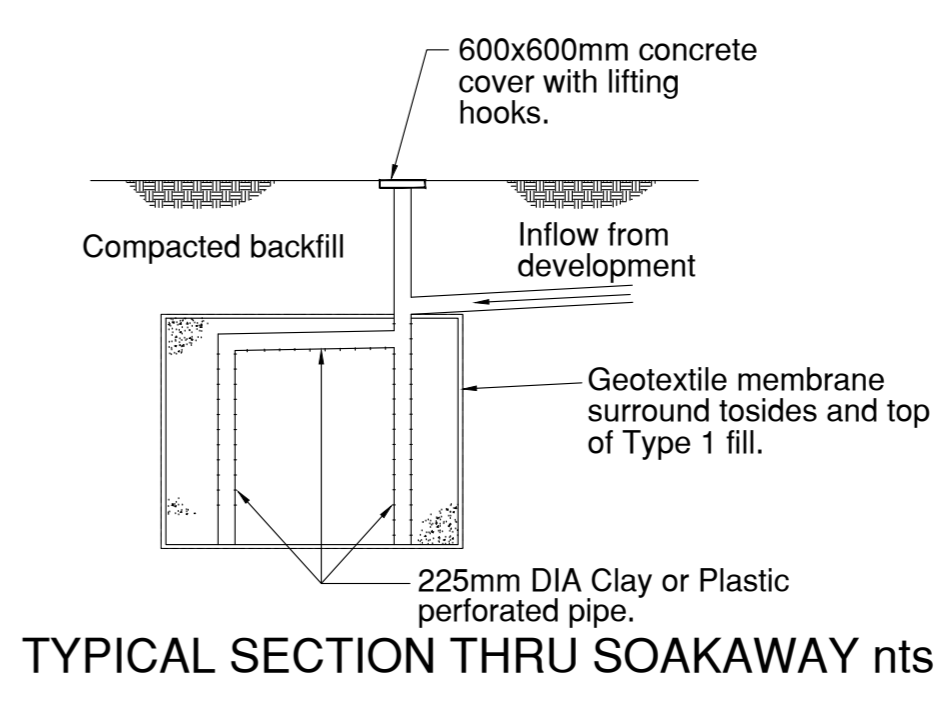
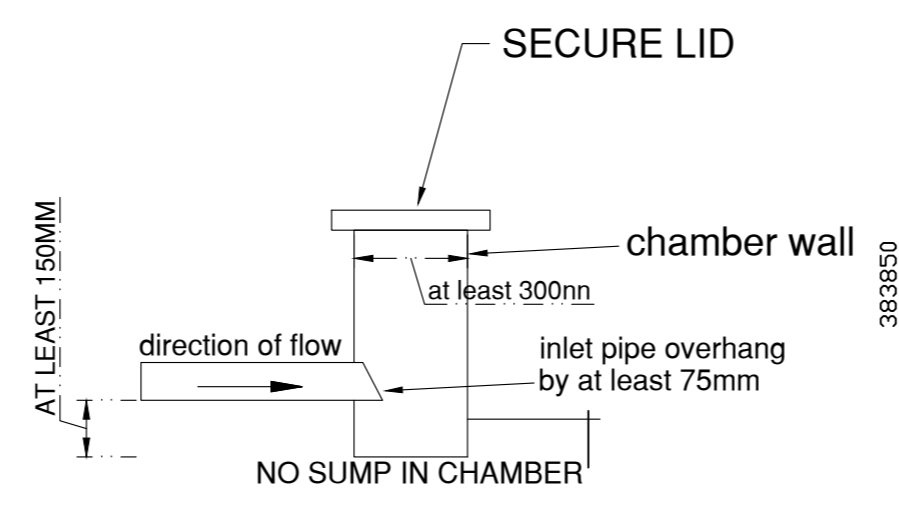


COM REGULATIONS HAVE BEEN TAKEN INTO CONSIDERATION DURING THE DESIGN PROCESS AND WHERE IT IS PRACTICAL, ANY RISK TO HEALTH & SAFETY DURING BUILDING HAS BEEN MINIMISED.

