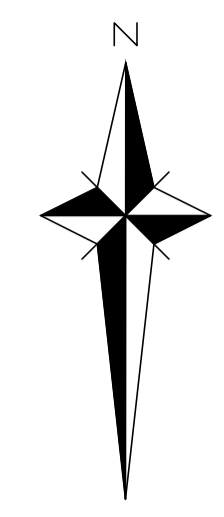
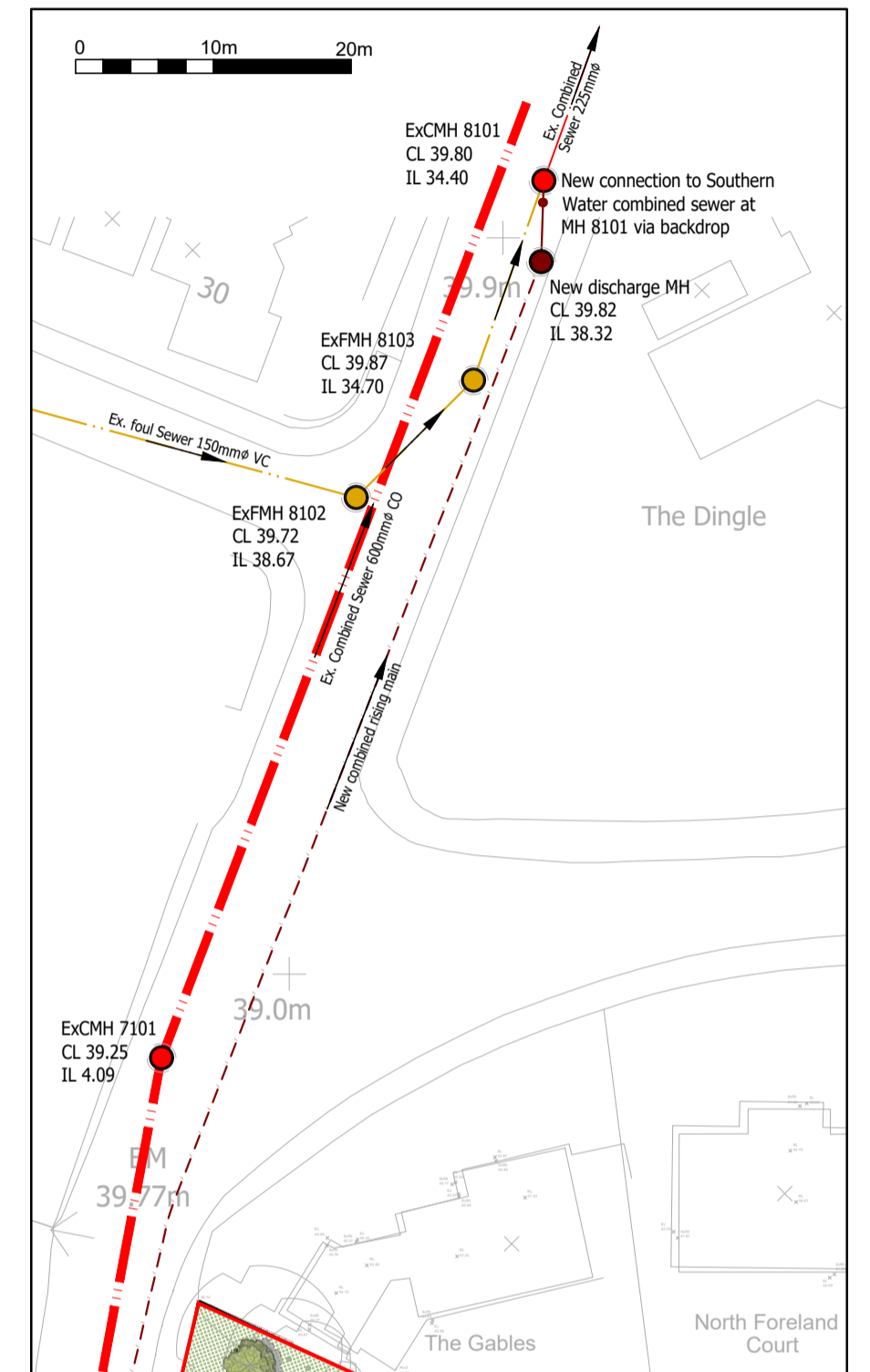
