geotechnical Engineers

Site: Nissen Huts at Newtown Meadow, Fingal Street, Worlingworth

SITE LOCATION PLAN

Client : Victoria and Julian Uff

Date : April 2024

Dwg : 23.378/Phase1/1

Scale 1: 50,000 @ A4

Reproduced by permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office © Crown Copyright Licence No. AL 100002157
Copyright © A F Howland Associates Limited 2024



Photo 1 – the front of the huts



Photo 2 – view into the western Nissen hut



Photo 3 – view into the western Nissen hut



Photo 4 – view onto one of the Nissen huts



Photos 5, 6 and 7 were all taken inside buildings



Photo 8 – view along the eastern site boundary



Photo 9 – view along western site boundary



Photo 10 – overview of the front of the huts



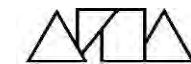
Photo 5 – interior of central hut



Photo 6 – exterior of eastern Nissen hut



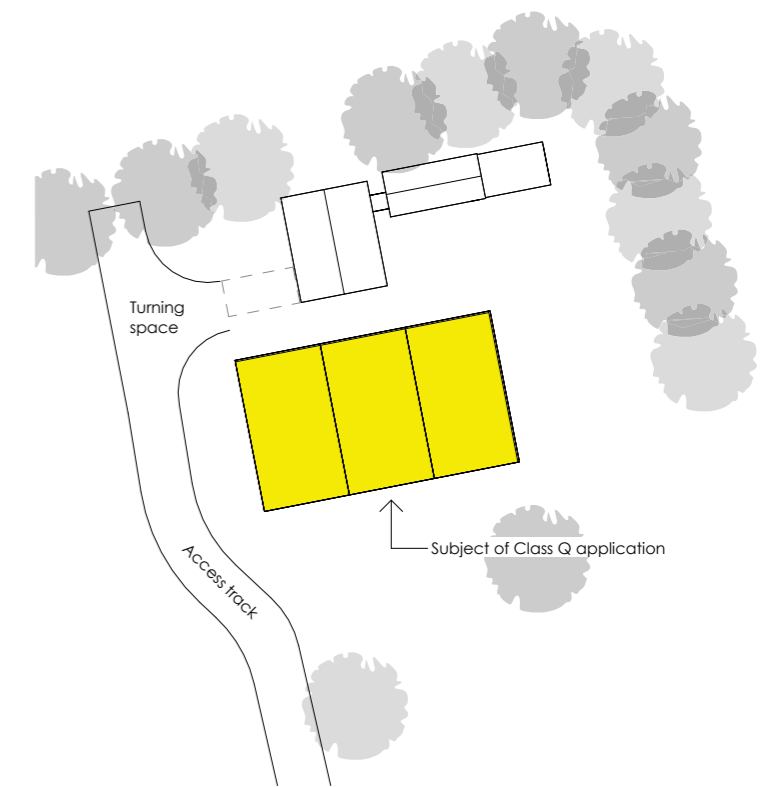
Photo 7 – eastern Nissen hut interior



A F Howland Associates Ltd.
The Old Exchange
Newmarket Road
Cringford
Norwich
NR4 6UF
Tel: 01603 250754
Website: www.howland.co.uk Email: admin@howland.co.uk

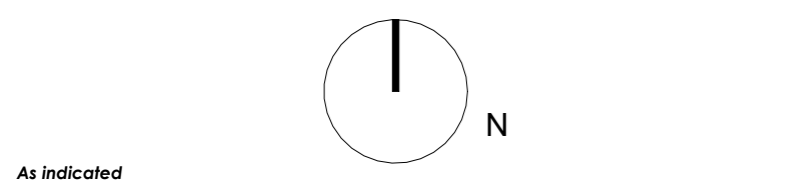
Client: Victoria and Julian Uff
Site: Newtown Meadow, Fingal Street
Worlingworth, IP13 7HR
Job No.: 23.378
Drawing Title: Relevant Feature Plan
Drawing No.: 23.378/Phase1/02
Date: April 2024





1 Site Location Plan Copy 1
1 : 1250

2 Block Plan - Existing Copy 1
1 : 500



As indicated

Rev	Date	Description

Client: Victoria Uff
 Project: **Newtown Meadow, Fingal Street, Worlingworth, Suffolk, IP13 7HR**
 Job: 2312
 Status: Planning submission
 Date Printed: 08/12/2023 11:27:28
 Drawn By: **VB** Checked By: **MB**

Drawing Title: **002** Drawing Title: *Site Plans Copy 1*
 Revision: Scale @ A3: **As indicated**