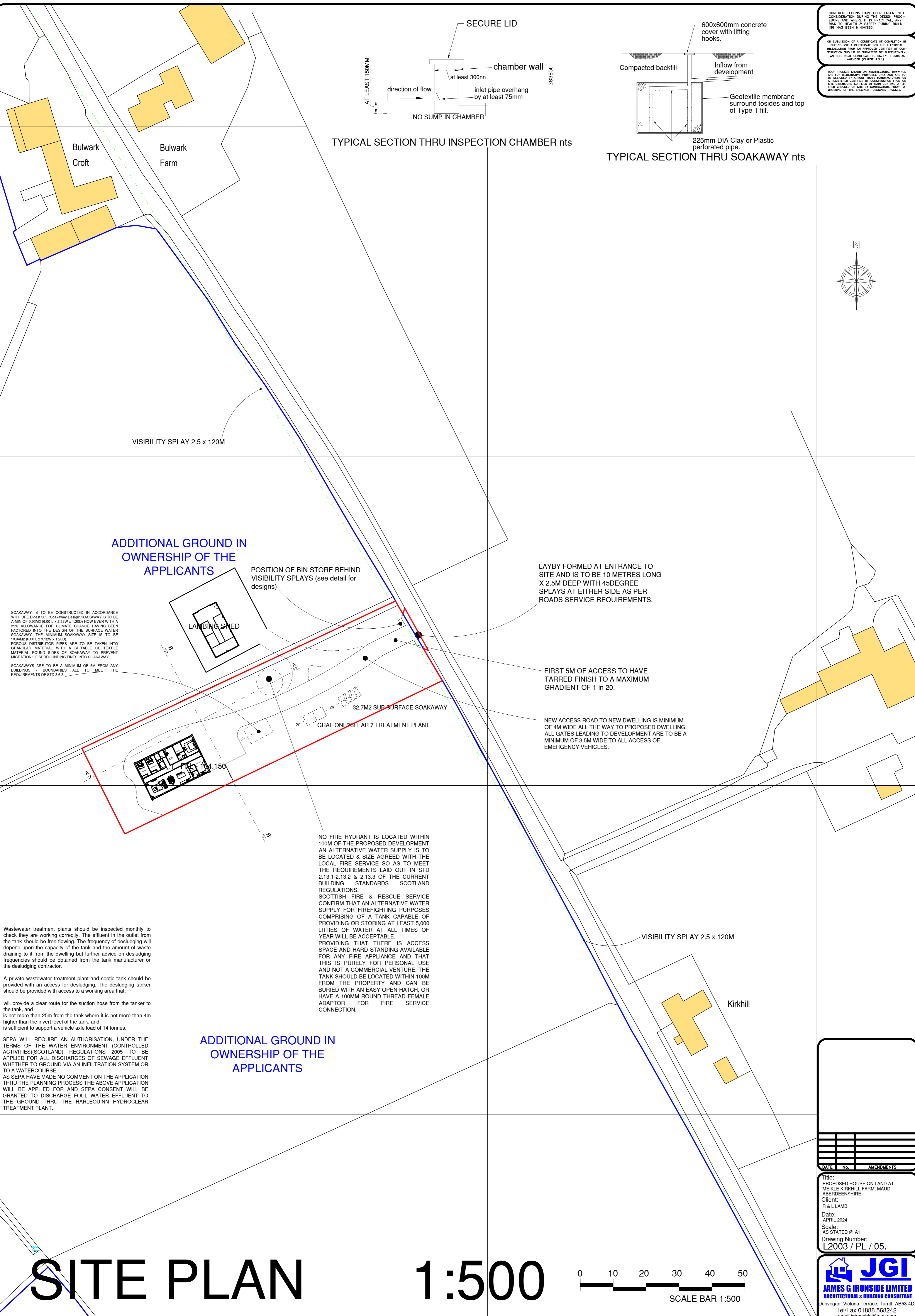
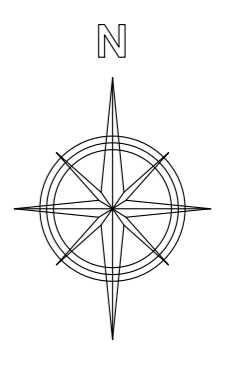
ON SUBMISSION OF A CERTIFICATE OF COMPLETION IN DUE COURSE A CERTIFICATE FOR THE ELECTRICAL INSTALLATION FROM AN APPROVED CERTIFIER OF CONSTRUCTION SHOULD BE SUBMITTED OR ALTERNATIVELY AN ELECTRICAL CERTIFICATE TO BS7671:2008 AS AMENDED (CLAUSE 4.5.1)

ROOF TRUSSES SHOWN ON ARCHITECTURAL DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE TO BE DESIGNED BY A ROOF TRUSS MANUFACTURER OR A REGISTERED CERTIFIER OF CONSTRUCTION FROM ON SITE CONDITIONS, SUPPLIED BY MAIN CONTRACTOR & CHECKED ON SITE BY CONTRACTOR PRIOR TO ORDERING OF THE SPECIALIST DESIGNED TRUSSES.



TYPICAL SECTION THRU INSPECTION CHAMBER nts

TYPICAL SECTION THRU SOAKAWAY nts



VISIBILITY SPLAY 2.5 x 120M

ADDITIONAL GROUND IN OWNERSHIP OF THE APPLICANTS

POSITION OF BIN STORE BEHIND VISIBILITY SPLAYS (see detail for designs)

LAYBY FORMED AT ENTRANCE TO SITE AND IS TO BE 10 METRES LONG X 2.5M DEEP WITH 45DEGREE SPLAYS AT EITHER SIDE AS PER ROADS SERVICE REQUIREMENTS.