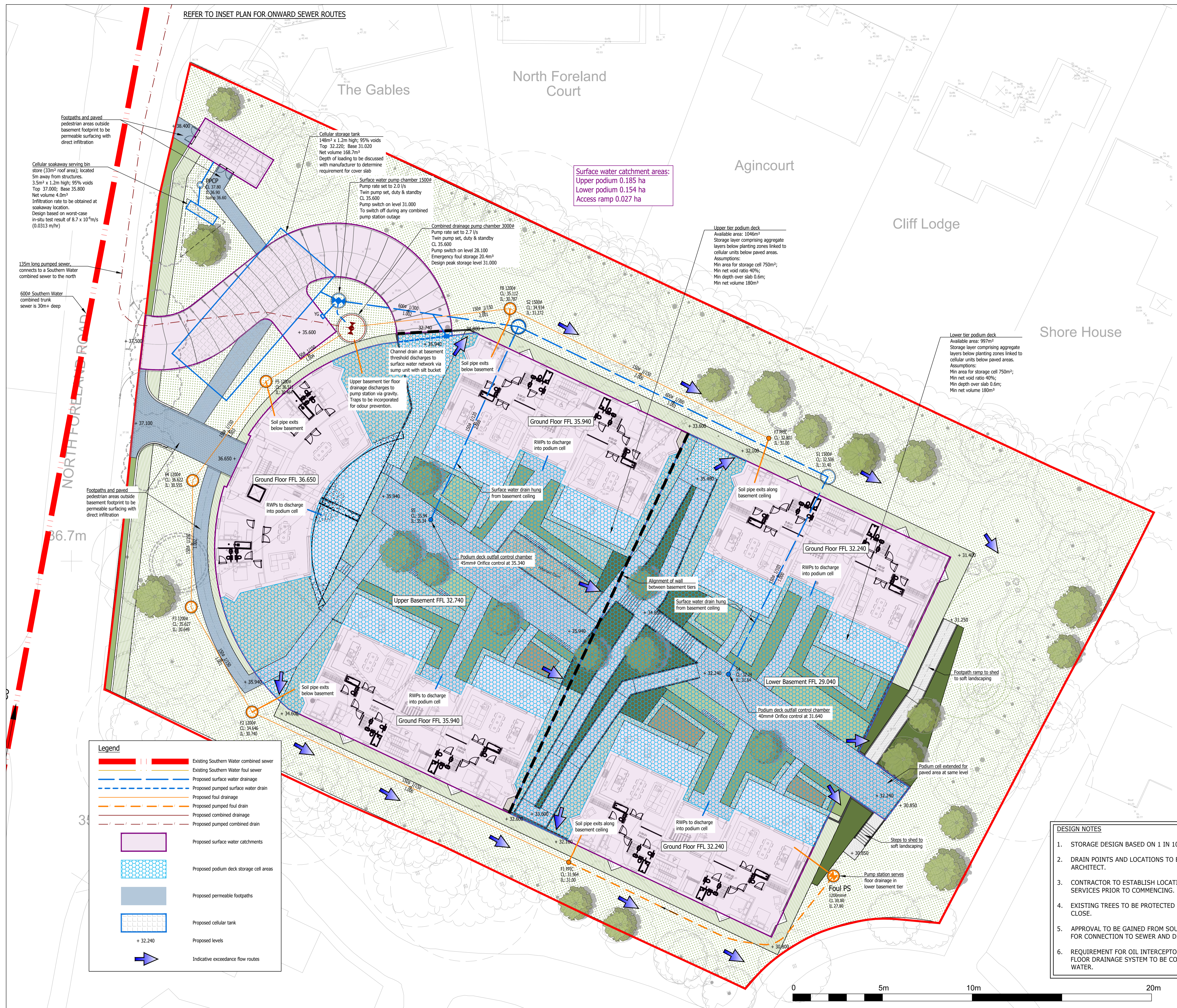