4 The Old Fox Yard, Ipswich Street,
 Stowmarket, IP14 1AB
 T 01284 830085
 studio@modece.com
 www.modece.com

© COPYRIGHT Modece Architects Limited

APPENDIX D: RISK ASSESSMENT CLASSIFICATION

Classification	Definition	Examples
High Likelihood	There is a pollution linkage and an event which would either appear very likely in the short term and almost inevitable over the long term, or, there is evidence at the receptor of harm or pollution.	Free product visible on surface of sensitive water body or in the soil. On site or adjacent gassing 'landfill site'.
Likely	There is a pollution linkage and all the elements are present and in the right place which means that it is probable that an event will occur. Circumstances are such that an event is not inevitable, but possible in the short term and likely over the long term.	Potentially contaminative land use i.e. 'Brownfield' site, fuel storage depot, factory, petrol station etc. Sensitive receptors to be introduced as part of site redevelopment. Potentially infilled land identified on site or off-site with credible migration pathway.
Low Likelihood	There is a pollution linkage and circumstances are possible under which an event could occur. However, it is by no means certain that even over a longer period such event would take place, and is less likely in the shorter term.	Potential source of contamination identified i.e. historical land use as allotments or domestic above ground fuel storage tanks, areas of burning garden waste. Possible off-site infilled land.
Unlikely	There is a pollution linkage but circumstances are such that it is improbable that an event would occur even in the very long term.	No significant potential sources of contamination identified e.g. 'Greenfield' site. No potential sources of ground gas.

TABLE E1: CLASSIFICATION OF PROBABILITY

Classification	Definition	Examples
Severe	Short term (acute) risk to human health. Short term risk of pollution of sensitive water resource. Catastrophic damage to buildings/property. A short term risk to a particular ecosystem.	High concentrations of cyanide on the surface of an informal recreation area. Major spillage of contaminants from site into controlled water. Credible source of ground gas.
Medium	Chronic damage to Human Health. Pollution of sensitive water resources. A significant change in a particular ecosystem, or organism forming part of such ecosystem.	Concentrations of a contaminant from site exceeds the generic, or site specific assessment criteria. Leaching of contaminants from a site to a Secondary or Principal aquifer.
Mild	Pollution of non-sensitive water resources. Significant damage to buildings/structures and crops ("significant harm" as defined in the Circular on Contaminated Land, DETR, 2000). Damage to sensitive buildings/structures or the environment.	Concentrations of a contaminant do not exceed the generic, or site specific assessment criteria. Pollution of non-classified groundwater. Damage to building rendering it unsafe to occupy (e.g. foundation damage resulting in instability).
Minor	Harm, although not necessarily significant harm, which may result in a financial loss, or expenditure to resolve. Non-permanent health effects to human health (easily prevented by means such as Personal Protective Equipment, etc).	The presence of contaminants at such concentrations that protective equipment is required during site works. The loss of plants in a landscaping scheme.

TABLE E2: CLASSIFICATION OF CONSEQUENCE



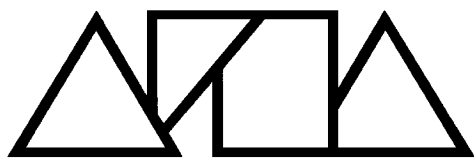
Classification	Definition
Very High Risk	There is a high probability that severe harm could arise to a designated receptor from an identified hazard or there is evidence that severe harm is occurring. The risk, if realised, is likely to result in a substantial liability. Urgent investigation and remediation will be required.
High Risk	Harm or chronic damage is likely to arise to a designated receptor from an identified hazard. Investigation is required and remediation is likely to be required to ensure the site is suitable for a proposed use.
Moderate Risk	It is possible that harm or chronic damage could arise to a designated receptor from an identified hazard. However, it is relatively unlikely that any such harm would be severe. Investigation and remediation are likely to be required to ensure the site is suitable for a proposed use.
Low/Moderate Risk	It is possible that harm or chronic damage could arise to a designated receptor from an identified hazard. Investigation is likely to be required. However, circumstances are such that investigation may prove the consequence to be mild and the site suitable for use without remediation.
Low Risk	It is possible that harm could arise to a designated receptor from an identified hazard but it is likely that this harm, if realised, would at worst be mild. Investigation is unlikely to be required.
Very Low Risk	There is a low possibility that harm could arise to a receptor. In the event of such harm being realised it is not likely to be severe. Investigation is not required.

TABLE E3: DESCRIPTION OF RISK

		CONSEQUENCE			
		Severe	Medium	Mild	Minor
PROBABILITY	High likelihood	Very High	High	Moderate	Low/Moderate
	Likely	High	Moderate	Low/Moderate	Low
	Low likelihood	Moderate	Low/Moderate	Low	Very Low
	Unlikely	Low/Moderate	Low	Very Low	Very Low

TABLE E4: DETERMINATION OF RISK





A F Howland Associates

The Old Exchange
Newmarket Road
Cringleford
Norwich
NR4 6UF

Tel: 01603 250754

Email: admin@howland.co.uk

www: <http://www.howland.co.uk>