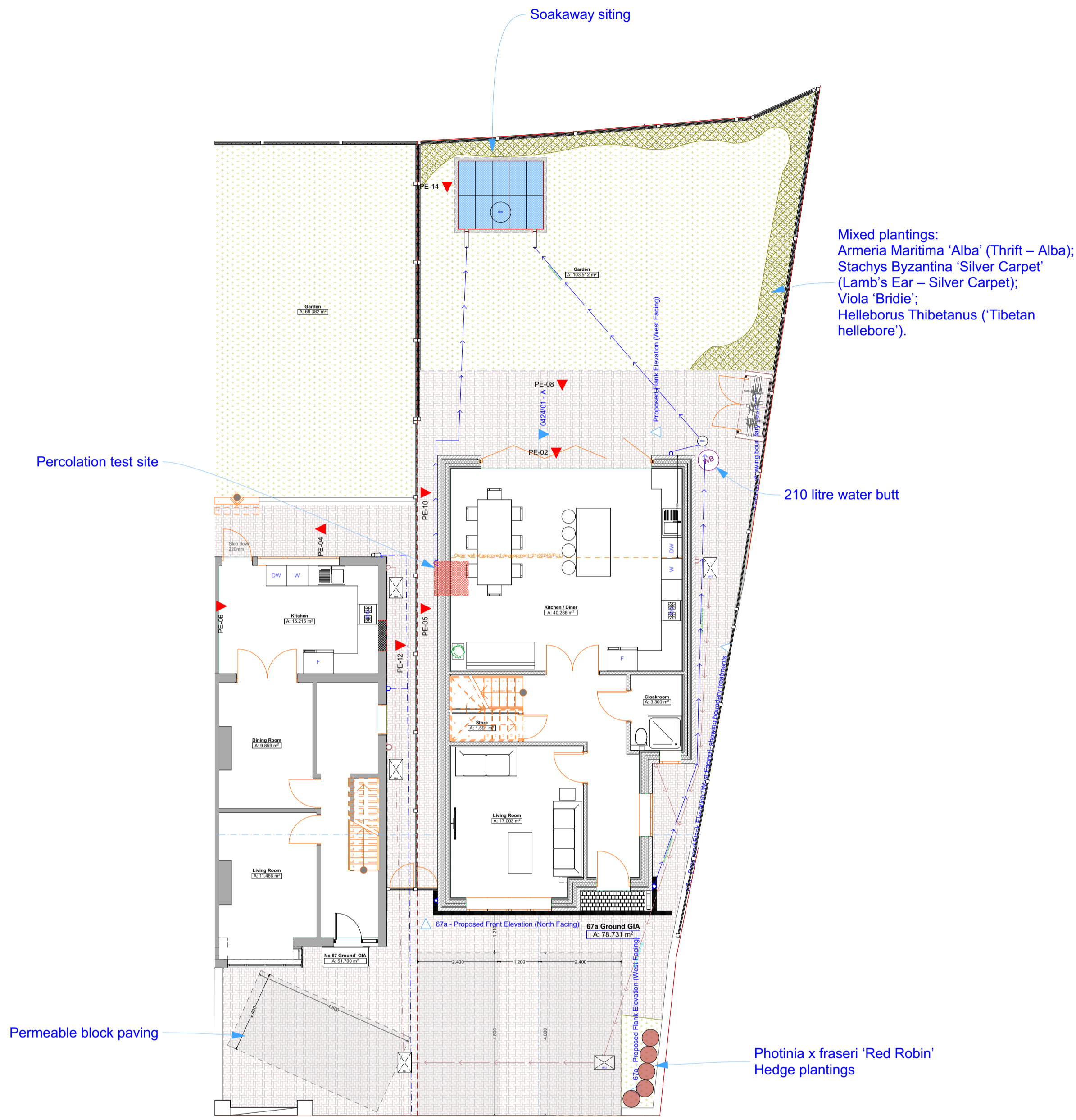


LEGEND	
Drainage	
	Existing Public Sewer: Foul Water
	Existing site connections to public foul sewer
	Proposed new site foul drain runs
	Existing Public Sewer: Surface Water
	Existing site connections to surface water sewer
	Proposed new site surface water drain runs
	Existing Public Sewer: Combined Water
	Existing site connections to public combined sewer
	Proposed new site connections to public combined sewer
	Water main
	Proposed new connection to water main
	MH Existing manhole
	MH Proposed manhole
	WB Rainwater Butt