REFER TO INSET PLAN FOR ONWARD SEWER ROUTES



- GENERAL NOTES**
- The location, size, depth and identification of existing services that may be shown or referred to on this drawing have been assessed from non intrusive observations, record drawings or the like. The contractor shall safely carry out intrusive investigations, trial holes or soundings prior to commencing work to satisfy himself that it is safe to proceed and that the assessments are accurate. Any discrepancies shall be notified to gta prior to works commencing.
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 - Do not scale. All dimensions and levels to be site confirmed.
 - This drawing shall be read in conjunction with all relevant architects, consultants drawings and specifications, together with H&S plan requirements.
 - Copyright: This drawing must not be copied, amended nor reproduced without the prior written agreement of gta.
 - All drawings specifications and recommendations made by gta are subject to Local Authority and other relevant Statutory Authorities approval. Any works or services made abortive due to the client proceeding prior to these approvals is considered wholly at the Clients risk. gta hold no responsibility for resulting abortive works or costs.



INSET PLAN
1:500

Legend

	Existing Southern Water combined sewer
	Existing Southern Water foul sewer
	Proposed surface water drainage
	Proposed pumped surface water drain
	Proposed foul drainage
	Proposed pumped foul drain
	Proposed combined drainage
	Proposed pumped combined drain
	Proposed surface water catchments
	Proposed podium deck storage cell areas
	Proposed permeable footpaths
	Proposed cellular tank
	Proposed levels
	Indicative excedance flow routes

- DESIGN NOTES**
- STORAGE DESIGN BASED ON 1 IN 100 YR STORM + 45%.
 - DRAIN POINTS AND LOCATIONS TO BE CONFIRMED BY ARCHITECT.
 - CONTRACTOR TO ESTABLISH LOCATIONS OF ALL EXISTING SERVICES PRIOR TO COMMENCING.
 - EXISTING TREES TO BE PROTECTED WHERE EXCAVATIONS RUN CLOSE.
 - APPROVAL TO BE GAINED FROM SOUTHERN WATER AND LLFA FOR CONNECTION TO SEWER AND DISCHARGE RATE.
 - REQUIREMENT FOR OIL INTERCEPTORS WITHIN BASEMENT FLOOR DRAINAGE SYSTEM TO BE CONFIRMED BY SOUTHERN WATER.

P2	MINOR UPDATES	05.12.23	PH	NS
P1	FIRST ISSUE	01.12.23	PH	NS
Rev	Amendments	Date	Dsn	Chk

Status: **FINAL FOR PLANNING**

Client: **WEST ONE LOANS LTD**

Architect:

Project: **NORTH FORELAND MANOR
N. FORELAND RD, BROADSTAIRS**

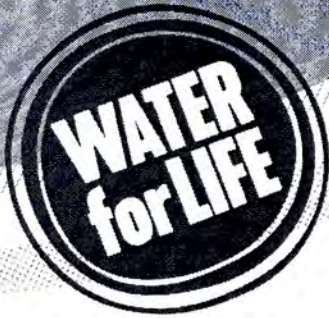
Title: **DRAINAGE LAYOUT**

Date: **DECEMBER 2023** Scale @ A1: **1:200**

Clients Ref: Project Ref: **12810**



APPENDIX 5: Southern Water Consultee Letter



from
**Southern
Water** 

Development Control Manager
Thanet District Council
P O Box 9
Cecil Street
Margate
Kent
CT9 1XZ

Your ref
F/TH/19/1465

Our ref
PLAN-030702

Date
10/12/2019

Contact
Tel 0330 303 0119

ef

Dear Sir/Madam,

Proposal: Erection of 5 No part 3-storey part 4-storey buildings (including basement parking) to provide 36 No. 2-bed self contained flats, with associated landscaping and access, following demolition of the existing building.

Site: F/TH/19/1465: - 6 North Foreland Road, Broadstairs, Kent, CT10 3NJ.

Thank you for your letter dated 20/11/2019.

Our initial investigations indicate that Southern Water can provide foul sewage disposal to service the proposed development. Southern Water requires a formal application for a connection to the public sewer to be made by the applicant or developer.

