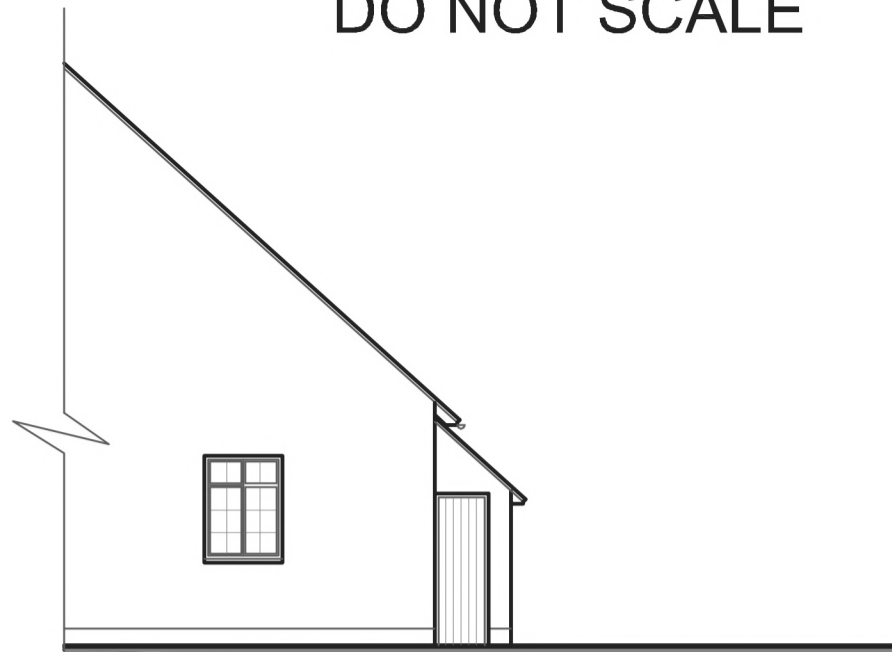
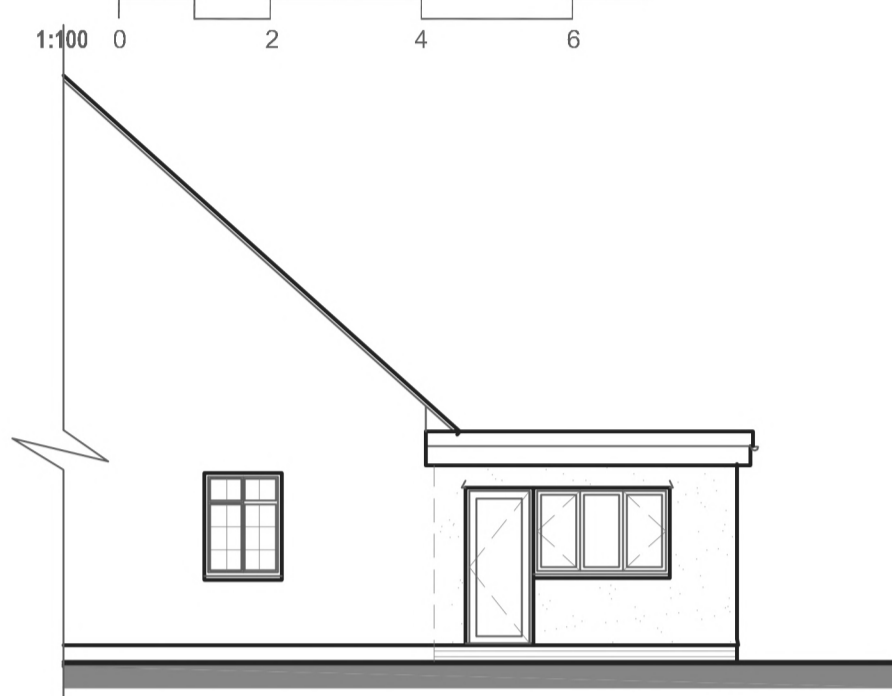


