

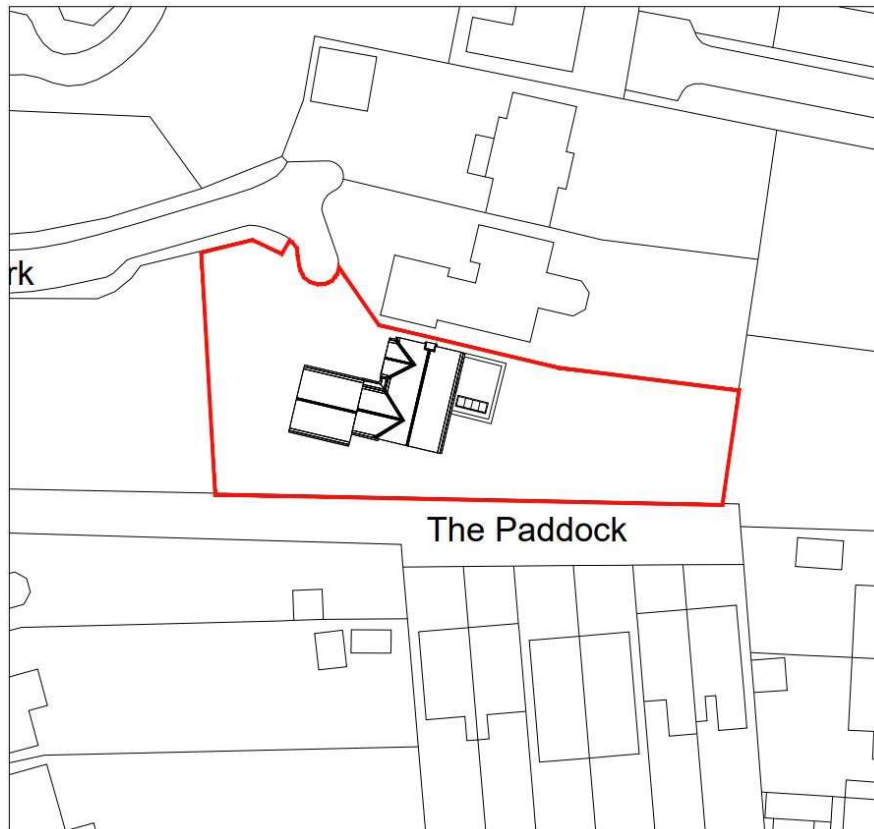
# **PHASE** Design & Access **Architecture** Statement