We request that should this application receive planning approval, the following informative is attached to the consent:

A formal application for connection to the public sewerage system is required in order to service this development. Please read our New Connections Services Charging Arrangements documents which has now been published and is available to read on our website via the following link <https://beta.southernwater.co.uk/infrastructure-charges>

The Council's Building Control officers or technical staff should be asked to comment on the adequacy of soakaways to dispose of surface water from the proposed development.

The design of the proposed basements and on site drainage system should consider the possibility of surcharging within the public sewerage system in order to provide the protection from the risk of flooding.

Land uses such as general hardstanding that may be subject to oil/petrol spillages should be drained by means of oil trap gullies or petrol/oil interceptors.

Southern Water, Southern House, Yeoman Road, Worthing, West Sussex, BN13 3NX
southernwater.co.uk

Southern Water Services Ltd, Registered Office: Southern House, Yeoman Road, Worthing, West Sussex, BN13 3NX Registered in England No 2366670



The design of drainage should ensure that no land drainage or ground water is to enter public sewers network.

It is possible that a sewer now deemed to be public could be crossing the development site. Therefore, should any sewer be found during construction works, an investigation of the sewer will be required to ascertain its ownership before any further works commence on site.

We request that should this application receive planning approval, the following condition is attached to the consent: "Construction of the development shall not commence until details of the proposed means of foul and surface water sewerage disposal have been submitted to, and approved in writing by, the Local Planning Authority in consultation with Southern Water."

Following initial investigations, Southern Water can provide a water supply to the site. Southern Water requires a formal application for connection and on-site mains to be made by the applicant or developer. We request that should this application receive planning approval, the following informative is attached to the consent: A formal application for connection to the water supply is required in order to service this development.

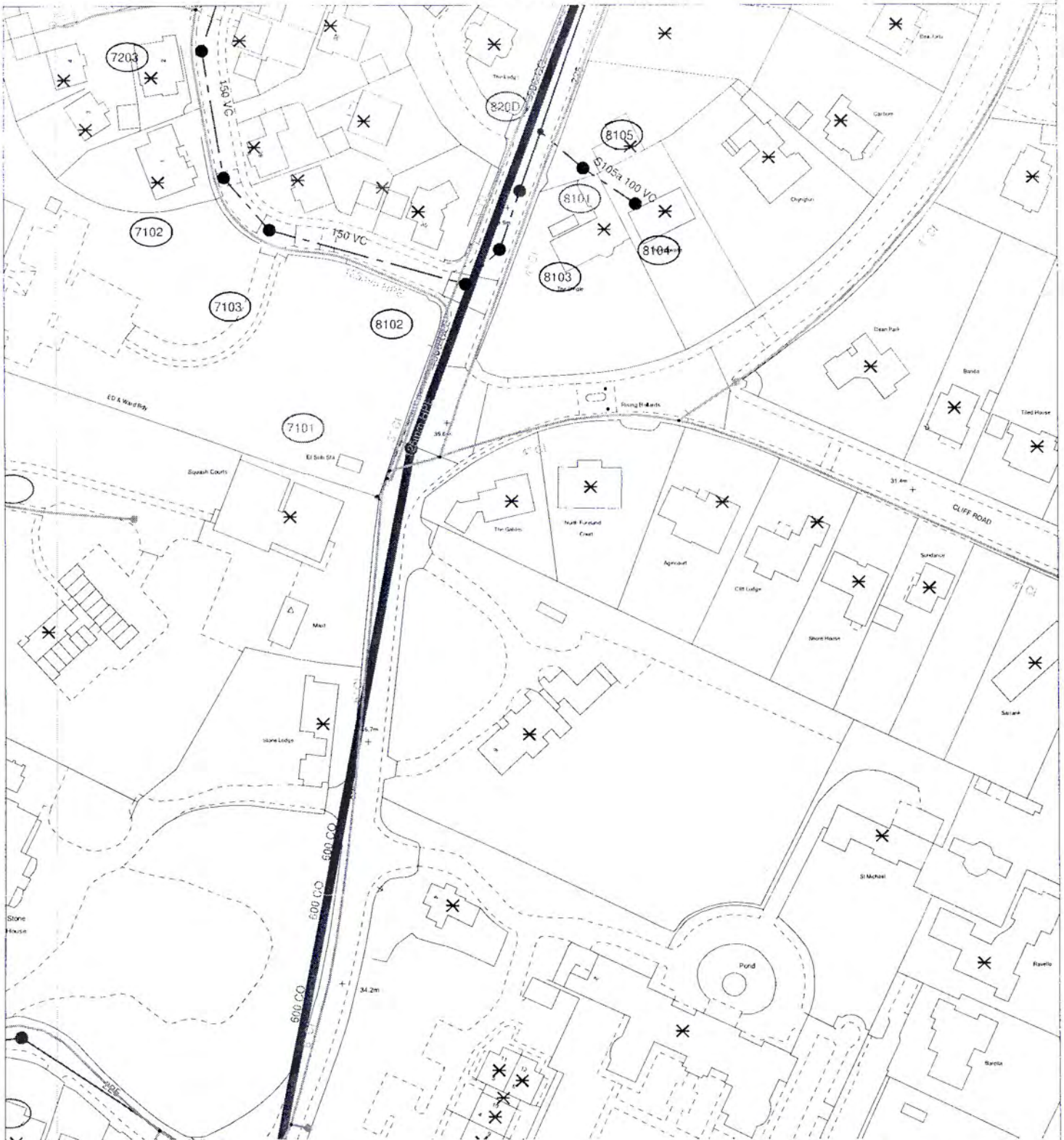
For further advice, please contact Southern Water, Southern House, Yeoman Road, Worthing, West Sussex, BN13 3NX (Tel: 0330 303 0119), www.southernwater.co.uk or by email at developerservices@southernwater.co.uk

