

INVERCLYDE COUNCIL TO CONFIRM ADOPTION STATUS. ASSUME RETENTION OF TARMAC AREA & FOOTPATHS - BLOCK ACCESS WITH CONCRETE BOLLARDS ON COMPLETION OF DEMOLITION.

LEGEND

- PERIMETER FENCING (CONTRACT PERIOD) 2.3m HIGH SECURITY FENCING TO BE ERECTED ON ALL BOUNDARIES AS INDICATED
- HAND DEMOLITION TO A SUITABLE HEIGHT WITH MACHINE THEREAFTER INCLUDING FOUNDATION REMOVAL. (SEE SUGGESTED METHOD STATEMENT)
- EXISTING HARDSTANDINGS FORMING ACCESS STEPS AND FOOTWAYS TO BE GRUBBED UP AND REMOVED FROM SITE (INCLUDING ANY RETAINING WALLS).
- EXISTING TARMAC ROAD, FOOTWAYS & KERBING TO REMAIN AND BE PROTECTED FOR THE DURATION OF THE WORKS.
- DENOTES TREES TO BE PROTECTED IN ACCORDANCE WITH BS5837: 2012.
- EXTENT OF EXISTING RETAINING WALLS TO REMAIN WITHIN ZONE OF INFLUENCE OF EXISTING REAR ACCESS ROAD. ALLOW FOR BACKFILL UP TO LESS THAN 600mm CROP.
- INVERCLYDE COUNCIL LAMP STANDARDS TO BE PROTECTED FOR THE DURATION OF THE WORKS.

BOUNDARY STRUCTURES:
ALL EXISTING BOUNDARY FENCES TO REMAIN AND BE PROTECTED DURING THE WORKS.

HARD STANDINGS:
ALL HARDSTANDINGS INCLUDING ROAD BASE / SUB BASE MATERIALS, KERBS, ETC. WITHIN THE SITE BOUNDARIES TO BE REMOVED UNLESS AGREED OTHERWISE.

FENCING & WALLS:
ALL FENCING AND WALLS INCLUDING FOUNDATIONS WITHIN SITE BOUNDARIES TO BE REMOVED / GRUBBED UP UNLESS AGREED OTHERWISE WITH ENGINEER.

MISCELLANEOUS
ALL HARD LANDSCAPED AREAS, OUTBUILDINGS & BIN STORES WITHIN SITE BOUNDARY TO BE REMOVED FROM SITE UNLESS NOTED OTHERWISE.

DEMOLITION NOTES:

BUILDING IN OWNERSHIP OF : INVERCLYDE COUNCIL
ADDRESS OF PROPERTIES : 80 - 86 NEIL STREET, GREENOCK.

BUILDING HEIGHT
FOUR STOREY

CONSTRUCTION
THE BUILDINGS APPEAR TO BE OF TRADITIONAL CONSTRUCTION, GENERALLY COMPRISE OF LOADBEARING MASONRY INTERNAL & EXTERNAL WALLS, SUPPORTING SUSPENDED CONCRETE FLOORS. THE EXTERNAL FABRIC HAS BEEN RETROFITTED IN THE PAST WITH AN EWI SYSTEM, COMPRISING RENDER ON EXISTING STRUCTURE.

BUILDING CLASS:
THE BUILDING HAS A USE CLASS OF 2(a).

CONTRACTOR TO ENSURE THAT NEIGHBOURING ROADS & FOOTPATHS TO BE REGULARLY CLEANED AND KEPT FREE OF BUILDING DEBRIS AND RELATED MATERIALS. ANY DAMAGE CAUSED DURING THE WORKS IS TO BE REPAIRED TO THE SATISFACTION OF THE LOCAL AUTHORITY.

