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NOTES:

1. All dimensions to be used in conjunction with all relevant drawings and schedules.
2. All dimensions in millimetres & to be checked on site prior to commencement of work.
3. Builder to verify all dimensions, heights & levels prior to commencement of work. No encroachment into neighbour's property.
4. All works to be in accordance with the Building Regulations and approved by the Local Authority.
5. The Contractor is responsible for ensuring the stability of the building and associated works relating existing structures throughout the construction.
6. The contractor is responsible for all temporary works through out the project.
7. The contractor must bring to the attention of Design Consultant if any risks on site, or any conditions which may affect the construction of the project.
8. All the materials should be fixed as per manufacturer's guidelines/instructions.

STRUCTURAL STEELWORK

9. All steelwork to be S355 unless noted otherwise. All steelwork to comply with BS 5950.
10. All bolts and washers to be galvanized to BS5774. All bolts to be Grade 8.8 bolts unless noted otherwise in accordance with BS 4000 for HSTC Bolts.
11. All welds to be minimum 6mm fillet welds and to be made in accordance with BS EN 288.

GROUND WORKS:

12. If a suitable bearing stratum is not obtainable at the levels shown on the drawings, excavations shall be continued as directed, to a suitable bearing stratum and the additional excavations made up in concrete. Foundations for the structure shall be kept free of water. The foundation concrete shall be placed without delay following excavations to formation levels and approval of the bearing stratum.
14. Use as necessary, earthwork supports to sides of excavations where access for construction workers is required and remove on completion unless otherwise instructed.

CONCRETE WORKS:

15. Concrete to be Grade C28/35 U.N.O.
16. Completion of concrete shall be by means of mechanical tamping/struckers.

Rev.	By	Date	Authorised
R2	KK	21/04/2024	
R1	KK	02/02/2024	
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	KK		

Revised Comments: Authorised

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Client:

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114 INGRAVE ROAD
BRENTWOOD
CM13 2AQ

Project:

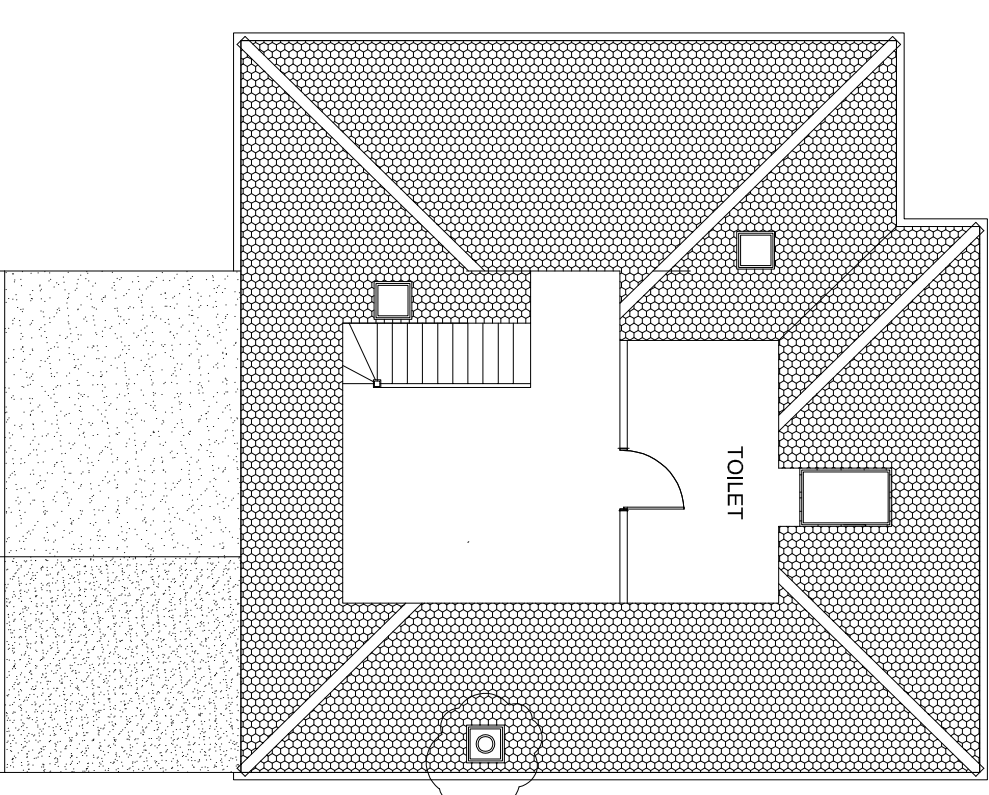
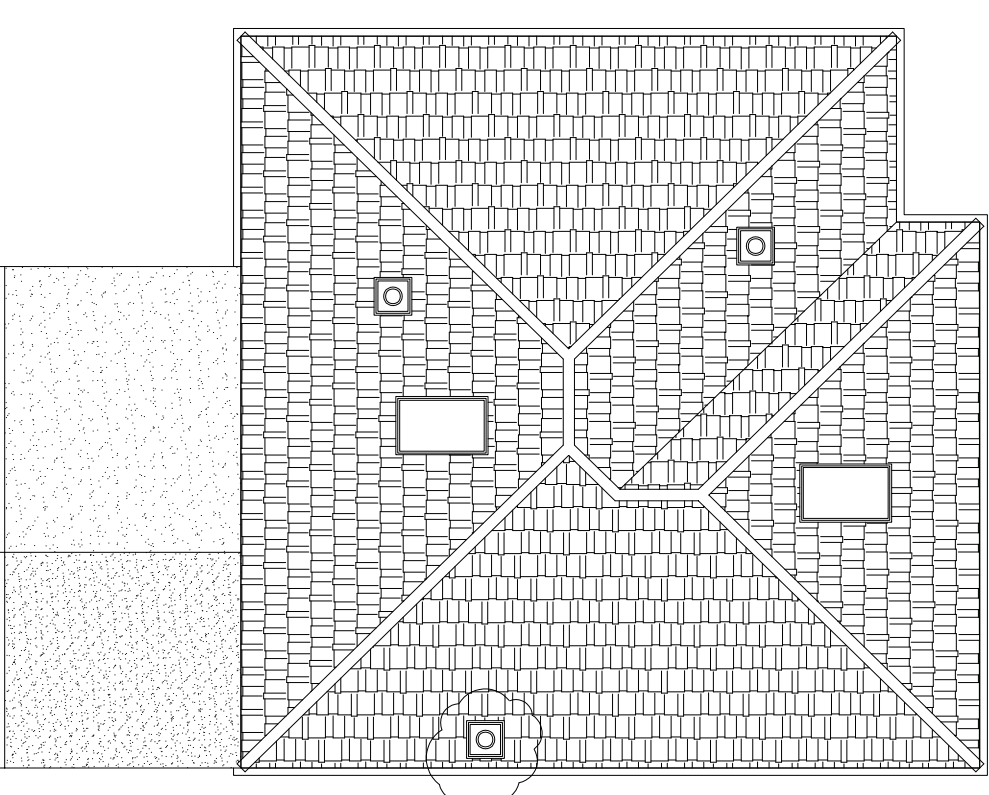
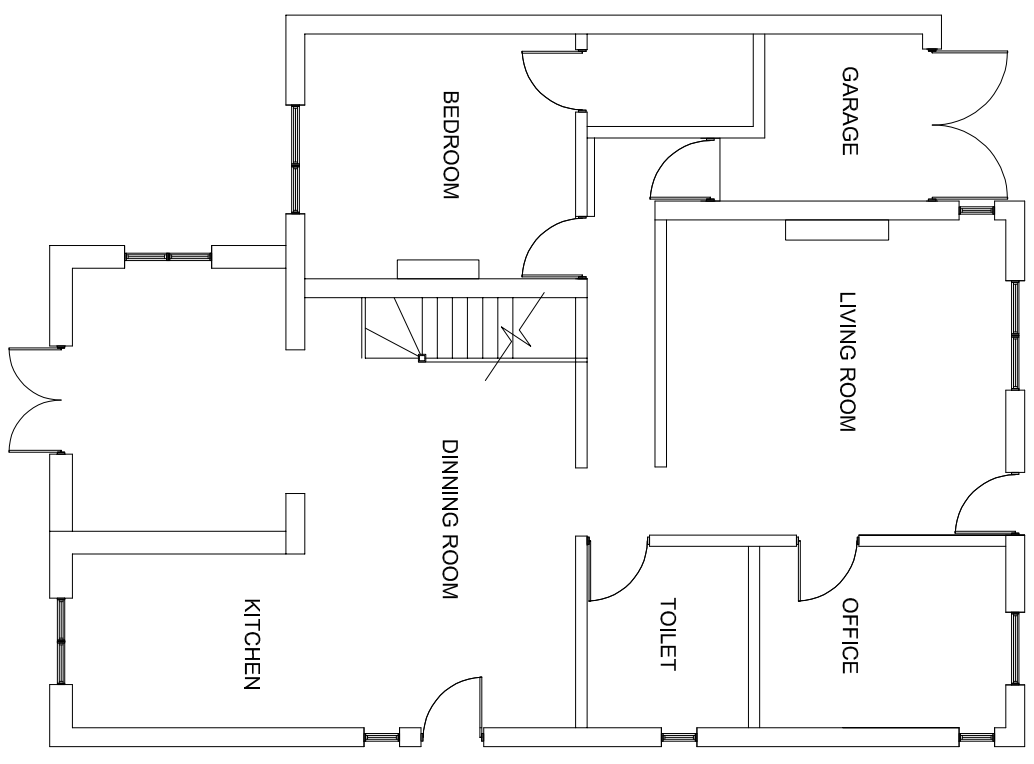
LOFT CONVERSION
CONVERT THE GARAGE INTO HABITABLE SPACE
AND A FRONT PORCH

TITLE:

EXISTING PLAN

Scale: 1:100 @ A3

Drawing number: **KSEL/RE/P187/02** Rev: **R2**



SCALE - 1:100@A3