DO NOT SCALE

IF IN DOUBT ASK



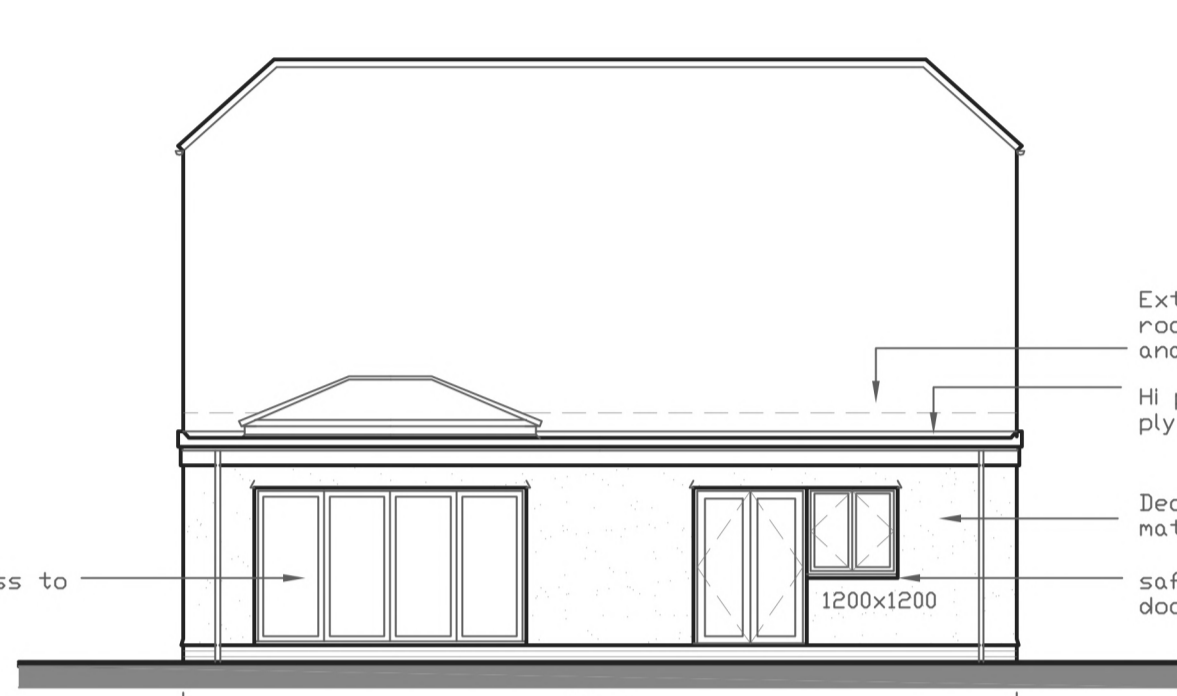
Part side elevation (east)
•ELEVATIONS AS EXISTING 1:100 •



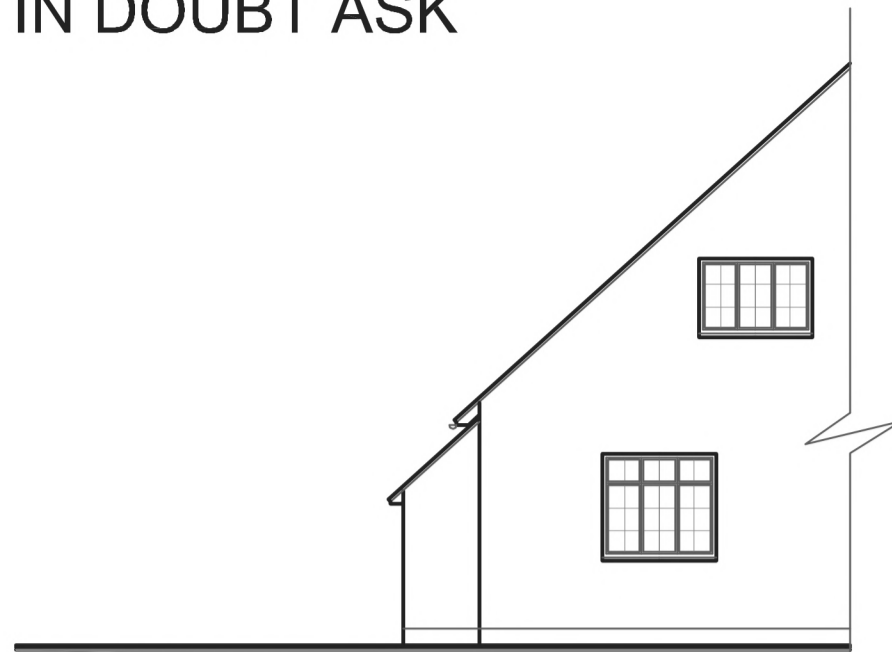
Part side elevation (east)
•ELEVATIONS AS PROPOSED 1:100 •