RISK ASSESSMENT:
POSSIBILITY OF LIVE UNRECORDED SERVICES WITHIN THE SITE. CONTRACTOR REQUIRED TO TAKE ALL NECESSARY PRECAUTIONS TO LOCATE AND IDENTIFY LIVE SERVICES. CONTRACTOR TO DEVELOP A SAFE METHOD OF WORKING TO AVOID IDENTIFIED LIVE SERVICES AND MINIMISE THE LIKELIHOOD OF DISTURBING UNIDENTIFIED LIVE SERVICES AS WORK PROCEEDS. A DETAILED METHOD STATEMENT IS TO BE SUBMITTED TO THE ENGINEER PRIOR TO COMMENCING WORK ON SITE.

DEMOLITION TO BE CARRIED OUT IN COMPLIANCE WITH THE REQUIREMENTS OF BS6187:2011 & H.A.S.W. ACT 1974, CDM 2015 AND THE BUILDING (SCOTLAND) REGS. 2013

SCAFFOLDING TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF BS EN12811-1, 2003 NASC GUIDANCE TG20:13

ASBESTOS : ASBESTOS IS PRESENT ON SITE. REFER TO DEMOLITION SURVEY BY ACS (REF: H40640, 27 OCTOBER 2020). ALL ASBESTOS TO BE REMOVED BY A LICENSED ASBESTOS SPECIALIST CONTRACTOR IN ACCORDANCE WITH THE CONTROL OF ASBESTOS REGULATIONS 2012. LOCAL AUTHORITY ASBESTOS UNIT TO BE NOTIFIED.

SITE ACCESS:
CONTRACTOR TO PROVIDE CONTROLLED MEANS OFF ACCESS TO AND FROM THE SITE FOR DELIVERIES ETC. DURING THE DURATION OF THE WORKS.

CONTRACTOR TO NOTIFY LOCAL AUTHORITY ROADS AND POLICE TRAFFIC SECTIONS OF NATURE AND COMMENCEMENT DATE OF WORKS.

ALL EXISTING SERVICE LOCATIONS SHOWN ON THIS DRAWING ARE INDICATIVE ONLY. FURTHER INVESTIGATIONS ARE REQUIRED ON SITE TO PROVIDE ACCURATE INFORMATION ON LOCATION AND DEPTHS OF ALL EXISTING SERVICES.

ALL SERVICE LOCATIONS ARE TAKEN FROM EXISTING RECORD PLANS ISSUED TO US BY THE SERVICE PROVIDER. THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE EXISTING RECORD PLANS.

