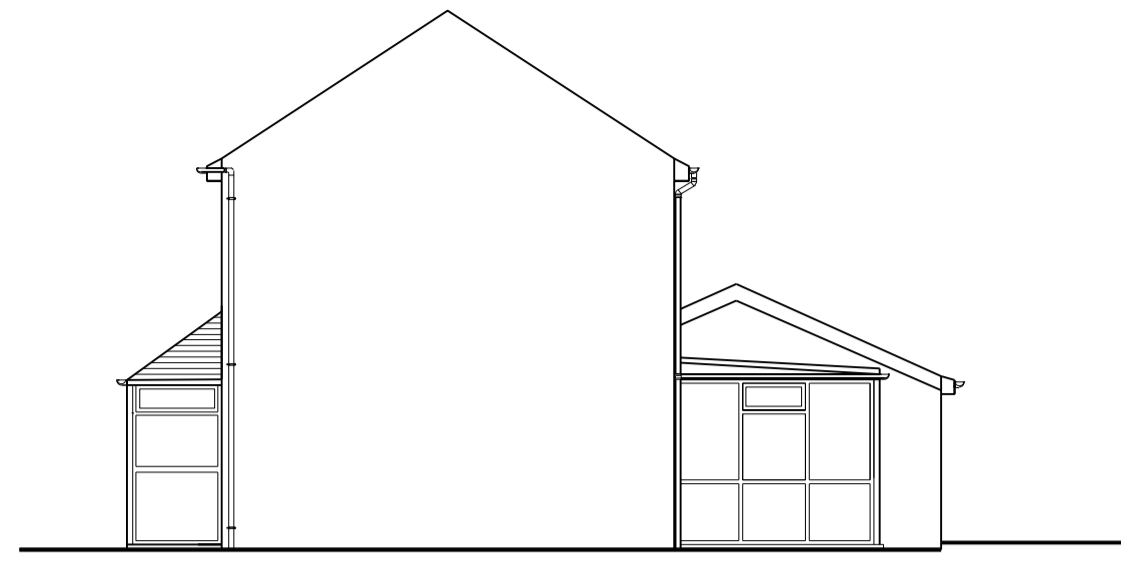
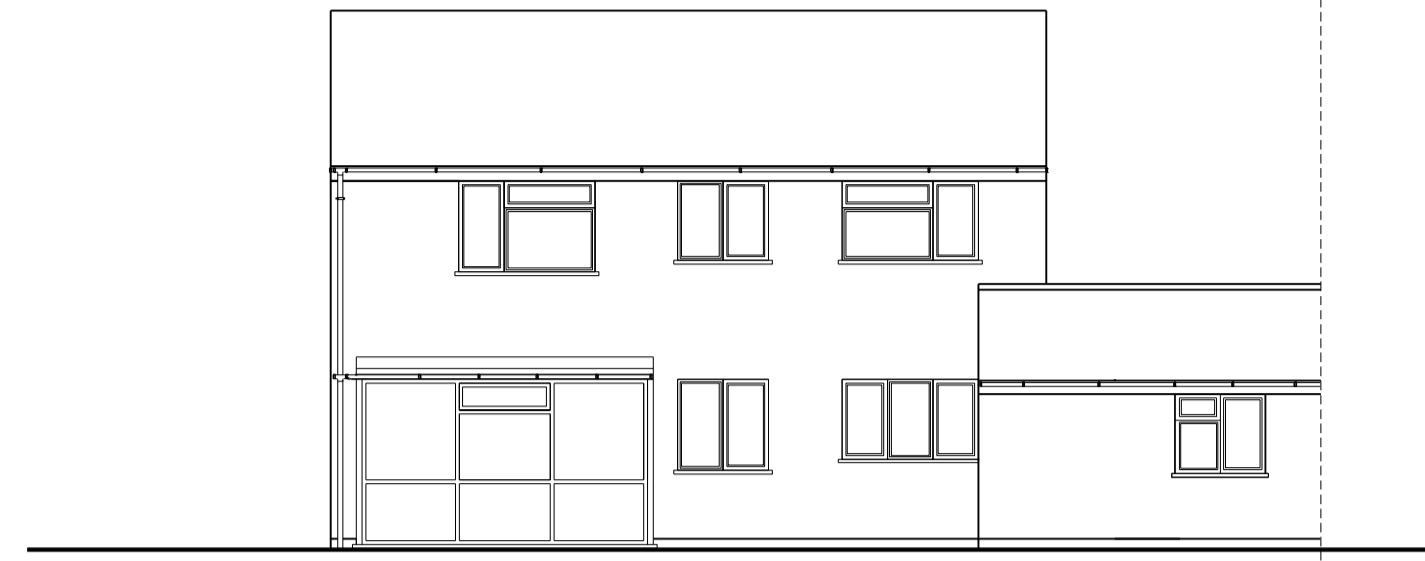


