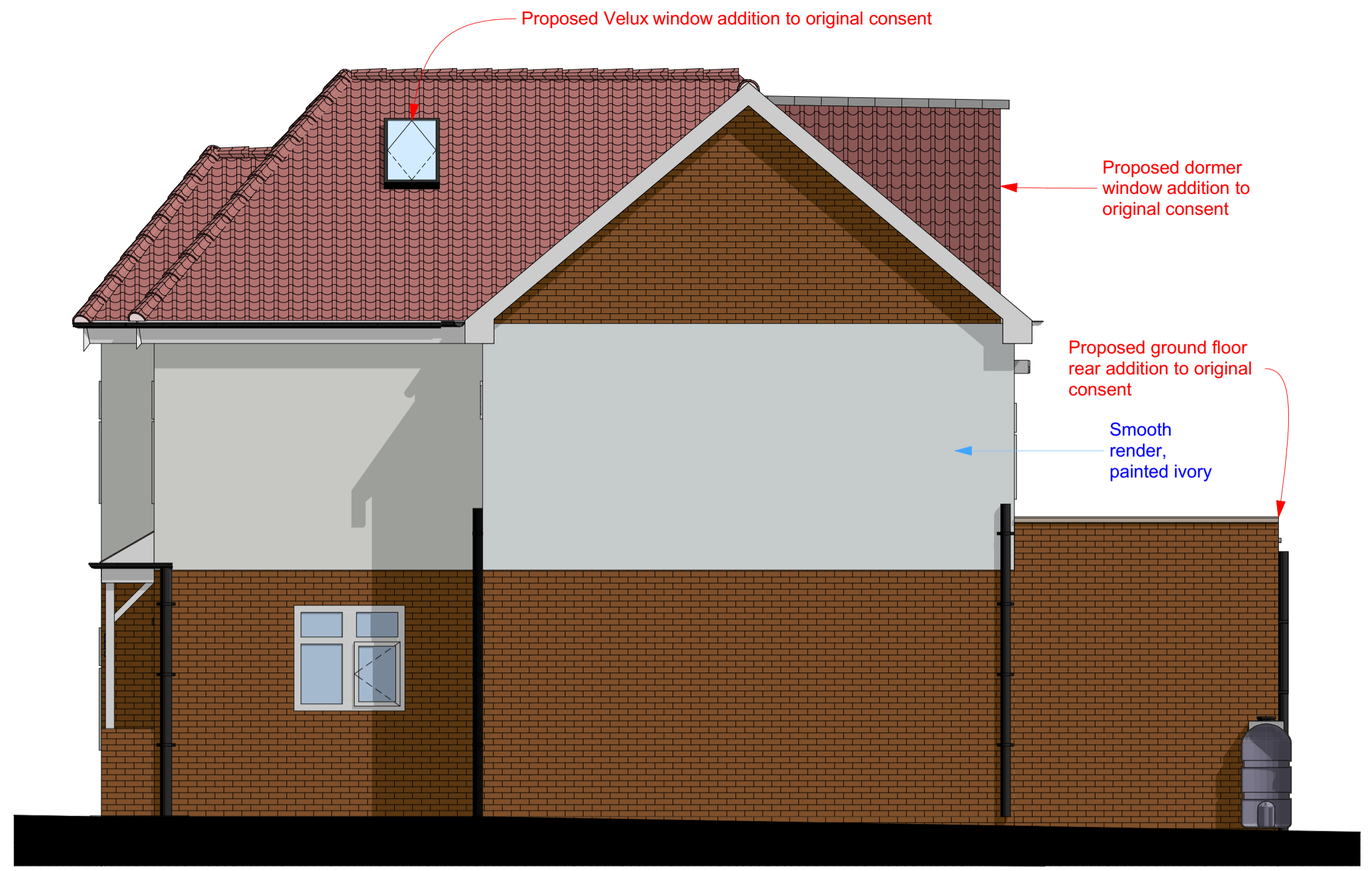




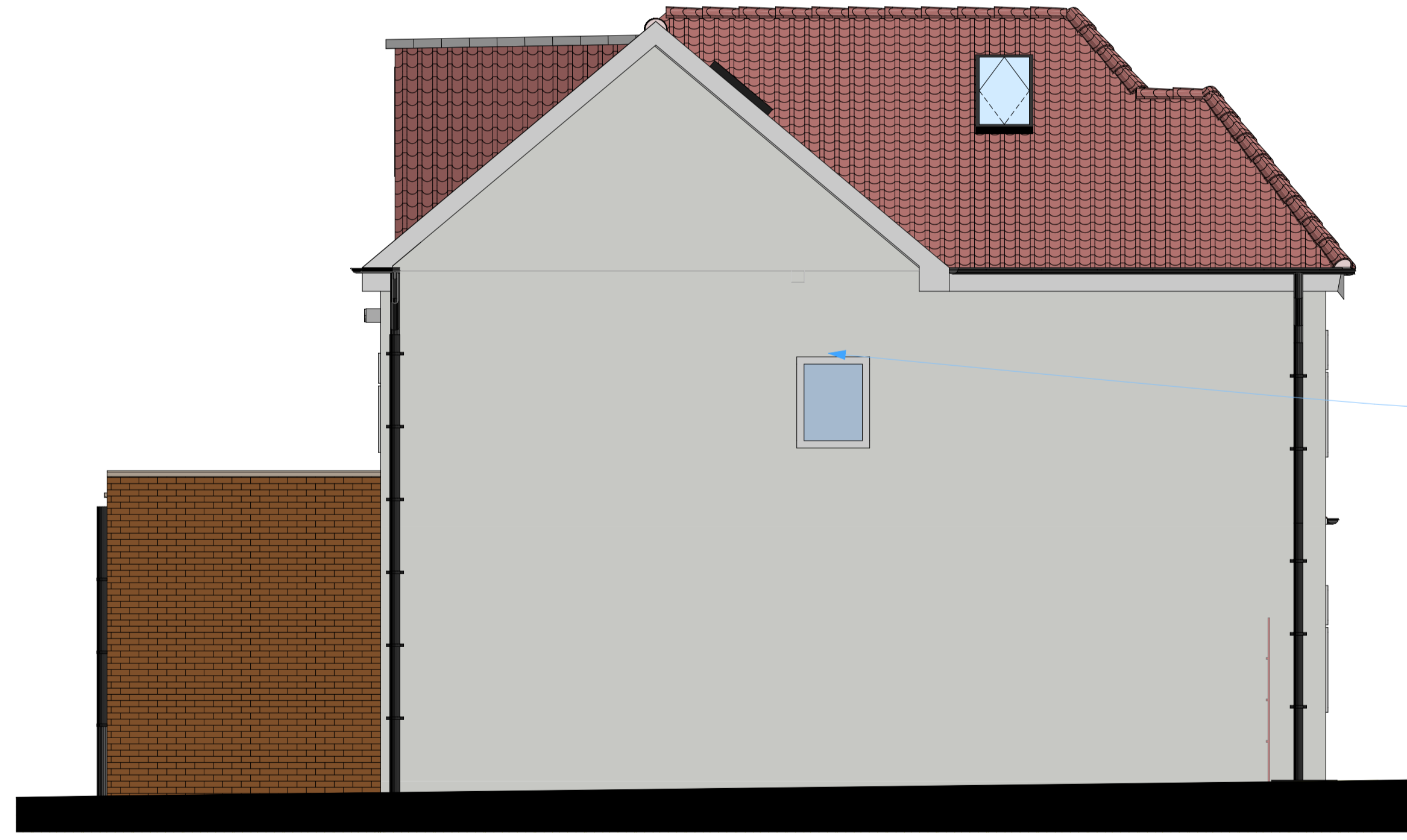
PE-07 67a - Proposed Front Elevation (North Facing) (1) 1:50