Rear elevation (north)



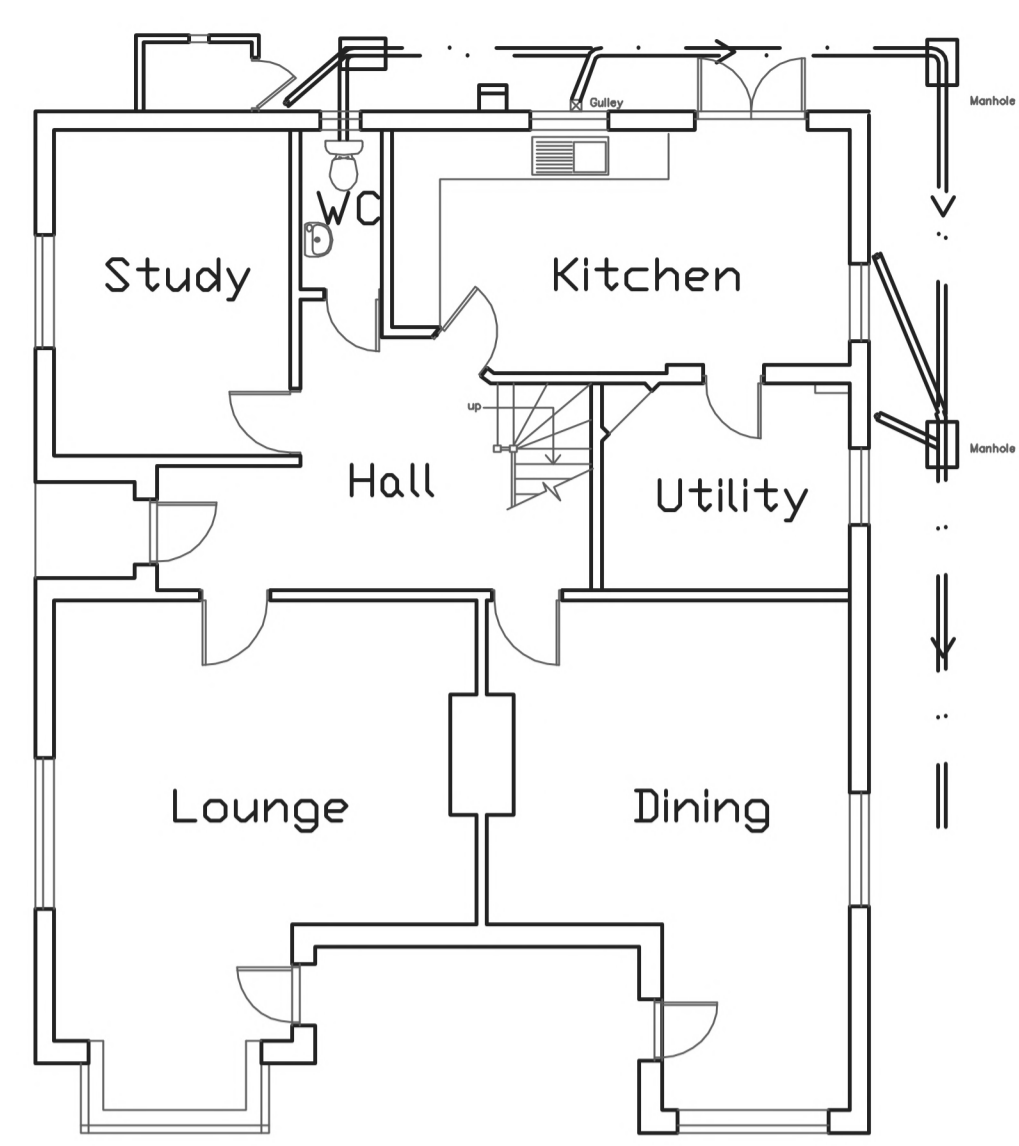
Rear elevation (north)