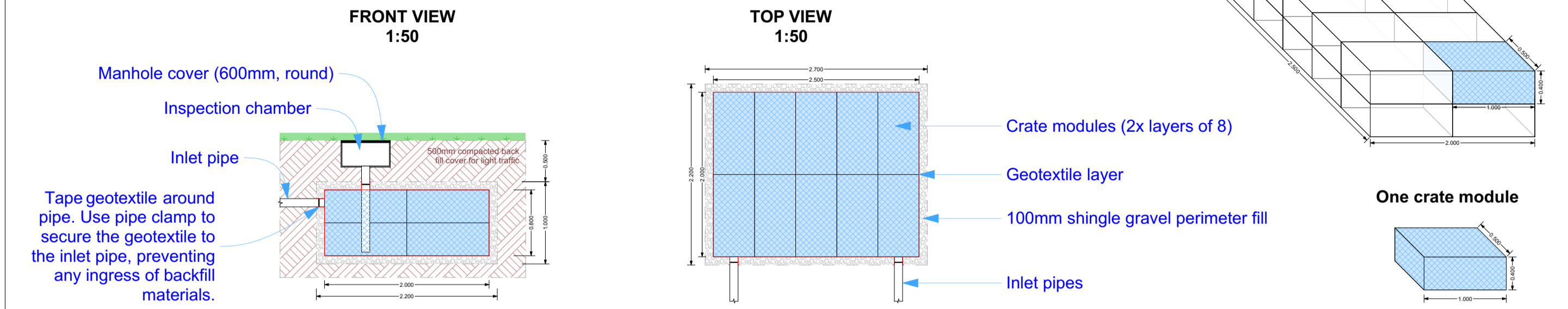


0. Drain Connection Plan with SuD(S) Elements 1:100

These details were previously **approved** under conditions application 21/02245/FUL01 (approved 18/09/2023). The only alteration to these details has been the addition of 4 more soakaway crates, as described and shown on this sheet.

### A. Crate Soakaway

A soakaway made up of 20x geocellular crates (measuring 1m x 500mm x 400mm) will be sited in the rear garden. These will be set in 2 layers of 10 crates in a 2.7m x 2.2m x 1.4m deep pit with 100mm of shingle coating each side.



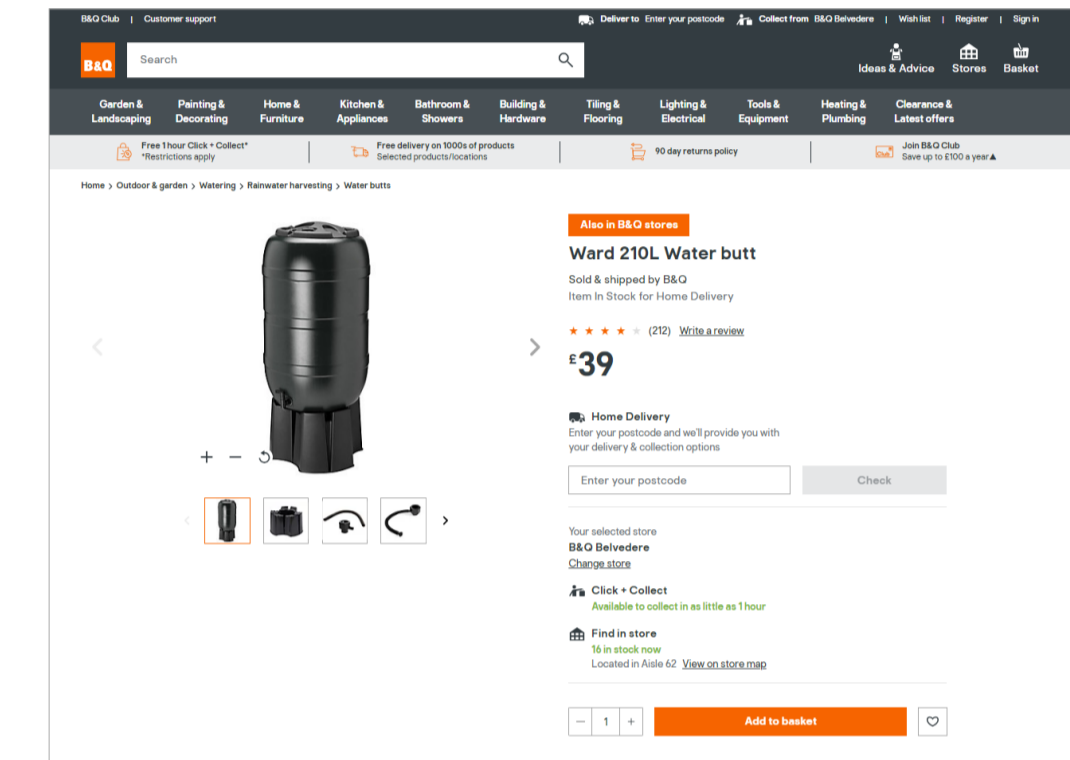
### B. Domestic Water Butt

A rainwater storage butt with minimum capacity of 210 litres is to be connected to downpipes at the rear of the dwellinghouse, within the patio of the large rear garden.

