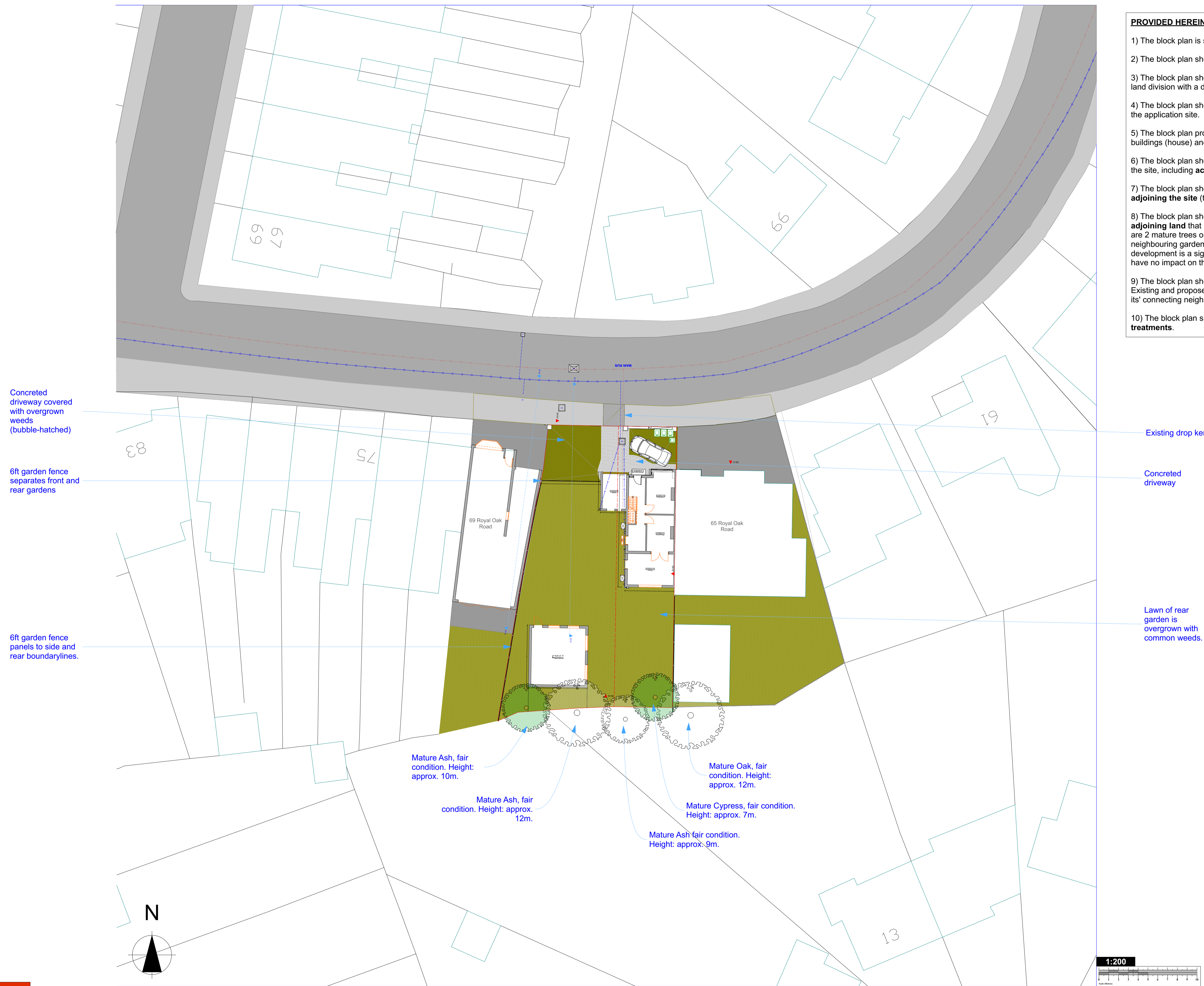


Please Note Site measurements have been corrected per the measurements taken in February 2022.