Part side elevation (west)

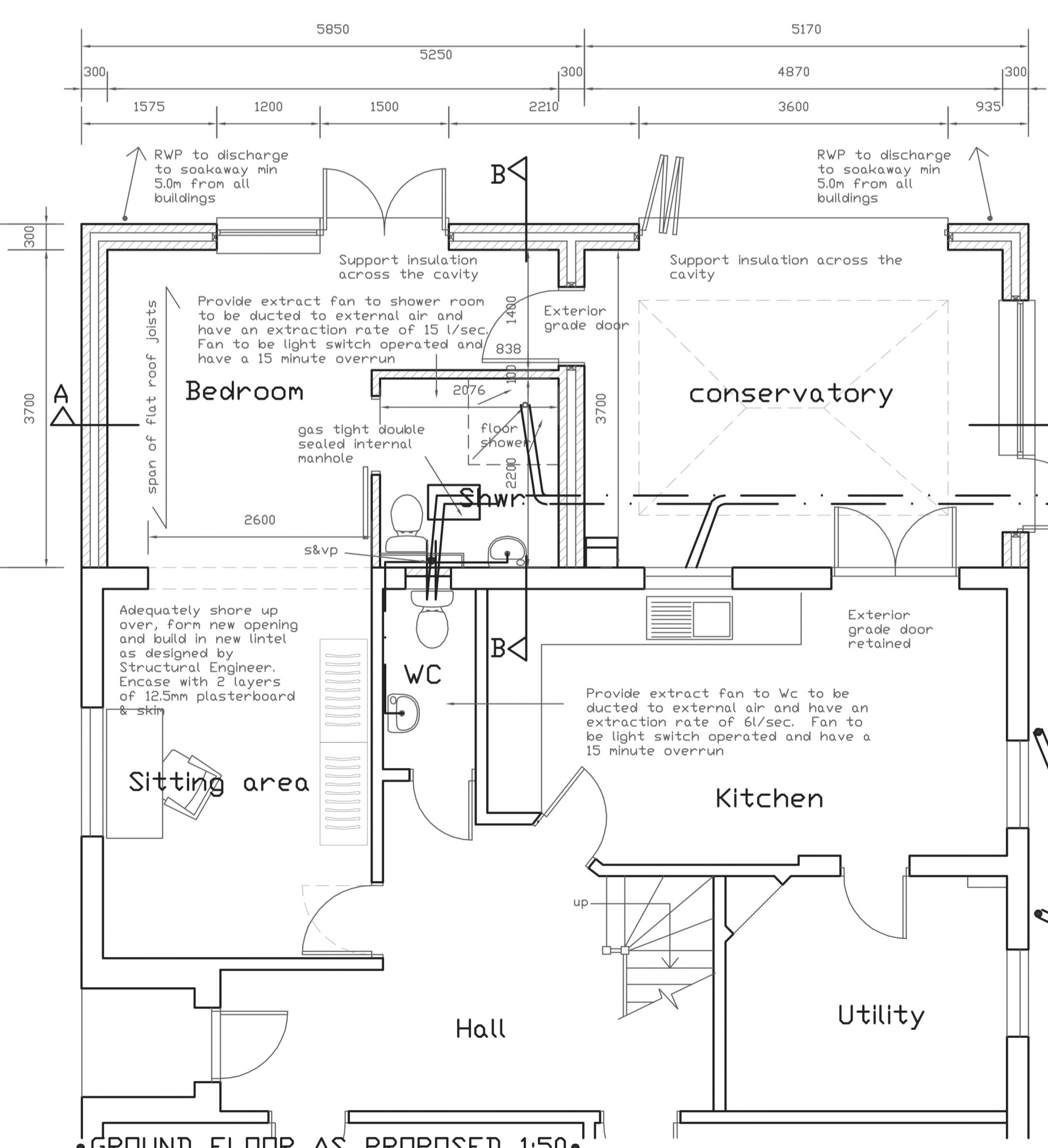


Part side elevation (west)