The proposed product is the **Ward 210L Water Butt** (B&Q listing, June 2023), shown right.

#### Source:

Ward 210L Water Butt: [https://www.diy.com/departments/ward-210l-water-butt/405866\\_BQ.prd?storeId=1139&&&ds\\_rl=1272379&ds\\_rl=1272409&ds\\_rl=1272379&gclid=Cj0KCQjw7aqKBhDPARisAKGa0eJjAPwplBuJvVPOLYKrVKAKnuMwCwXN6wvudWqv1qwosiGMajK9MaApYOEALw\\_wcB&gclid=aw.ds](https://www.diy.com/departments/ward-210l-water-butt/405866_BQ.prd?storeId=1139&&&ds_rl=1272379&ds_rl=1272409&ds_rl=1272379&gclid=Cj0KCQjw7aqKBhDPARisAKGa0eJjAPwplBuJvVPOLYKrVKAKnuMwCwXN6wvudWqv1qwosiGMajK9MaApYOEALw_wcB&gclid=aw.ds) (accessed July 2023)



### C. Permeable Block Paving & Hard Surfacing

All proposed outdoor patio, driveway and pathway areas will be surfaced with a permeable block paving system, including the existing hard-surfaced driveway to no.67 which will be broken up and re-paved with the same system.

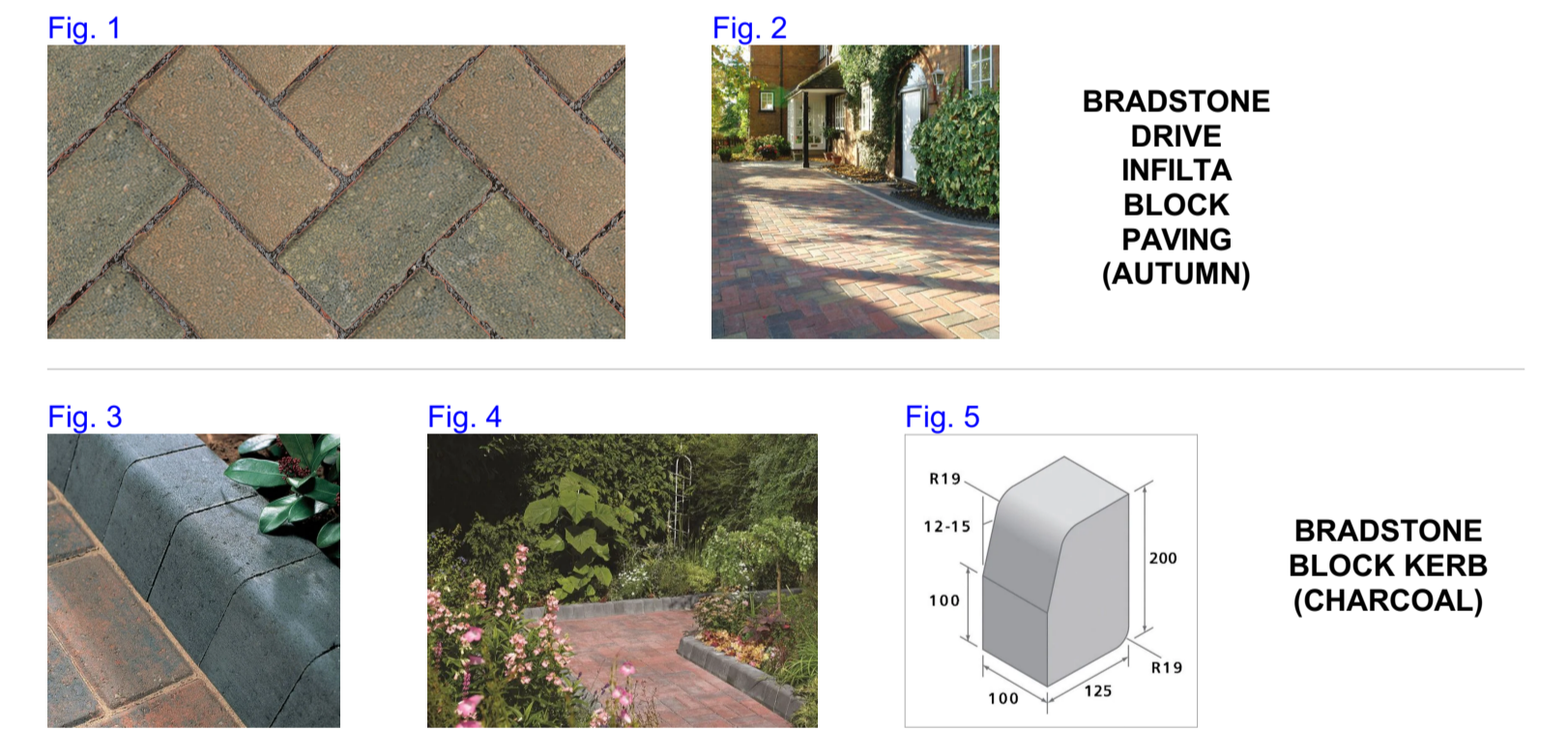
These areas will be underlain with a permeable bedding aggregate onto which traditional style concrete block paving will be laid, with a permeable jointing aggregate swept into the gaps between them. The favoured block paving system is Bradstone Driveway Infiltra Block Paving in Autumn, or an equivalent product.

