

ground floor plan
1/100



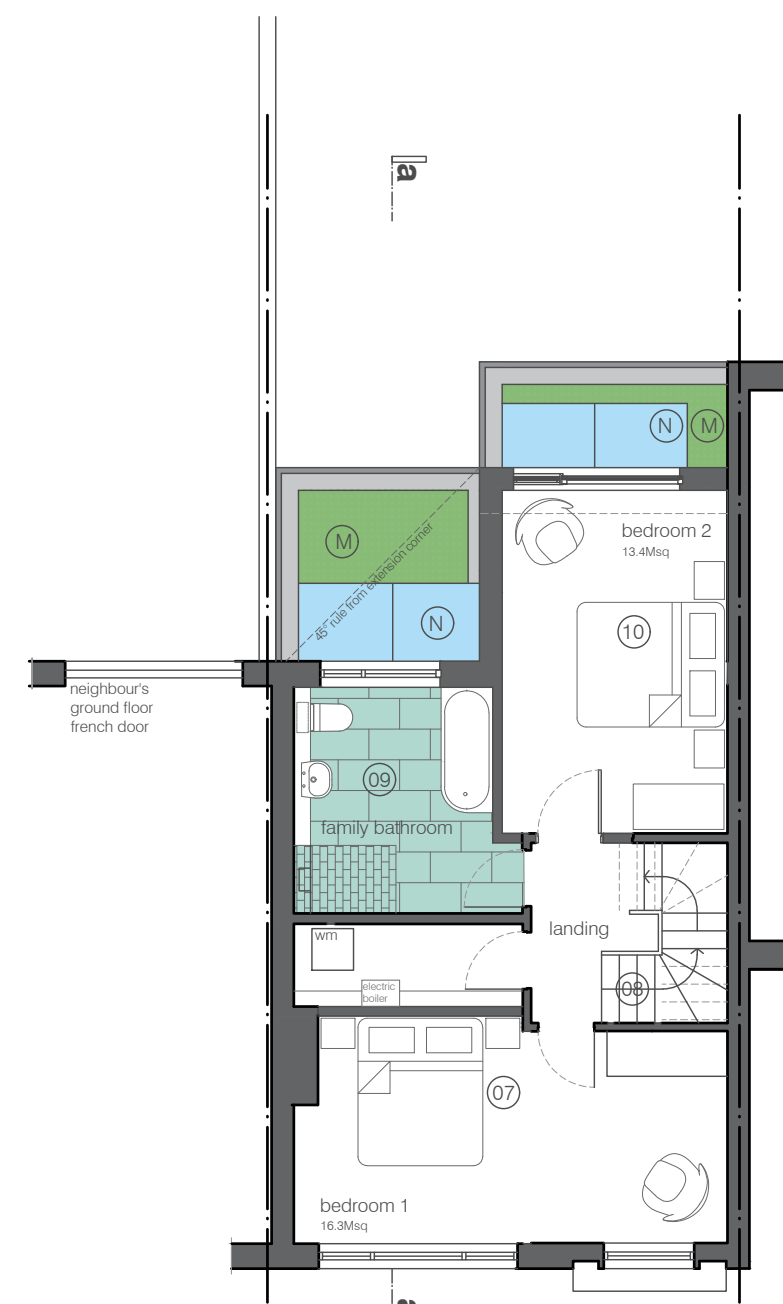
east elevation
1/100



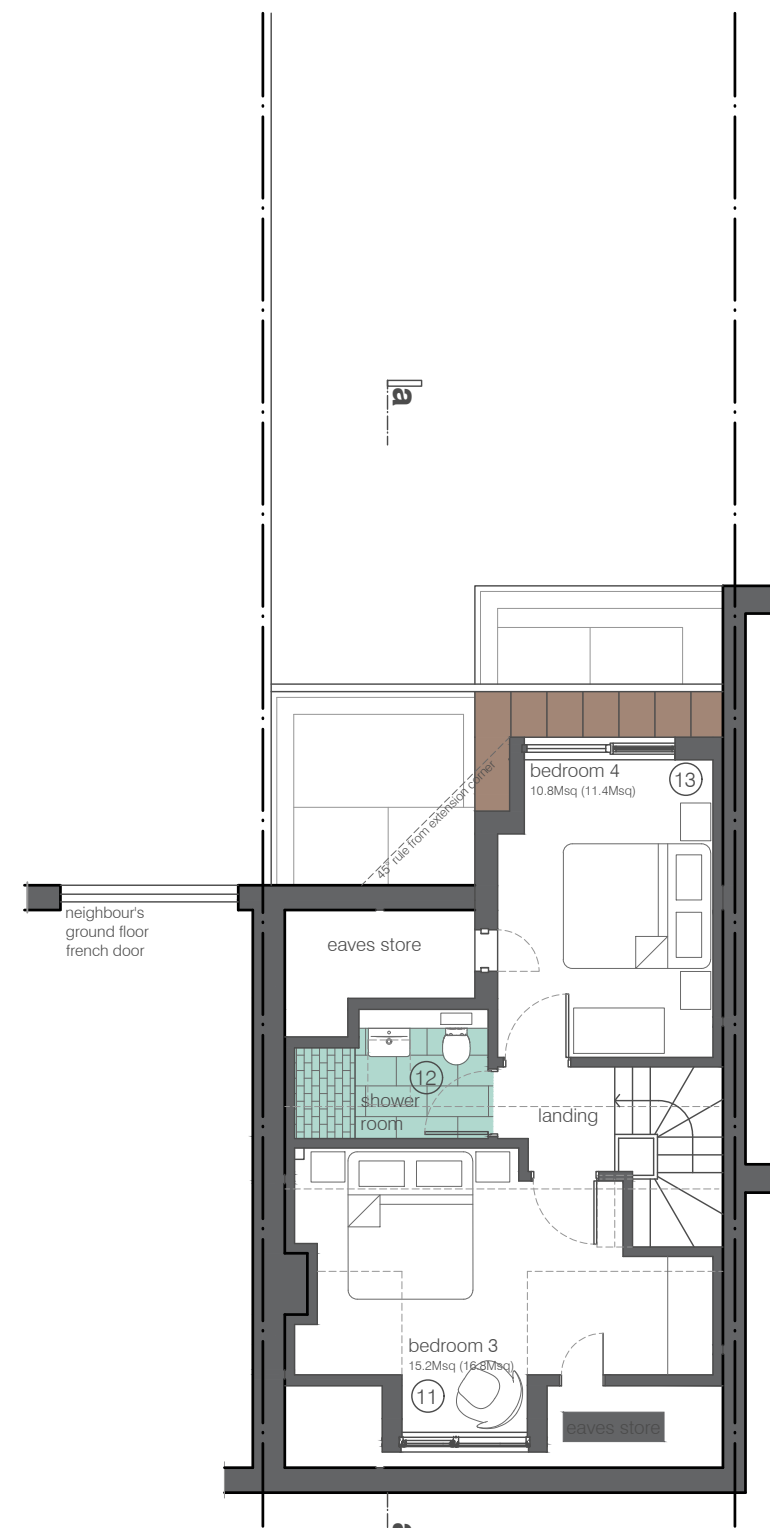
west elevation
1/100



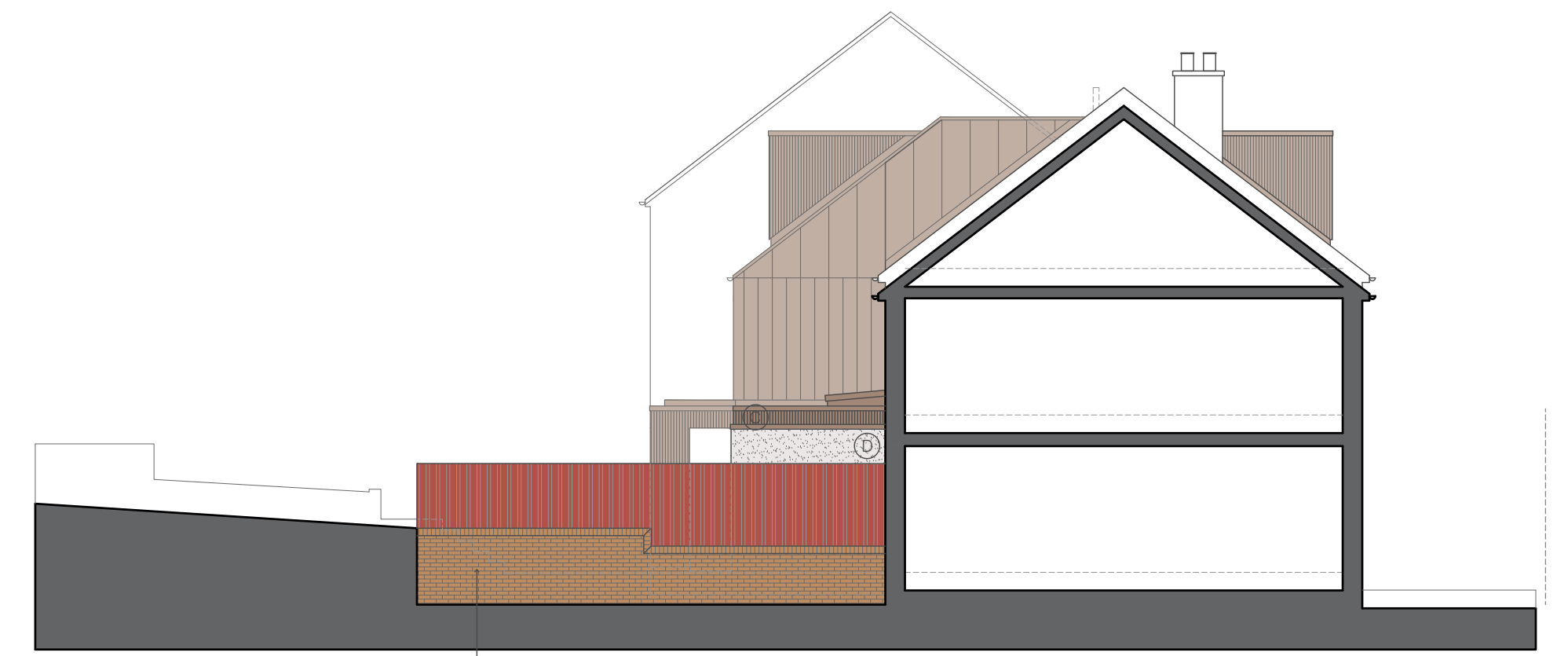
section aa
1/100



first floor plan
1/100



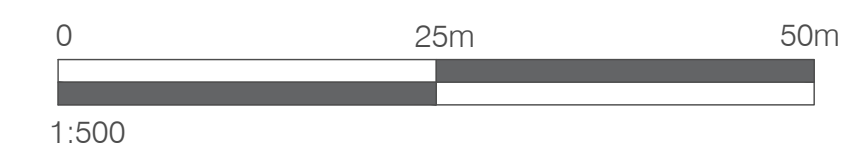
attic plan
1/100



south elevation
1/100



proposed block plan
1/500

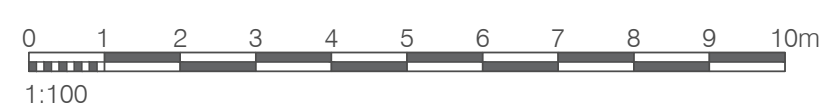
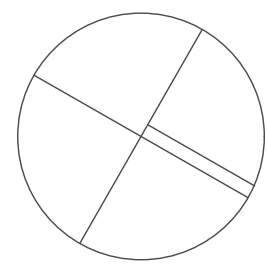


legend - planning

- 01 Form off street parking space with 1 no electrical, upstand charging point in existing front garden. Upstand charging point to be no taller than 1.6M and be further than 2M from the road
- 02 Alter fireplace and chimney to install new wood burning stove.
- 03 Form new partitions and install sanitary ware to create ground floor WC.
- 04 Remove existing kitchen, windows, door and sections of exterior wall to rear to create openings for new extension.
