

Planning Statement

Site: 9 West Park, Hyde

Date: April 2024

1.0 Introduction

This application seeks part retrospective planning permission to extend and resurface the existing driveway

This Planning Statement comprises an assessment of the proposed development against the National Planning Policy Framework which was revised in December 2023; Tameside's Replacement Unitary Development Plan that was adopted on 17 November 2004 and the Residential Design Supplementary Planning Document dated March 2010.

The purpose of this statement is to describe the relevant national and local policies that are directly relevant to the application and to provide an analysis of those policies and the application site. This statement will put forward our case that explains why we believe the proposal conforms with national and local planning policies and that planning permission should be granted.

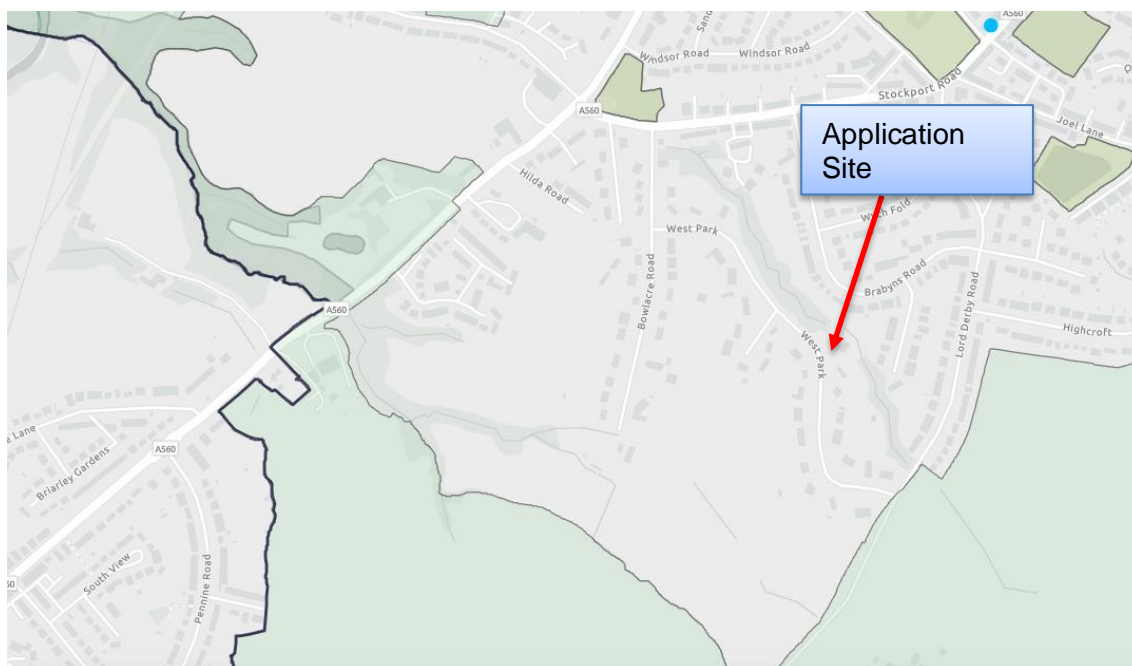
2.0 Site Location

The application site is situated at 9 West Park, and access to it is achieved via a driveway leading up to the dwelling house. The area surrounding the site is semi-rural in character, and it contains sporadically located dwellings.