A low level block kerb will edge the hedging at the front of the site such as Bradstone Block Kerb Large in Charcoal, or an equivalent product.

#### Sources:

Bradstone Driveway Infiltra Block Paving in Autumn: <https://www.simplypaving.com/products/driveway-block-paving/permeable-block-paving/bradstone-driveway-infiltra/autumn/> (accessed July 2023)

Bradstone Block Kerb Large in Charcoal: <https://www.simplypaving.com/products/driveway-block-paving/permeable-block-paving/bradstone-driveway-infiltra/autumn/> (accessed July 2023)

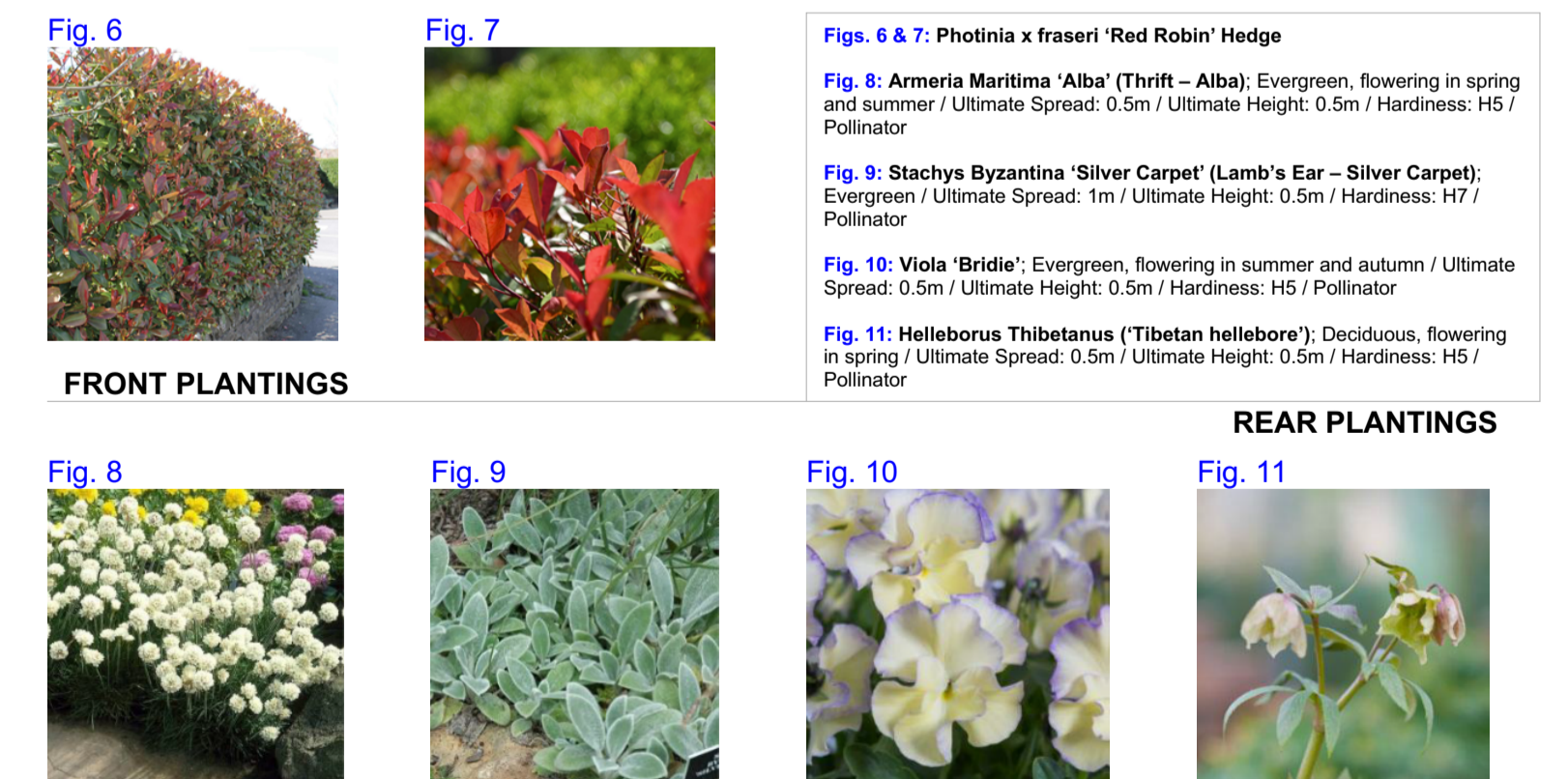
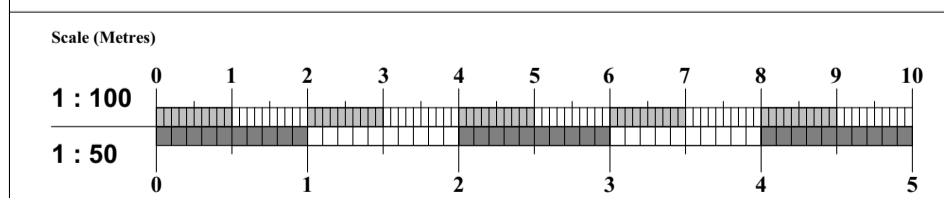