PE-08 67a - Proposed Rear Elevation (South Facing) 1:50



PE-09 67a - Proposed Flank Elevation (West Facing) (1) 1:50



PE-10 67a - Proposed Flank Elevation (East Facing) (1) 1:50



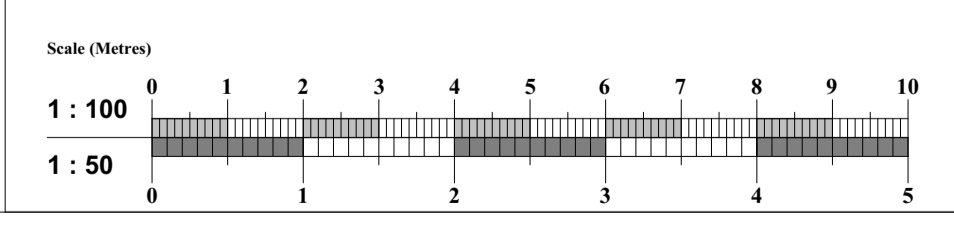
PE-11 67a - Proposed Flank Elevation (West Facing), showing boundary treatments 1:100



PE-12 67a - Proposed Flank Elevation (East Facing), showing boundary treatments 1:100

Red annotations denote the changes proposed to the original planning consent (21/02245/FUL; implemented), including:

- 1) Ground floor rear addition to extend kitchen/diner, designed per permitted development guidelines for detached dwellinghouses;
- 2) Rear dormer and matching gable to left (east-facing) side of the approved roof to provide fourth bedroom in loftspace, including three velux windows. Designed per permitted development guidelines for detached dwellinghouses.



LANGLEY HOUSE, 249 BROADWAY, BEXLEYHEATH, KENT DA6 8DB	Site Address 67 Royal Oak Road Bexleyheath, Bexley, Kent DA6 7HQ	Drawing Type PLANNING	Proposal PART-RETROSPECTIVE Erection of a 4 bed detached dwellinghouse with associated car and cycle parking provision, refuse storage and landscaping (enlargement of the implemented 3 bedroom dwellinghouse permitted under planning application 21/02245/FUL).	Drawing Description PROPOSED ELEVATIONS (THE NEW DWELLINGHOUSE)	Revision Number N/A	For the Client: Mr. K Mustafa	NOTES 1. All measurements given in this office are in metres unless otherwise stated. DIMENSIONS GIVEN IN METRES. 2. Measurements of neighbouring buildings, where these have been taken in the context of applications, have been taken from publicly available drawings submitted to the Local Planning Authority within the past 10 years. These drawings were printed to scale and dimensioned by hand using a scale bar before being scanned. If these drawings are not reproduction quality or reproduction quality is not stated, then the measurements are approximate. 3. All work is to be carried out in accordance with the requirements and standards of the Local Authority. These drawings are for planning purposes only. 4. Responsibility is not transferred for errors made by others in using these drawings. All construction information should be taken from the drawings. 5. All discrepancies and change of design requests by authorities should be reported to the surveyor immediately. 6. All drawings to be used in conjunction with the project specification with all work carried out in accordance with the latest British Standards and codes of practice. Planning drawings are not to be used for the purpose of building a structure. 7. It is acknowledged that all work will be carried out by a competent contractor acting, where appropriate, to an approved method statement. 8. It is the contractor's responsibility to verify the Building Control and get approval before any work commences. 9. It is the contractor's responsibility to determine if any wall is load bearing. 10. The copyright of this drawing belongs to Langleys Chartered Surveyors Ltd.
Drawn By: Janine R. Mustafa BSc Hons janine@langleyscs.co.uk	Project Reference DRAW / 67.ROR / 0424	Drawing Reference DRAW / 67.ROR / 0424 / 006	Scale 1:50 / 1:100 @ A1 Or as specified below each drawing	Date 10 / 04 / 2024	Revision Date N/A	Local Authority The London Borough of Bexley	