FIRST 5M OF ACCESS TO HAVE TARRED FINISH TO A MAXIMUM GRADIENT OF 1 in 20.

NEW ACCESS ROAD TO NEW DWELLING IS MINIMUM OF 4M WIDE ALL THE WAY TO PROPOSED DWELLING. ALL GATES LEADING TO DEVELOPMENT ARE TO BE A MINIMUM OF 3.5M WIDE TO ALL ACCESS OF EMERGENCY VEHICLES.

NO FIRE HYDRANT IS LOCATED WITHIN 100M OF THE PROPOSED DEVELOPMENT AN ALTERNATIVE WATER SUPPLY IS TO BE LOCATED & SIZE AGREED WITH THE LOCAL FIRE SERVICE SO AS TO MEET THE REQUIREMENTS LAID OUT IN STD 2.13.1-2.13.2 & 2.13.3 OF THE CURRENT BUILDING STANDARDS SCOTLAND REGULATIONS. SCOTTISH FIRE & RESCUE SERVICE CONFIRM THAT AN ALTERNATIVE WATER SUPPLY FOR FIREFIGHTING PURPOSES COMPRISING OF A TANK CAPABLE OF PROVIDING OR STORING AT LEAST 5,000 LITRES OF WATER AT ALL TIMES OF YEAR WILL BE ACCEPTABLE. PROVIDING THAT THERE IS ACCESS SPACE AND HARD STANDING AVAILABLE FOR ANY FIRE APPLIANCE AND THAT THIS IS PURELY FOR PERSONAL USE AND NOT A COMMERCIAL VENTURE. THE TANK SHOULD BE LOCATED WITHIN 100M FROM THE PROPERTY AND CAN BE BURIED WITH AN EASY OPEN HATCH, OR HAVE A 100MM ROUND THREAD FEMALE ADAPTOR FOR FIRE SERVICE CONNECTION.

ADDITIONAL GROUND IN OWNERSHIP OF THE APPLICANTS

VISIBILITY SPLAY 2.5 x 120M

SOAKAWAY IS TO BE CONSTRUCTED IN ACCORDANCE WITH BRE Digest 365. Soakaway Design SOAKAWAY IS TO BE A MIN OF 9.0M2 (9.00 L x 2.25W x 1.20D) HOWEVER WITH A 35% ALLOWANCE FOR CLIMATE CHANGE HAVING BEEN FACTORED INTO THE DESIGN OF THE SURFACE WATER SOAKAWAY, THE MINIMUM SOAKAWAY SIZE IS TO BE 10.94M2 (6.00 L x 3.12W x 1.20D). POROUS DISTRIBUTOR PIPES ARE TO BE TAKEN INTO GRANULAR MATERIAL WITH A SUITABLE GEOTEXTILE MATERIAL ROUND SIDES OF SOAKAWAY TO PREVENT MIGRATION OF SURROUNDING FINES INTO SOAKAWAY. SOAKAWAYS ARE TO BE A MINIMUM OF 5M FROM ANY BUILDINGS / BOUNDARIES ALL TO MEET THE REQUIREMENTS OF STD 3.6.3.

Wastewater treatment plants should be inspected monthly to check they are working correctly. The effluent in the outlet from the tank should be free flowing. The frequency of desludging will depend upon the capacity of the tank and the amount of waste draining to it from the dwelling but further advice on desludging frequencies should be obtained from the tank manufacturer or the desludging contractor.

A private wastewater treatment plant and septic tank should be provided with an access for desludging. The desludging tank should be provided with access to a working area that:

will provide a clear route for the suction hose from the tanker to the tank, and is not more than 25m from the tank where it is not more than 4m higher than the invert level of the tank, and is sufficient to support a vehicle axle load of 14 tonnes.

SEPA WILL REQUIRE AN AUTHORISATION, UNDER THE TERMS OF THE WATER ENVIRONMENT (CONTROLLED ACTIVITIES)(SCOTLAND) REGULATIONS 2005 TO BE APPLIED FOR ALL DISCHARGES OF SEWAGE EFFLUENT WHETHER TO GROUND VIA AN INFILTRATION SYSTEM OR TO A WATERCOURSE.

AS SEPA HAVE MADE NO COMMENT ON THE APPLICATION THRU THE PLANNING PROCESS THE ABOVE APPLICATION WILL BE APPLIED FOR AND SEPA CONSENT WILL BE GRANTED TO DISCHARGE FOUL WATER EFFLUENT TO THE GROUND THRU THE HARLEQUINN HYDROCLEAR TREATMENT PLANT.

DATE	No.	AMENDMENTS

Title: PROPOSED HOUSE ON LAND AT MEIKLE KIRK HILL FARM, MAUD, ABERDEENSHIRE
 Client: R & L LAMB
 Date: APRIL 2024
 Scale: AS STATED @ A1.
 Drawing Number: L2003 / PL / 05.

SITE PLAN 1:500