- PROVIDED HEREIN**
- 1) The block plan is scaled at **1:200 @ A1**.
 - 2) The block plan shows the direction of **North**.
 - 3) The block plan shows **site boundaries** in solid red lines and the proposed land division with a dashed red line.
 - 4) The block plan shows other **existing buildings opposite and adjacent** to the application site.
 - 5) The block plan provides **dimensions** between existing/pre implementation buildings (house) and site boundaries.
 - 6) The block plan shows **buildings, roads and footpaths** on land adjoining the site, including **access arrangements**.
 - 7) The block plan shows **existing public rights of way crossing or adjoining the site** (there are none).
 - 8) The block plan shows the position of **all trees on the site, and those on adjoining land** that could influence or be affected by the development. There are 2 mature trees onsite that are to be retained, and three mature in neighbouring gardens that are close to the development area. The proposed development is a significant distance from all of them and ground works will have no impact on these trees.
 - 9) The block plan shows the extent and type of **hard surfacing** as existing. Existing and proposed grassed or greened portions of the application site and its' connecting neighbours (east and west) are shaded in green (see Legend).
 - 10) The block plan shows the type and height of existing **boundary treatments**.

LEGEND	
Vegetation & Terrain	
	Mature tree within site boundary
	Mature tree outside of site boundary
	Earth overgrown with common weed
	Grassed/greened lawn
	Concrete
	Public pedestrian footpath
	Public roadway
LEGEND	
Drainage	
	Existing Public Sewer: Foul Water
	Existing site connections to public foul sewer
	Proposed new site foul drain runs
	Existing Public Sewer: Surface Water
	Existing site connections to surface water sewer
	Proposed new site surface water drain runs
	Existing Public Sewer: Combined Water
	Existing site connections to public combined sewer
	Proposed new site connections to public combined sewer
	Water main
	Proposed new connection to water main
	Existing manhole
	Proposed manhole
	Rainwater Butt



Drawn By: Janine R. Mustafa BSc Hons janine@langleyscs.co.uk	Site Address 67 Royal Oak Road Bexleyheath, Bexley, Kent DA6 7HQ	Drawing Type PLANNING	Proposal PART-RETROSPECTIVE Erection of a 4 bed detached dwellinghouse with associated car and cycle parking provision, refuse storage and landscaping (enlargement of the implemented 3 bedroom dwellinghouse permitted under planning application 21/02245/FUL).	Drawing Description EXISTING SITE PLAN (Pre-implementation of 21/02245/FUL)	Revision Number N/A	For the Client: Mr. K Mustafa	NOTES 1. All measurements taken by this office on the following dates: JUNE 2021: Full internal & external site survey. FEBRUARY 2022: External site survey, following vegetation mapping and completion of neighbouring development to 67 Royal Oak Road which enables the boundaries. The second site survey confirmed that the last two water meter previously surveyed and the last two had been moved accordingly. 2. Measurements of neighbouring buildings, where these have been found to be relevant for application, have been taken from publicly accessible drawings submitted to the Local Planning Authority within the past 10 years. These drawings were provided to and dimensioned by hand using a scale 1:10 before being reduced. In these instances, occasional details and representations rather than exact. 3. All work is to be carried out in accordance with the requirements and standards of the Local Authority. These drawings are for planning purposes only. 4. Responsibility is not accepted for errors made by others in relying on this drawing. All construction information should be cross checked on the site. 5. All dimensions and change of design requests by stakeholders should be reported to the surveyor immediately. 6. All drawings to be read in conjunction with the project specification with all works carried out in accordance with the latest British Standards and codes of practice. Planning drawings are not to be used for the purpose of building a structure. 7. It is declared that all works will be carried out by a competent contractor acting, where appropriate, to an approved technical standard. 8. It is the contractor's responsibility to verify the existing ground and get approval before any work commences. 9. It is the contractor's responsibility to determine if any wall is load bearing. 10. The copyright of this drawing belongs to Langley's Chartered Surveyors Ltd.
	Project Reference DRAW / 67.ROR / 0424	Drawing Reference DRAW / 67.ROR / 0424 / 001	Scale 1:200 @ A1 Or as specified below each drawing	Date 10 / 04 / 2024	Revision Date N/A	Local Authority The London Borough of Bexley	