Existing Elevations 1:100

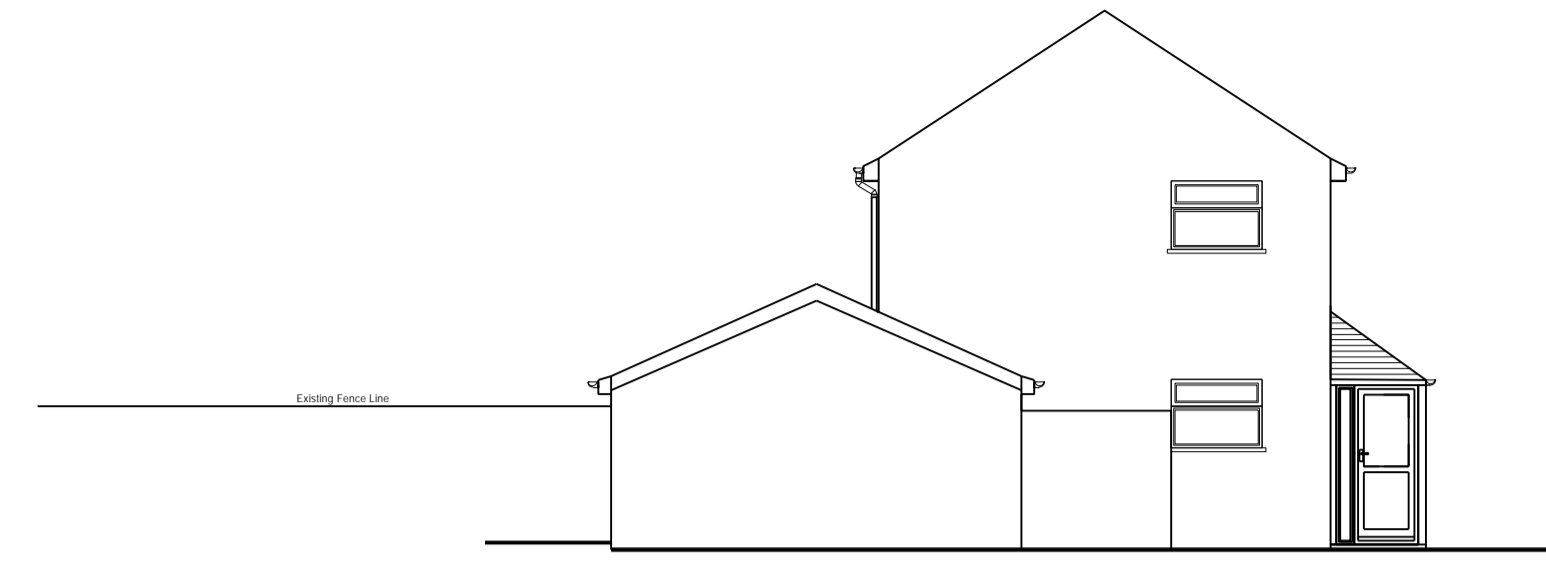
Scale Bar 1:100



Side Elevation

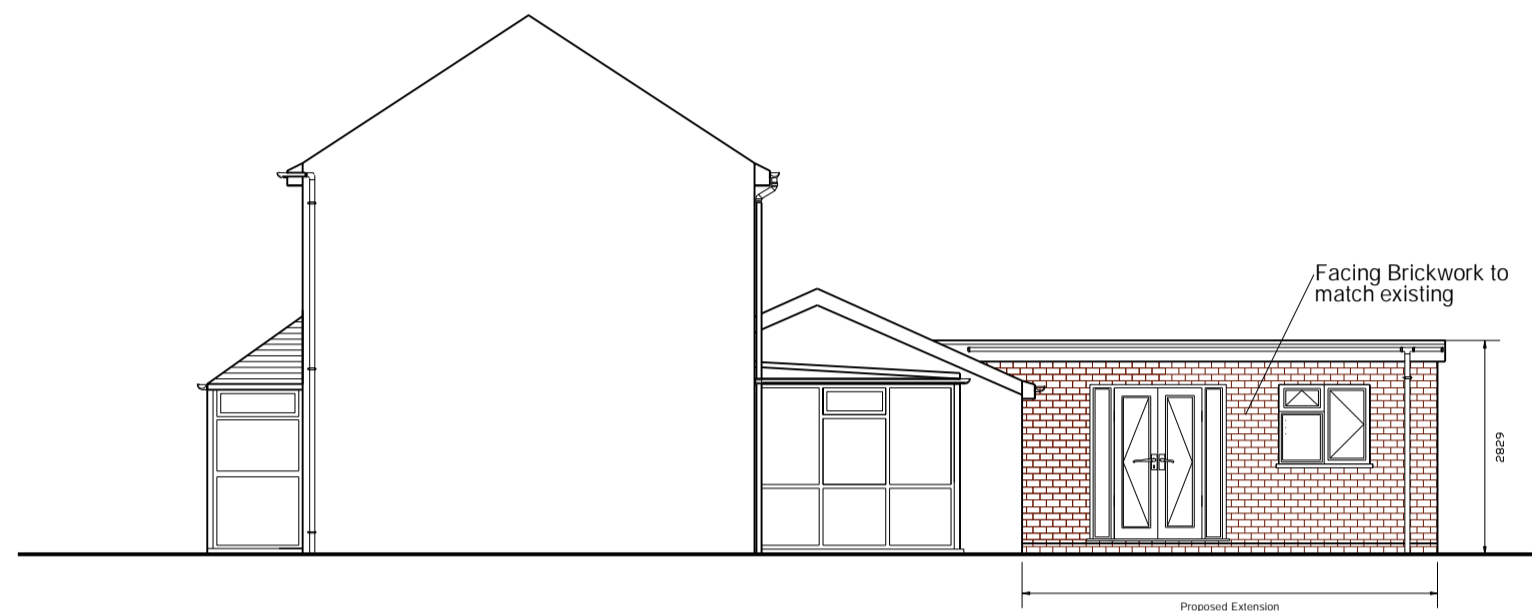


Rear Elevation

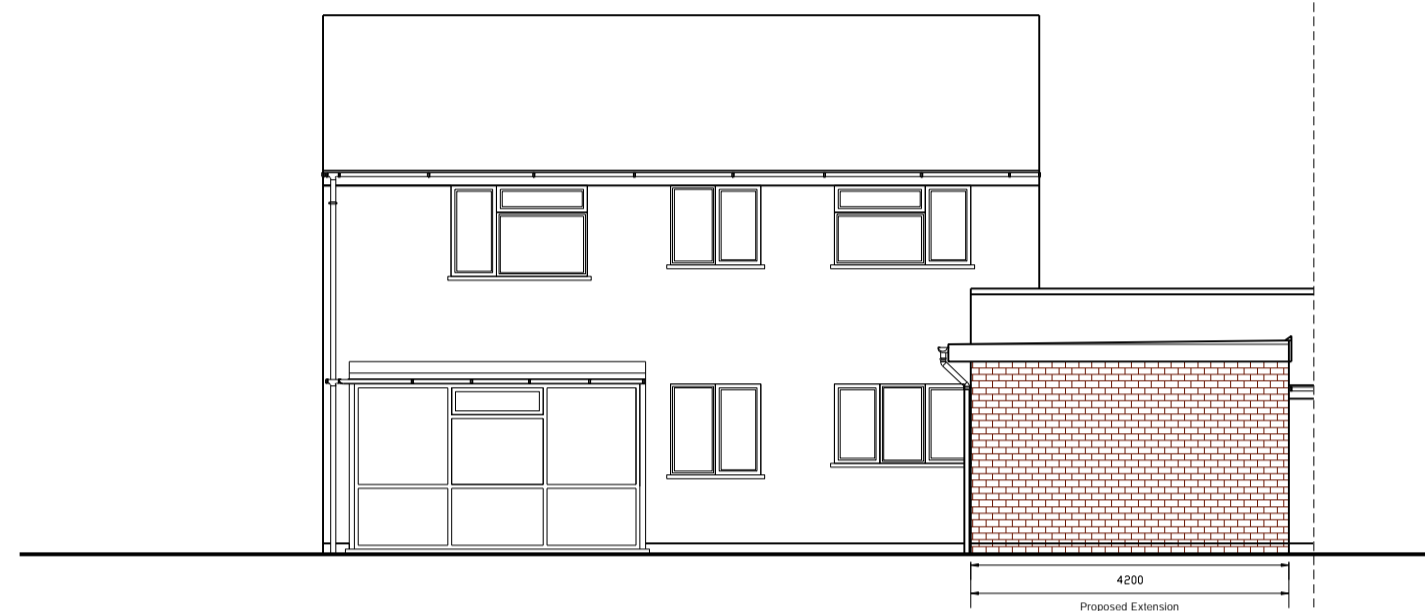


Side Elevation

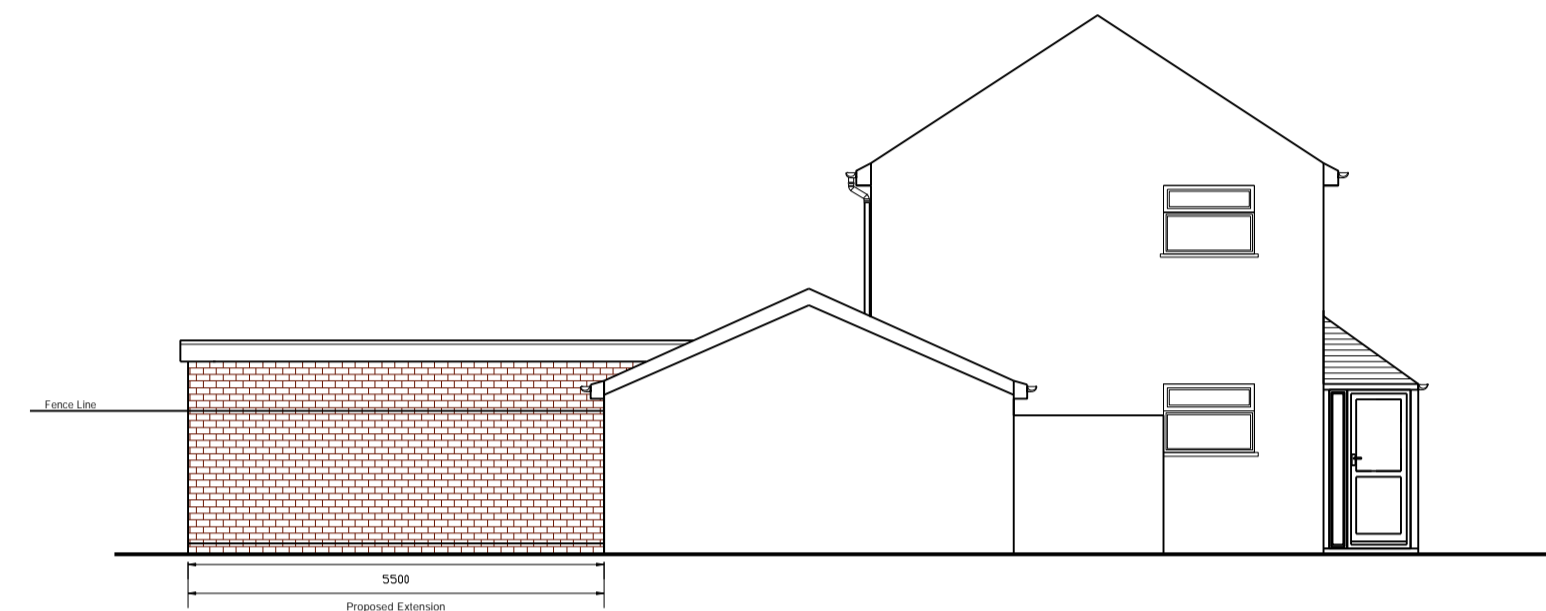