- SUGGESTED METHOD STATEMENT**
- THE CLIENT HAS CARRIED OUT A DEMOLITION ASBESTOS SURVEY AND ALL IDENTIFIED ASBESTOS HAS BEEN REMOVED. PRIOR TO THE CONTRACTOR TAKING POSSESSION, THE CONTRACTOR SHOULD SATISFY THEMSELVES THAT THIS HAS BEEN CARRIED OUT. SHOULD THEY DISCOVER ANY SUSPECTED ASBESTOS, THEY SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - THE CLIENT HAS COMMENCED ARRANGING DISCONNECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLETE THIS ACTIVITY AND OBTAIN DISCONNECTION CERTIFICATES PRIOR TO COMMENCING ANY DEMOLITION
 - ERECT TEMPORARY 2.3m HIGH FENCE AROUND SITE FOR DURATION OF WORKS. REMOVE SECTION OF FENCE FOR ACCESS. FENCE TO BE REINSTATED AT COMPLETION OF WORKS.
 - CLOSE OFF PUBLIC FOOTPATH TO BOUNDARY IF REQUIRED AND ERECT APPROPRIATE SIGNAGE FOR TRAFFIC / PEDESTRIAN DIVERSIONS.
 - WHERE OPERATIVES ARE REQUIRED TO WORK AT HEIGHT e.g. STRIPPING ROOFS, THEY ARE TO BE EQUIPPED WITH HARNESSES SECURELY ANCHORED TO THE STRUCTURE. EDGE SCAFFOLD TO BE USED AROUND PERIMETER OF ROOF.
 - WHERE REQUIRED DUE TO BOUNDARY PROXIMITY, DEMOLISH BUILDING BY HAND, SEE FIG A.
 - THE REMAINDER OF THE BUILDING SHOULD THEREAFTER CAN BE DEMOLISHED BY MACHINE METHODS, SEE FIGURE B.
 - DEMOLISH BUILDING BY MACHINE, WORKING AWAY FROM THE BOUNDARY NEAREST THE EXISTING CARRIAGEWAY BY PULLING THE STRUCTURE TOWARDS THE CAR PARK, GRADUALLY REDUCING HEIGHT AND KEEPING ALL RUBBLE WITHIN THE PERIMETER OF THE BLOCK.
 - REMOVE GROUND FLOOR CONSTRUCTION.
 - ALL RESULTING DEBRIS REMOVED FROM SITE TO BE TAKEN TO LICENSED TIPPING FACILITY.
 - GRUB UP FOUNDATIONS, CRUSH TO 6F2 GRADING FOR BACKFILL TO ORIGINAL GROUND LEVEL. EXCESS TO BE REMOVED FROM SITE.
 - EXCAVATE SHAPE AND GRADE AREA OF SITE TO NEW FINISHED GROUND LEVELS.
 - EXCAVATE FOR, LOCATE, CUT AND CAP REDUNDANT PROPERTY DRAINS AND BRANCH CONNECTIONS AT TIE-IN TO THE ADOPTED SCOTTISH WATER SEWER.
 - CONTRACTOR TO ARRANGE FOR CAPPED CONNECTIONS TO BE INSPECTED BY SCOTTISH WATER OR ALTERNATIVELY PHOTOGRAPHS SHALL BE SUBMITTED TO SCOTTISH WATER.
 - CONTRACTOR SHALL SUPPLY A PLAN WHICH ACCURATELY SHOWS THE LOCATION OF CAPPED CONNECTIONS.
 - EXCAVATE, LOCATE AND BREAKOUT REDUNDANT, MANHOLES, DRAINS AND SERVICE PIPES AND REMOVE FROM SITE.
 - REMOVE ALL BRICK WALLS, HANDRAILS AND FENCES COMPLETE WITH FOUNDATIONS WITHIN SITE BOUNDARY ALL AS AGREED ON SITE WITH ENGINEER PRIOR TO COMMENCING WORK.
 - REMOVE ALL HARD STANDING AREAS INCLUDING ASPHALT AND CONCRETE PAVING WITHIN SITE BOUNDARY ALL AS AGREED ON SITE WITH ENGINEER PRIOR TO COMMENCING WORK.
 - SITE MUST BE LEVELED AND CLEARED ON COMPLETION OR ADEQUATELY SECURED BY HOARDING AROUND THE PERIMETER.
 - MAKE GOOD GROUND UPON COMPLETION.
 - REMOVE ALL REDUNDANT OUTBUILDING STRUCTURES AS REFERENCED ON LAYOUTS.
 - ESTIMATED DURATION OF WORKS : 20 WEEKS, TO BE CONFIRMED BY CONTRACTOR.

