

All dimensions and levels must be checked and verified on site and not scaled from drawing.

Errors and omissions to be reported to the architects. to be read in conjunction with all relevant architectural, structural & mechanical/electrical drawings and specifications.

This drawing is copyright.

Notes

STAGE

- PRE APPLICATION
- LAWFUL DEVELOPMENT
- PLANNING APPLICATION
- CONDITIONS
- BUILDING CONTROL
- AS-BUILT

Rev	Date	Description
A	28.02.24	Planning Issue

VJS Architectural Design & Planning Services

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Project:

COMMERCIAL PLANNING APPLICATION

160 - 162 MARSH ROAD
LUTON
LU3 2QL

Drawing Title:

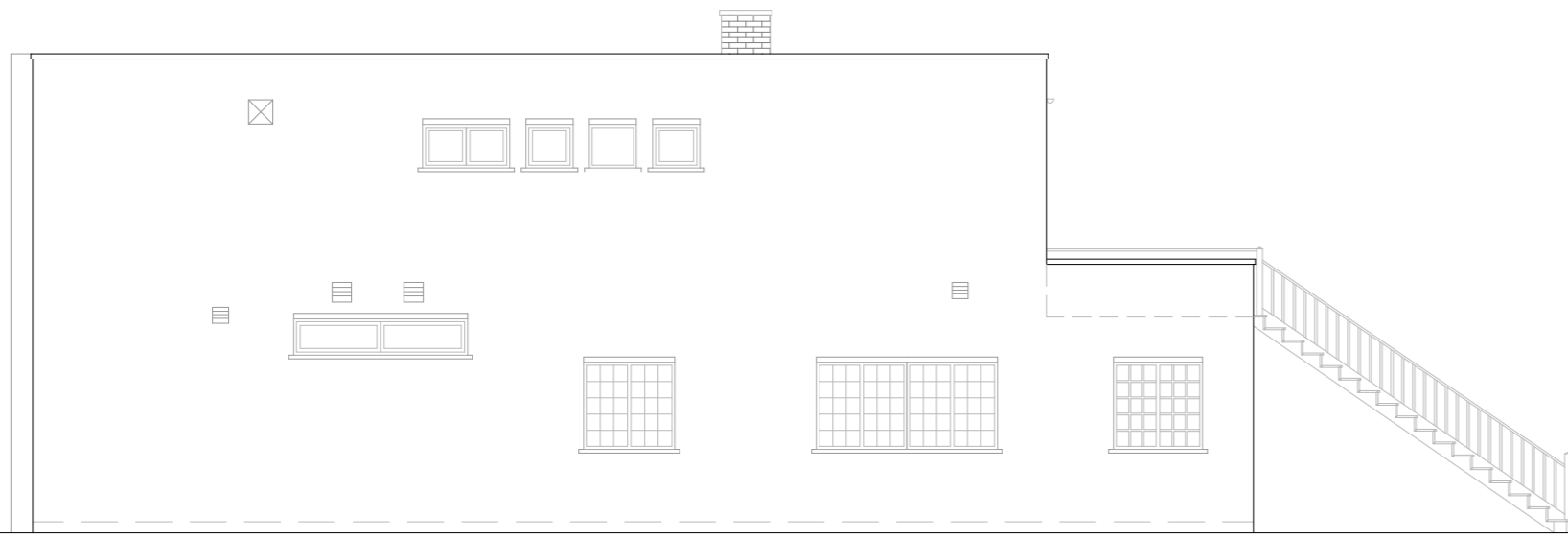
EXISTING FLOORPLANS & ELEVATIONS

Drawn:	Date:	Scale:
JB	FEB 2024	1:100

Drawing No:	Revision:
2070 - 002	A

Drawing Status:
PLANNING ISSUE

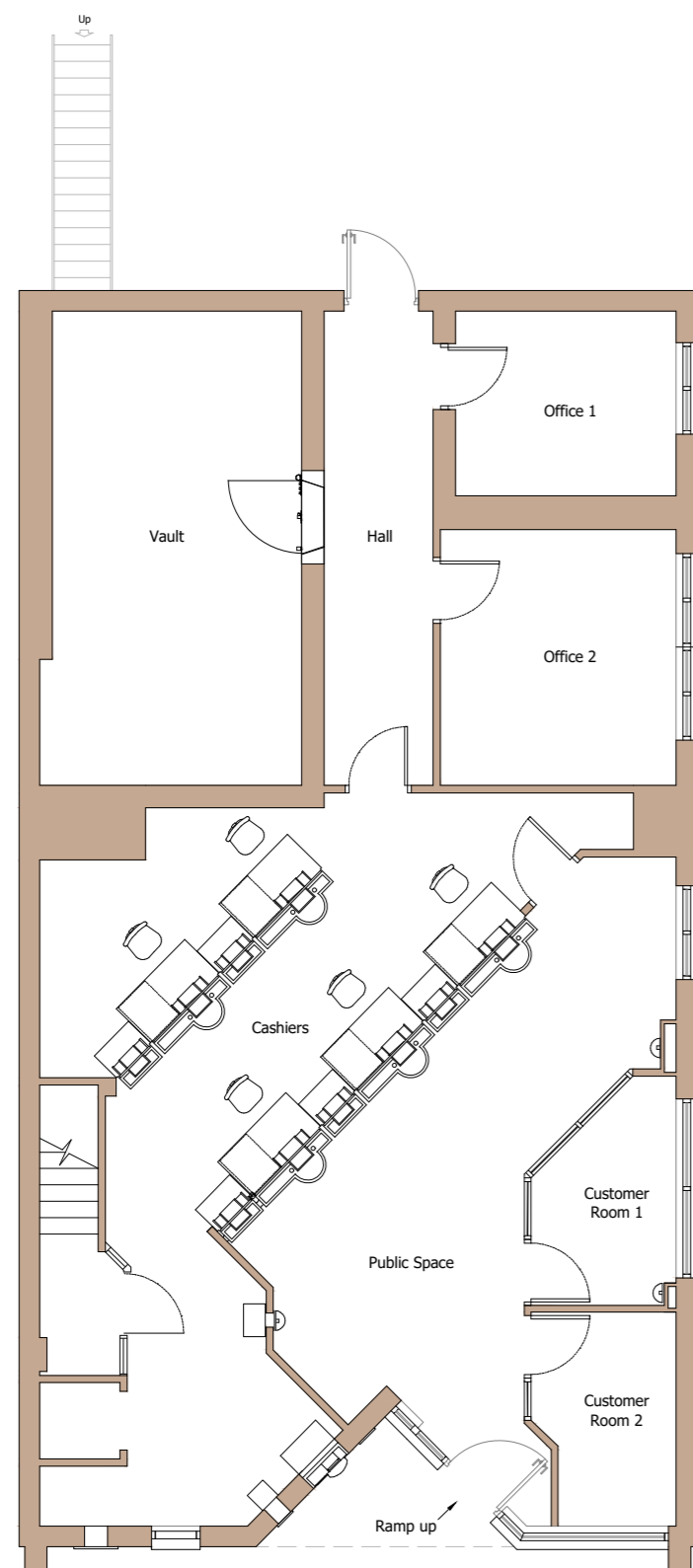
'For planning purposes only'



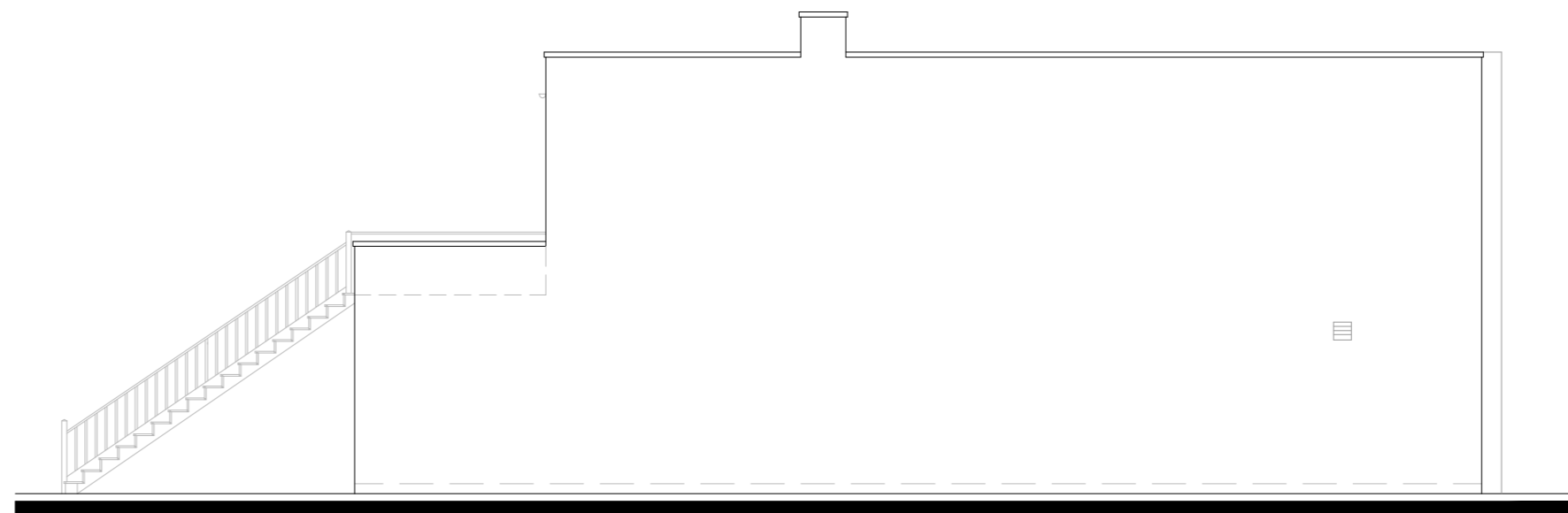
Existing Side Elevation
Scale 1:100



Existing Front Elevation
Scale 1:100



Existing Ground Floor
131.90m² (GIA)
Scale 1:100



Existing Side Elevation
Scale 1:100



Existing Rear Elevation
Scale 1:100