- 05 Form new open plan extension to rear, incorporating new kitchen, dining and seating spaces.
- 06 Form external landscaping at rear, creating outdoor eating/seating area.
- 07 Remove existing and form new partitions to create bedroom 1 and laundry room.
- 08 Create access to attic floor by forming new staircase, removing existing hatch access.
- 09 Alter window and form partition to create new family bathroom.
- 10 Remove existing bathroom fittings, window and part of exterior wall to form new extension at rear, creating bedroom 2.
- 11 Form dormer window to front, adjusting eave walls and forming partitions to create bedroom 3.
- 12 Adjust eaves and form partitions to create shower room, install sanitary ware and adjusted position of rooflight.
- 13 Remove portion of roof and eaves walls and form new extension to rear, creating bedroom 4.

legend - materials

- A High performance, triple glazed, slim framed bi fold doors and opening sections
- B High performance, frameless, triple glazing windows with fixed and opening sections
- C Vertical brushed, charred timber cladding
- D Render to match existing
- E Copper soffits, fascias and standing seam cladding in Aurubis Nordic Brown-Light
- F High performance, opening replacement window
- G High performance, opening roof light
- J Horizontal timber cladding
- K High performance, frameless, triple glazing windows, fixed
- L High performance, opening window
- M Sedum roof covering
- N High performance, frameless, flat rooflight



1:100

davidblaikiearchitects

project
proposed alterations to
32 Eildon Street, Edinburgh
for
Mrs A Sample

drawing title

**proposed arrangement
(without removals)**
revised planning
submission

job number: 2330
drawing number: 4/04 Rev C
scale: 1:100 and 1:500
date: April 2024

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