Proposed Elevations 1:100



Side Elevation

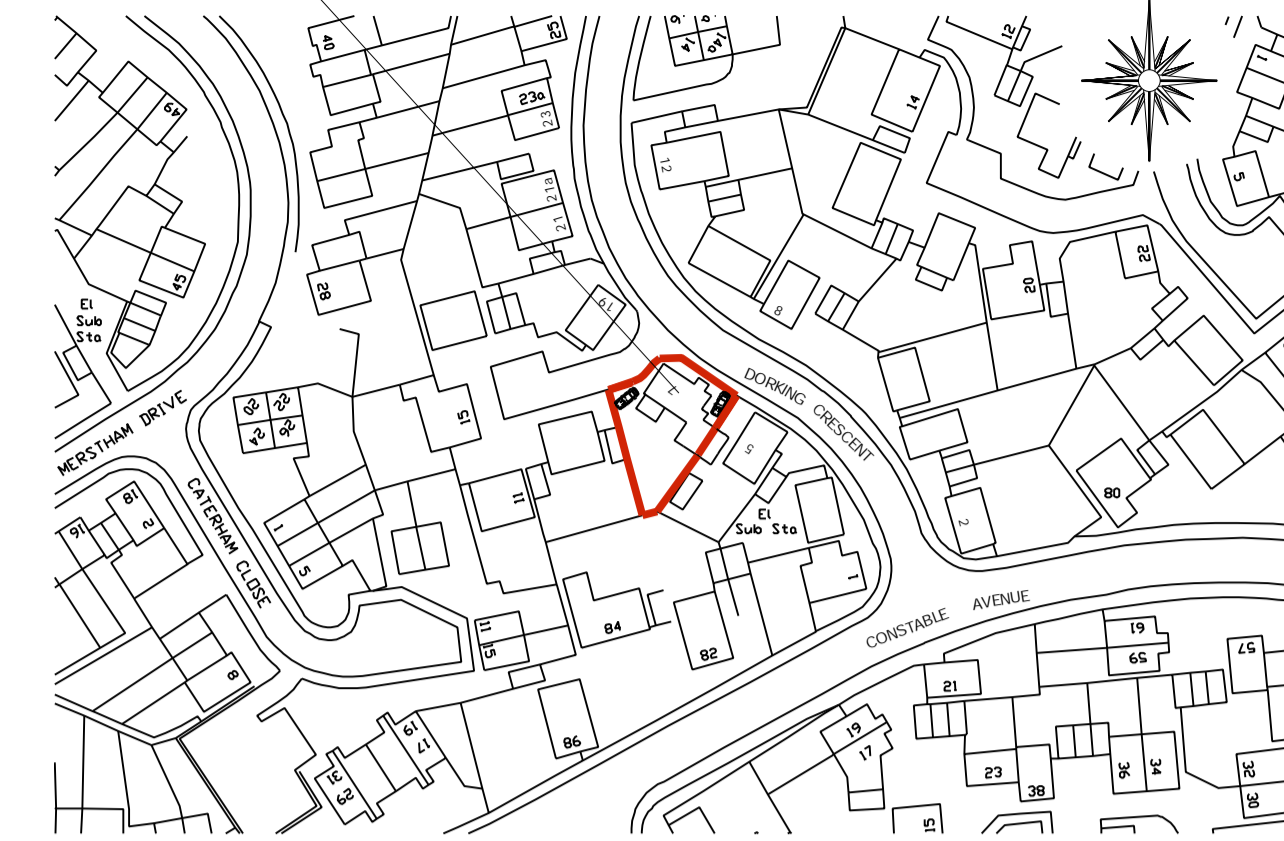


Rear Elevation



Side Elevation

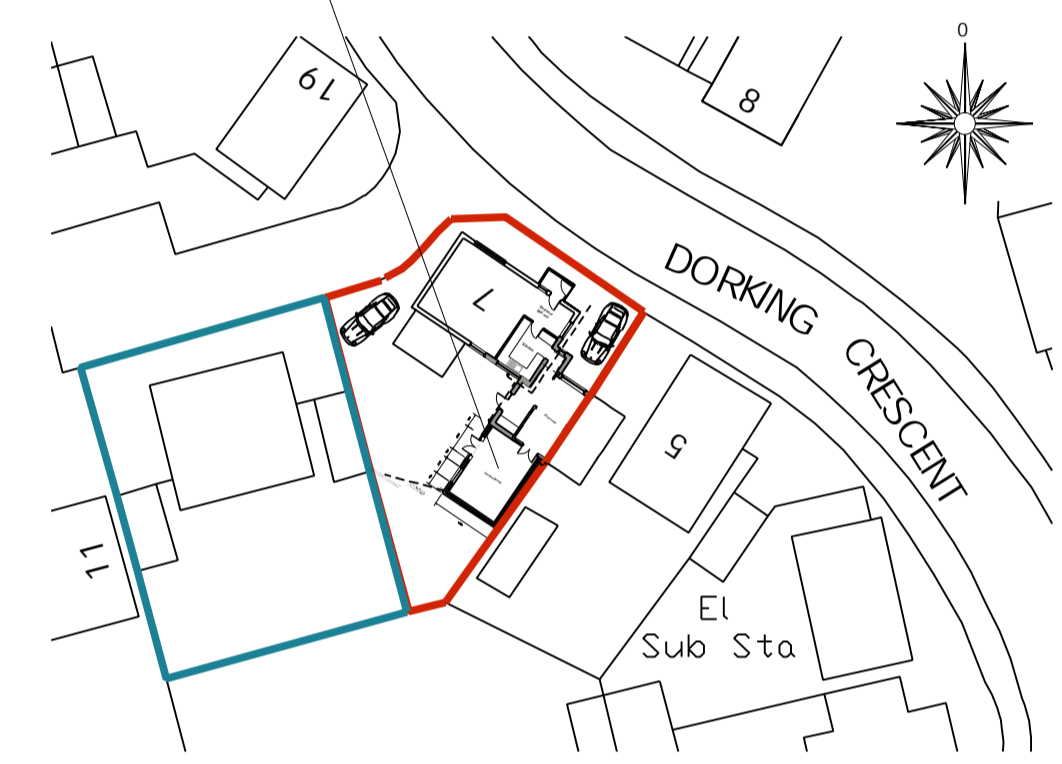
The Site



Site Location Plan 1:1250

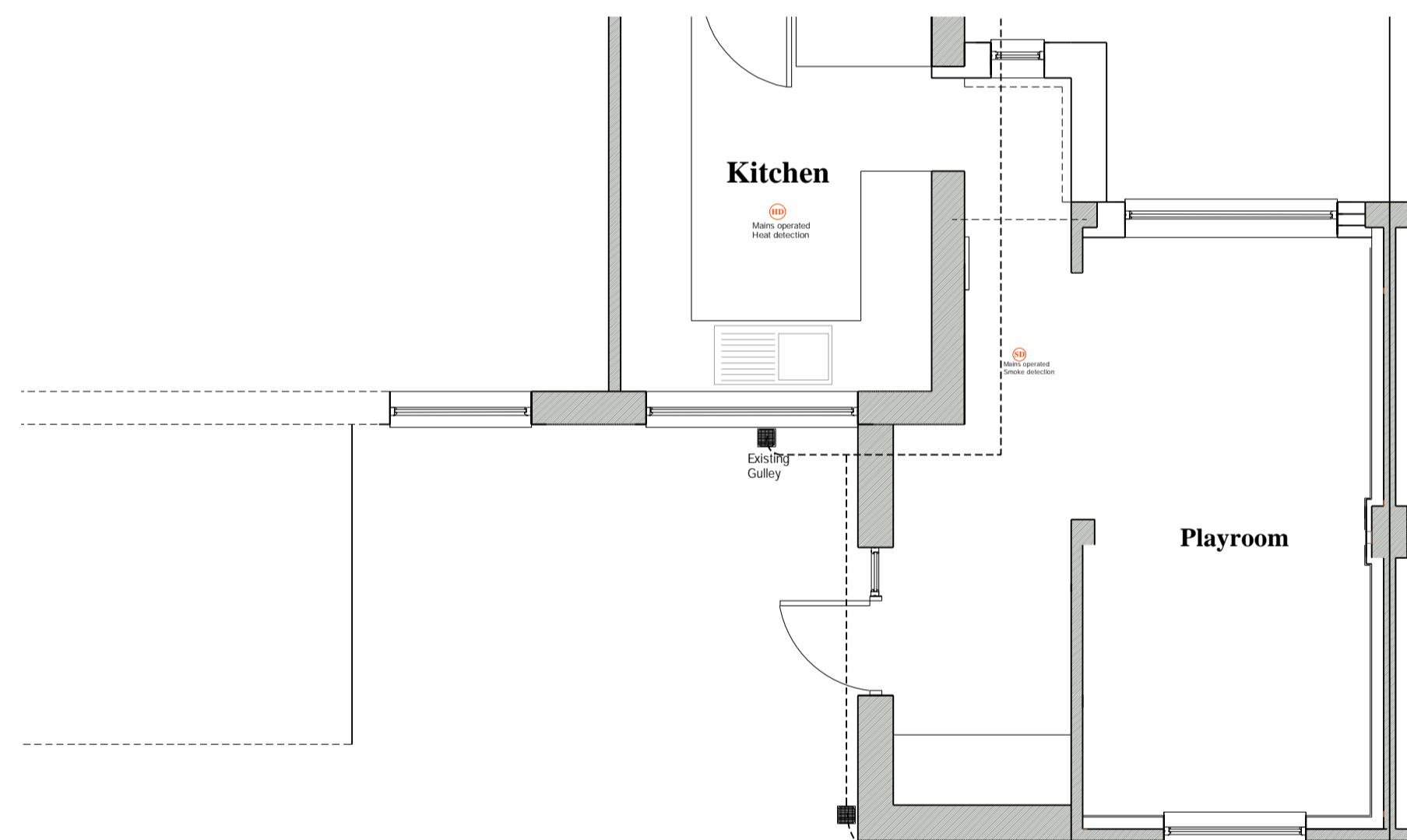
Scale Bar 1:1250

Proposed Extension