### D. Plantings

The gardens belonging to the new house will be planted with a mixture of predominantly evergreen plants to intercept rainwater.

A line of Photinia x fraseri 'Red Robin' (evergreen hedge) will be planted along the front western boundaryline, screening the refuse storage area. This hardy species thrives in all soil types and shade conditions with an average growth rate of up to 40cm per year and a height that is easily maintained between 1-4m (2m max height is preferred).

4 species of shrub and flowering plants are proposed to be planted within the rear garden, along all three boundaries, as set out in the table below. All have been selected for their ability to thrive in sandy soil and borders that are either completely exposed to sunlight (per the side borders) or partially shaded (per the back border).



Site Address	Drawing Type	Proposal	Drawing Description	Revision Number	For the Client:	NOTES
LANGLEY HOUSE, 249 BROADWAY, BEXLEYHEATH, KENT DA6 8DB	PLANNING	PART-RETROSPECTIVE Erection of a 4 bed detached dwellinghouse with associated car and cycle parking provision, refuse storage and landscaping (enlargement of the implemented 3 bedroom dwellinghouse permitted under planning application 21/02245/FUL).	PROPOSED DRAIN CONNECTION AND SUDS MANAGEMENT PLAN	N/A	Mr. K Mustafa	1. All drawings shall be prepared in accordance with the following dates: 2023/01/01 Full revised & updated site survey; 2023/01/01 Revised site survey; 2023/01/01 Updated planning and completion of neighbouring development to 89 Royal Oak Road which enables the boundaries. The second site survey recorded the first site survey that previously surveyed and the rest has been revised accordingly. 2. Measurements of neighbouring buildings, when these have been taken for the purposes of applications, have been taken from publicly accessible drawings submitted to the Local Planning Authority within the past 10 years. These drawings were printed to scale and dimensioned by hand using a scale of 1:100. In these instances, dimensional details are approximate rather than exact. 3. All work is to be carried out in accordance with the requirements and conditions of the Local Authority. These drawings are for planning purposes only. 4. Responsibility is not accepted for errors made by others in using these drawings. All construction information should be cross checked on the site. 5. All discrepancies and design queries by addressees should be reported to the surveyor immediately. 6. All drawings to be used in conjunction with the project specification shall be marked out in accordance with the latest British Standards and codes of practice. Planning drawings are not to be used for the purpose of building a structure. 7. It is acknowledged that all work will be carried out by a competent contractor, whose application, to an approved method statement. 8. It is the contractor's responsibility to verify the existing ground and all approved before any work commences. 9. It is the contractor's responsibility to determine if any soil is test bearing. 10. The copyright of this drawing belongs to Langleys Chartered Surveyors Ltd.
Project Reference DRAW / 67.ROR / 0424	Drawing Reference DRAW / 67.ROR / 0424 / 009		Scale 1:100 @ A1 Or as specified below each drawing	Date 10 / 04 / 2024	Revision Date N/A	Local Authority The London Borough of Bexley