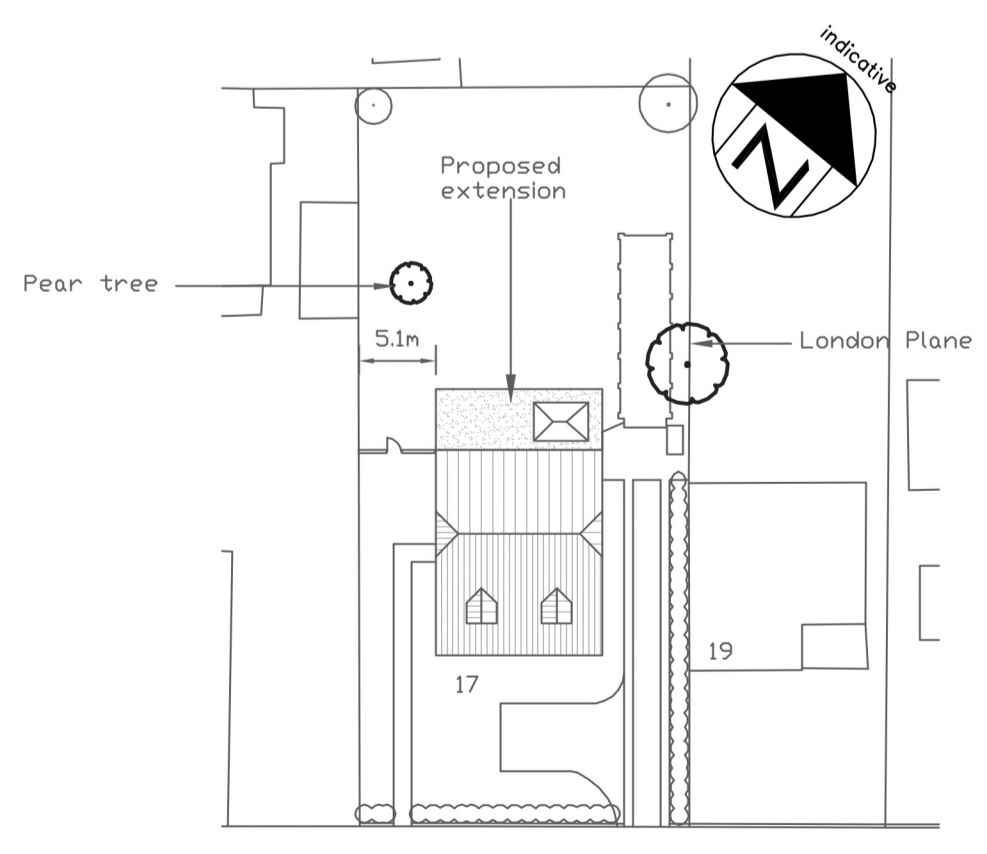
•GROUND FLOOR AS EXISTING 1:100 •

Notes:-
MEASUREMENTS SHOWN ARE INDICATIVE ONLY - ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCING WORK AND ANY DISCREPANCY REPORTED
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Conservatory exempt from Building Regulations providing:
They are built at ground level and are less than 30 square metres in floor area. A minimum of 50% of the new wall and 75% of the roof must be glazed or use translucent material.
The conservatory is separated from the house by external quality walls, doors or windows.
There should be an independent heating system with separate temperature and on/off controls. Glazing and any fixed electrical installations comply with the applicable building regulations requirements.
Check drains which pass under extension. Over drain run provide 1 layer of A142 mesh centrally within the oversite and extend min of 500mm either side of the drain. Provide pre stressed concrete lintel just above existing drain. Wrap drain with 150mm compressible material to sleeve drain through new foundations.

•GROUND FLOOR AS PROPOSED 1:50 •



•BLOCK PLAN 1:500 •

RevNo	Revision note	Date

Drawing title	As existing & as proposed
Description	Proposed rear extension
Address	17 The Esplanade, Frinton-on-Sea, Essex, CO13 9AU
Client	Mr & Mrs Gregory

Drawn ZM	Sheet no.
Date 03/2024	Scale as indicated @ A1
Drawing No GTE-101	Revision

Zoe Manning BSc.
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Frinton-on-Sea, Essex,
CO13 9AB

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