**PROJECT ADDRESS:** No.4 Mount Vernon Park, London Road, Retford, DN22 7BF.

**PROJECT OVERVIEW:** Application for Single Storey Rear Extension.

**DATE:** 26/03/2024

**REV:** 0



**Contents**

1.0 Introduction .....3

2.0 Existing Site .....3

    2.1 Location:.....3

    2.2 Existing Surroundings.....4

    2.3 Existing Boundaries.....4

    2.4 Existing Architectural Vernacular.....4

3.0 Design .....5

    3.1 Justification for the Proposal .....5

    3.2 General overview and use of the proposed development .....5

    3.3 Scale .....5

    3.4 Appearance .....6

    3.5 Landscaping / Boundaries.....6

    3.6 Impact on Residential Amenity .....7

4.0 Access .....7

    4.1 Pedestrian and Vehicular Access / Entrances .....7

    4.3 Refuse .....7

    4.4 Drainage.....7

5.0 The National Planning Policy Framework (NPPF).....8

    5.1 Relevant Core Planning Principles .....8

6.0 Conclusion .....8

    6.1 Consultant Conclusion .....8

7.0 Supplementary Information.....8

    7.1 Flood Risk Assessment .....8

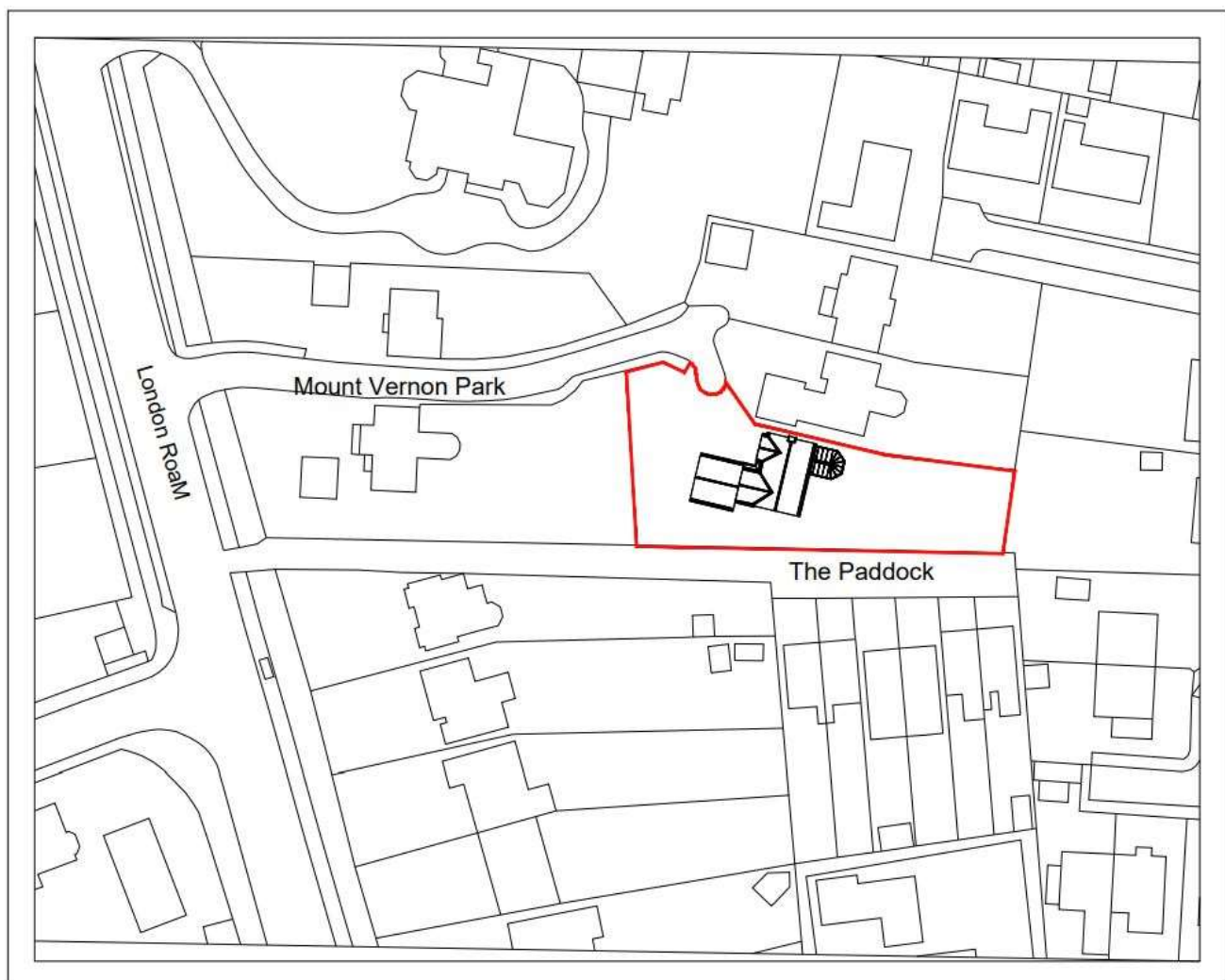
## 1.0 Introduction

This Supporting Document for the full planning application at No.4 Mount Vernon Park, Retford, aims to define the details of the proposal and evaluate any loss of amenity to neighbouring properties. In brief, the proposal consists of; single storey rear extension to provide new living / dining space making use of the large rear garden.

## 2.0 Existing Site

### 2.1 Location:

The existing site is situated on Mount Vernon Park, Retford. Located towards the South Eastern side of Retford's build envelope, the site resides immediately adjacent London Road's conservation area, but set back away from the road.



## 2.2 Existing Surroundings

Situated within a small, exclusive development of large executive style properties. This area of London Road is now exclusively residential, following the closure of the florist to the South. Bracken Lane Primary School is located half a mile North, with very little else of note aside residential dwellings until the newly constructed Lidl and Northern Tower Development.

As can be seen from the OS, the dwelling is set back away from the road accessed via a private drive, as are many of the properties along London Road and those that immediately surround the property.

## 2.3 Existing Boundaries

All three boundaries are bound by timber fence panels as is typical of the road. There are some existing trees around the site. These are detailed within the tree survey submitted as a document in this application.

## 2.4 Existing Architectural Vernacular

Mount Vernon Park, as mentioned, is a development of 5Nr executive style properties. Features here include; pre-cast stone heads & cills typically in a bath stone colour, stone gable in-lays, fascia & soffits with faux ridge detailing including cross tie & drop bead, slate roof coverings, squared chimney breasts, self-supporting bay windows, white uPVC casement style windows, red / orange manufactured brick with blue engineering brick banding details.

Further along London Road to the south, we can see a number of early 1920's / 30's semi-detached properties with glimpses of Edwardian flair, dampened somewhat by the simplification of the 1930's functional design style. Also, mock Tudor timber bracing and render panels have been implemented on the larger properties, with varying levels of success.