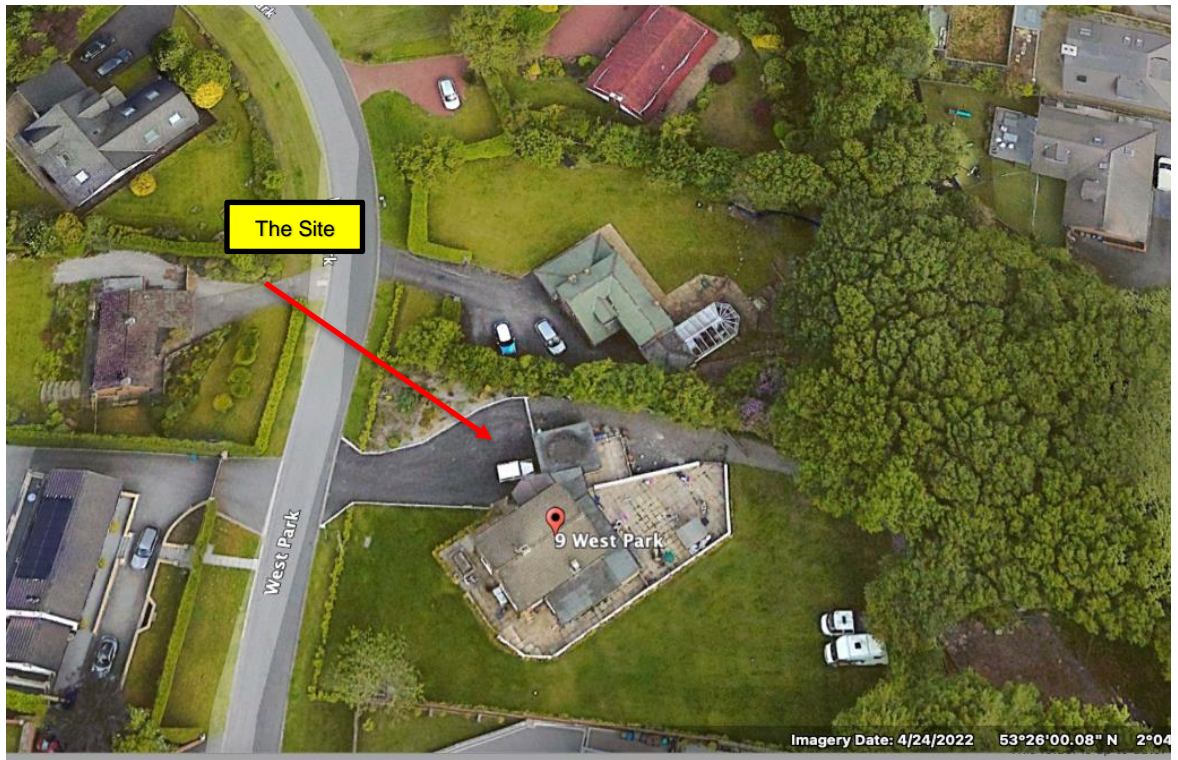


(Figure 1 – Plan showing location of 9 West Park and its surroundings)

The Tameside MBC UDP proposals map shows the application site as being unallocated



(Figure 2 – UDP Allocation)



(Figure 3 – Aerial Photograph of the site)

The applicant resides in a detached dwelling house which is at 9 West Park. The house is set back from the highway and it sits within a large residential curtilage.

3.0 The Planning Application

The application seeks the grant of planning permission to extend and resurface the existing driveway.



(Figure 4 – Proposed Plans)

4.0 Local Planning Policies.

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning applications to be determined in accordance with the Development Plan unless material considerations indicate otherwise.

In November 2004 Tameside Council adopted the Replacement Unitary Development Plan and that sets out the Council's planning policies that are used to guide development within the Borough. Amongst other things, the UDP has policies relating to housing provision with objectives that include requiring housing developments to be well designed to respect the character, identity, and context of the area.

In submitting this planning application, the following UDP policies are relevant to the determination of this application: -

Part One Policy 1.3 - Creating a Cleaner and Greener Environment

Places the emphasis on good design and seeks to enhance and upgrade the appearance of the borough.

Part One Policy - 1.5 Following the Principles of Sustainable Development

Expresses a commitment to sustainable development and sets out the issues to be addressed in pursuing this objective. States that priority will be given to new homes involving the efficient re-use of previously developed land.

Part Two Policy - U3 Water Services for Developments

Part Two Policy – U4 Flood Prevention

Part Two Policy – H10 Detailed Design of Housing Developments Protected Species

5.0 National Planning Policy

Government guidance is set out in the revised National Planning Policy Framework (NPPF) dated December 2023. The NPPF expresses a presumption in favour of sustainable development. The NPPF is a material consideration in the determination of the application. The Planning Practice Guide (PPG) is intended to complement the NPPF and to provide a single resource for planning guidance, whilst rationalizing and streamlining the material. Almost all previous planning Circulars and advice notes have been cancelled. Specific reference will be made to the PPG or other national advice in this Planning statement, where appropriate.

The following sections of the NPPF are considered of most relevance to the application proposal: -

Chapter 2: Achieving Sustainable Development

Chapter 14 – Meeting the challenge of climate change, flooding and coastal change

Other Guidance

Guidance on the permeable surface of front gardens – DCLG – September 2008

6.0 Planning considerations

In respect of drainage and flooding, this is addressed in national and local planning policy guidance where it advises that flood risk should be managed and account given of the impacts of climate change by using opportunities offered by new developments to reduce the causes and impacts of flooding. Paragraph 173 of the National Planning Policy Framework states that when determining planning applications, local planning authorities should ensure flood risk is not increased elsewhere.

The construction of the driveway is non permeable and the application has provided details regarding surface water drainage. A soakaway drainage channel is proposed along the front boundary of the site between the driveway and adjoining highway. This will allow for the collection of surface water preventing water runoff from the driveway onto the highway.

The soakaway would allow provision to be made 'to direct run off water from the hard surface to a permeable or porous area or surface within the curtilage of the dwelling house'. This is betterment due to the pre-existing driveway not having any soakaway. The proposal would therefore alleviate the current situation of rainwater flowing onto the highway from the driveway and is therefore in accordance with UDP policies U3, U4 & H10.



(Figure 5 – Position of proposed soakaway channel)



(Figure 5 –Proposed soakaway channel)



(Figure 6 –Proposed soakaway channel)



(Figure 7 –Proposed soakaway channel)