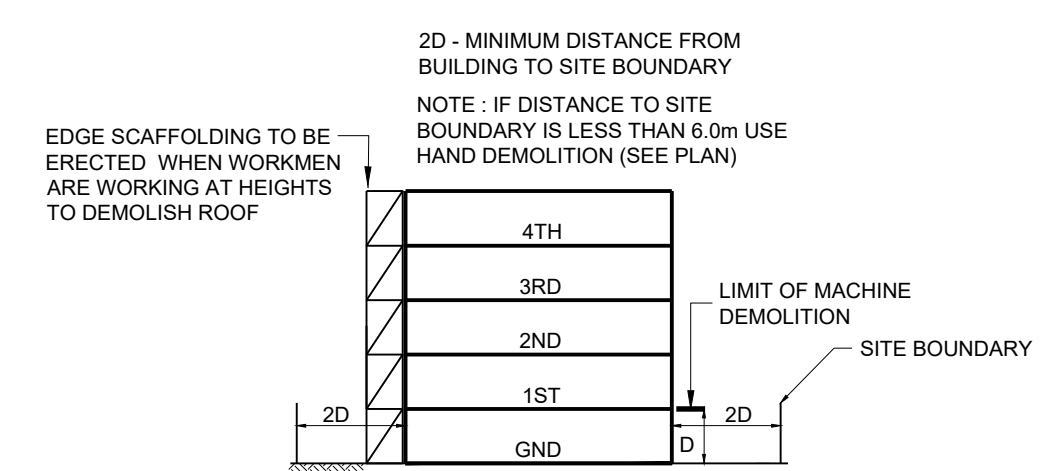


FIG A. SUGGESTED DEMOLITION METHOD

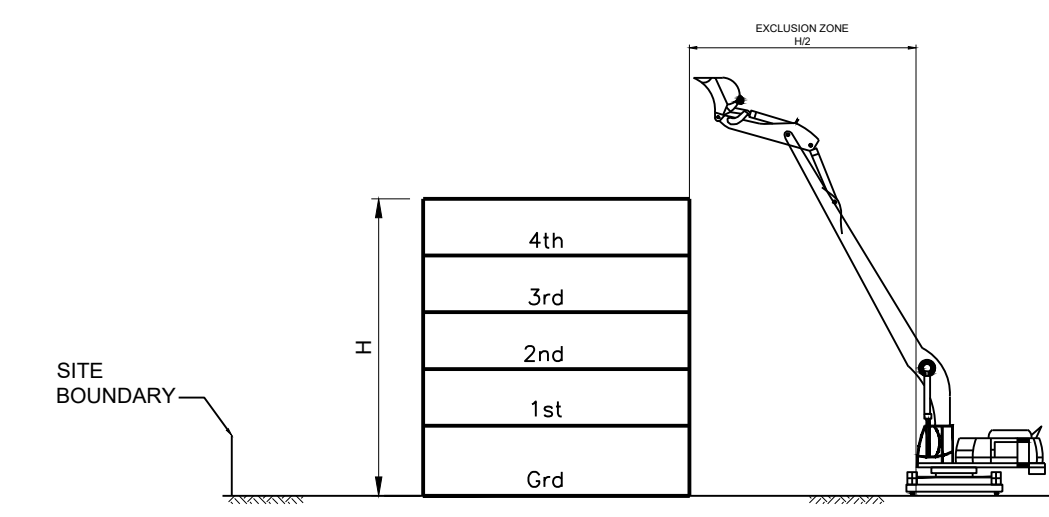


FIG B. SUGGESTED DEMOLITION METHOD

- Notes**
- THIS DRAWING IS COPYRIGHT, RESERVED AND REMAINS THE PROPERTY OF G3 CONSULTING ENGINEERS LIMITED.
 - THE CONTRACTOR AND HIS SUBCONTRACTORS/SUPPLIERS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE MAKING SHOP DRAWINGS OR COMMENCING MANUFACTURE.
 - DO NOT SCALE THIS DRAWING. ONLY USE FIGURED DIMENSIONS. THE CONTRACTOR IS TO BRING TO THE NOTICE OF THE ENGINEER ANY DISCREPANCIES CONTAINED IN THIS DRAWING PRIOR TO WORK COMMENCING. WHERE REQUIRED THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT DESIGN DRAWINGS AND SPECIFICATIONS.
 - ALL WORK TO CONFORM TO THE RELEVANT BRITISH STANDARDS.

NOTE:
DELAPIDATION SURVEY INCLUDING PHOTOGRAPHS TO BE CARRIED OUT BY CONTRACTOR PRIOR TO WORKS COMMENCING.

A	SCALE BAR ADDED	P	DP	03/04/24
rev	description	by	chkd	date

DOCQUET
We hereby certify this is a true and fair copy of the plan/drawing referred to in the Application.

Dated _____ Signed _____

client
RIVER CLYDE HOMES

project
DEMOLITION OF 80 - 86 NEIL STREET GREENOCK

title
PROPOSED DEMOLITION LAYOUT

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ace
The Scottish Government

FQM
ISO 9001:2008 REGISTERED FIRM

FQM
ISO 14001:2004 REGISTERED FIRM

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