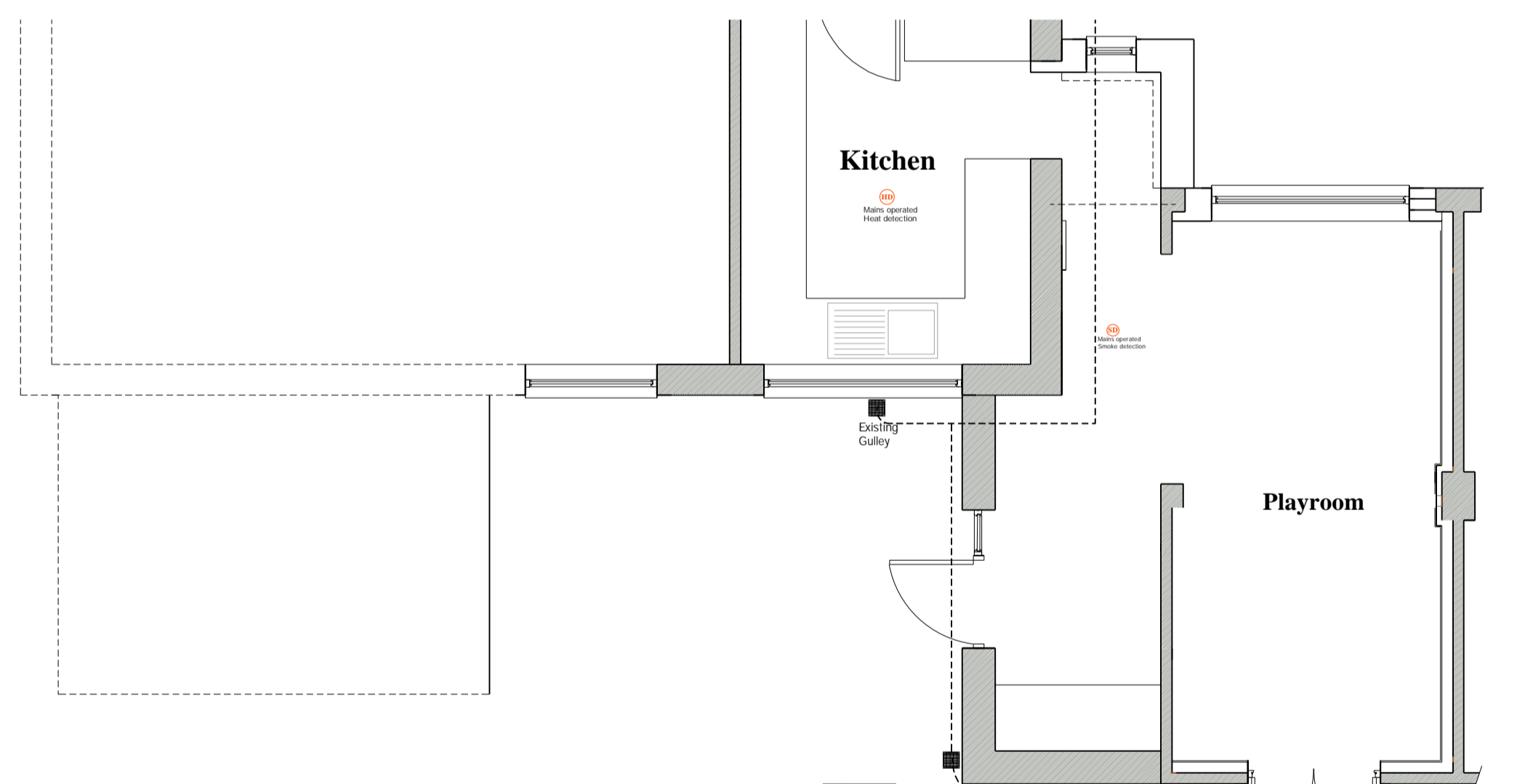


Block Plan 1:500

Scale Bar 1:500



Existing Ground Floor Plan 1:50



Proposed Ground Floor Plan 1:50

Rev A : Window moved to the side April 24
NOTES:-

1. The Contractor must ensure that the works are carried out in accordance with the stamped Building Control Approved drawings- if in doubt ask
2. Contractor is responsible for checking all dimensions before making decisions reliant upon them
3. Any discrepancies to be reported to Architect before work commences and materials ordered.
4. Any works carried out before Building Regulations Plan certificate Approval is obtained are carried out at your own risk.
5. Drawings to be read in conjunction with approved structural calculations.
- 6 Drawings to be read in conjunction with approved planning drawings and no work is to commence on site until all planning conditions are approved.
7. If in doubt ask.



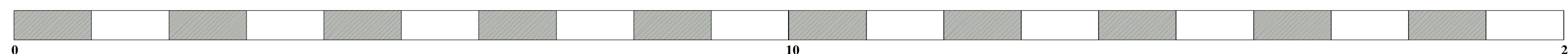
Project
Proposed Rear Extension
7 Dorking Crescent
Clacton-on-Sea
ESSEX

Drawing Title: Planning Drawings

Client:

Scale	Drawing no.	Status	Date	Revision
As Shown	01	Propositional	March 24	A

Scale Bar 1:50



100mm diam Drain laid to a 1:80 fall backed on and surrounded in 100mm granular
Rainwater to be taken to a new soakaway 1m³ positioned a minimum of 5.0m from any building