Opposite the entrance to Mount Vernon Park is one of the most highly debated properties in Retford, which features a very distinctive white / buff coloured brick, dark red rosemary tiles, double fronted bay windows and a hexagonal turret to its North Elevation. A fascinating mix of Victorian form with Edwardian expression of colour.

Less notable mentions are the 1960's / 1970's housing estates to the North and East, which offer little in the way of precedent.

## 3.0 Design

### 3.1 Justification for the Proposal

The form and function of properties must change in order to meet the needs of its inhabitants. Architectural trends dictate how spaces are used which needs to evolve in order to remain current and desirable. The renovation works are intended to ensure that this property remains desirable as it heads into its third decade. Considering the existing design is not of significant architectural value due to the relative recency of its construction and its position away from public view, do not consider the works to be to the detriment to the property's overall aesthetic, but rather to the betterment by doing away with the poorly designed conservatory.

The house and plot are very well appointed and offers moderate levels of accommodation for its number of bedrooms, but there are some tweaks required in order to fully utilise the accommodation on offer, especially considering the size of the plot on which it occupies. It must also be noted that while the internal area of the property is large, the presence of a garage to the ground floor taking up around 35MSQ of GIA which is returned on the 1<sup>st</sup> floor does leave the ground floor lacking a large entertaining space you'd expect with a property of this nature.

### 3.2 General overview and use of the proposed development

The amendments to the frontage are non-existent aside the installation of a new door, we are happy for this to be a PCC. The side elevations will not be seen for any except the applicants, with the rear elevation seeing the remodeling. This is where the new space is to be created, ensuring the spatial relationships from the house frontages to the lane is maintained.

### 3.3 Scale

Fortunately, No.4 is a corner plot, meaning the plot splays backward further than it may appear from the front. What may appear tight from the front, suddenly becomes spacious at the rear, meaning the amenity provided by the garden space is not lost.

The extension is capacious, but is in proportion with the number of bedrooms and not significantly larger than the current ground floor footprint including the conservatory. The size of the extension has been dictated by the findings of the tree report and the objectives of the inhabitants.

### 3.4 Appearance

The applicants wish to submit two sets of plans for consideration. Option 01 and option 02, with the only difference being the style of door. We would appreciate both sets of plans being evaluated and comments on the suitability of both.



Whilst both sets of plans are to be evaluated, the leading option currently is the sliding door corner, so we'll evaluate that.

Looking at the form of the building, it does juxtapose slightly in its squat stance and regular shape. The existing building has no parapets and features of number of level changes and brickwork detailing. The decision to keep the form simple and contrasting was made to allow the material and texture pallet to be more in keeping. As opposed to attempting to 'blend' the new in with the old, we wanted to make it clear that the extension is newly constructed and offers a more contemporary feel, but recognises its surroundings through the use of bath stone capping and a brick to match.

### 3.5 Landscaping / Boundaries

All landscaping and boundaries are to remain as existing.

### 3.6 Impact on Residential Amenity

The impact on residential amenity is deemed limited, with the impact being a positive one. The re-investment into ageing properties is a promising sign for local homeowners, who can see that their neighbours are willing to take steps to keep their properties relevant in the rapidly changing world of desirability.

Investment on existing buildings not only stimulates local economic growth, but also retains an area's relevance by introducing interesting design questions. The visible investment into property keeps local property prices at their best, something locals can be pleased about.

## 4.0 Access

### 4.1 Pedestrian and Vehicular Access / Entrances

Pedestrian access remains the same. No new vehicular or pedestrian access routes to the site are proposed.

### 4.3 Refuse

The refuse arrangement remains unchanged.

### 4.4 Drainage

Surface water drainage will not be increased as much of the new roof is over an existing hard landscaped area and there is no new hard landscaping proposed. Waste to existing. Expected inhabitant number: 2.

## 5.0 The National Planning Policy Framework (NPPF)

### 5.1 Relevant Core Planning Principles

While all core planning principles are relevant, below are the most relevant extracts to this development that we believe to satisfy wholly.

Section 12 paragraph 124 states *'The creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process'*.

Section 5 paragraph 61 states *'Within this context, the size, type and tenure of housing needed for different groups in the community should be assessed and reflected in planning policies (including, but not limited to, those who require affordable housing, families with children, older people, students, people with disabilities, service families, travellers 25, people who rent their homes and people wishing to commission or build their own homes'*

## 6.0 Conclusion

### 6.1 Consultant Conclusion

The reinvestment into existing housing stock is not only significantly more environmentally friendly than buying new, but also massively beneficial in preventing areas dominated by ageing properties, which day by day become less desirable in the eyes of buyers. Keeping properties modern and meeting the needs of 21<sup>st</sup> century living is a must.

## 7.0 Supplementary Information

### 7.1 Flood Risk Assessment

There is no requirement for a flood risk assessment due to the lack of any risk of flooding, surface or rivers / sea.