Yours faithfully,



Joff Edevane
Growth Planning Lead
Business Channels

SOUTHERN WATER



The positions of pipes shown on this plan are believed to be correct, but Southern Water Services Ltd accept no responsibility in the event of inaccuracy. The actual positions should be determined on site.

Based upon Ordnance Survey Digital Data with the permission of the controller of H.M.S.O. Crown Copyright Reserved Licence No WU 298530

O.S. REF: TR3969SE

Scale: 1:1250

Screen Print

WARNING: BAC pipes are constructed of Bonded Asbestos Cement
 WARNING: Unknown (UNK) materials may include Bonded Asbestos Cement



Printed By: chandne

Date: 9-12-2019

Southern Water MapGuide Browser

Requested By:



APPENDIX 6: KCC Drainage Consultation Response



Emma Fibbens
Thanet District Council
Cecil Street
Margate
Kent
CT9 1XZ

Flood and Water Management

Invicta House
Maidstone
Kent
ME14 1XX

Website: www.kent.gov.uk/flooding
Email: suds@kent.gov.uk
Tel: 03000 41 41 41
Our Ref: TDC/2019/076819
Date: 17 August 2020

Application No: F/TH/19/1465

Location: 6 North Foreland Road, BROADSTAIRS, Kent, CT10 3NJ

Proposal: Erection of 5No part 3-storey part 4-storey buildings (including basement parking) to provide 36No. 2-bed self contained flats, with associated landscaping and access , following demolition of the existing building

Thank you for your consultation on the above referenced planning application.

Kent County Council as Lead Local Flood Authority have reviewed the Surface Water Management Strategy by Herringtons Consulting and have the following comments to provide:

It is understood that the existing regime for surface water management on site is for an unrestricted discharge into an existing sewer along North Foreland Road. As noted from the report, infiltration testing has been undertaken on site by others (Not included in report) and obtained rates between 0.03 and 0.1 m/hr. Herringtons have highlighted that the use of infiltration devices (soakaways/ basins) may not be possible on site due to constraints of site layout and existing tree root systems and so has been ruled out.

The LLFA always seeks for infiltration to be first consideration for managing surface water on site although, on this occasion it has been identified that it is not feasible and as such we have no objections to the continuation of discharge to the sewer. It is welcomed that there will be substantial reduction in peak discharge rate entering the sewer to a maximum of 2 litres a second (100 year +40% storm event).

Please note:

A underground car park has been proposed and the LLFA highlight that It is important for any surface water buildup within this area to be directed to the drainage system. We would therefore seek for further information in this regard at the detailed design stage.

Should the Local Planning Authority be minded to grant planning permission for the above proposal, we would advise the following conditions be attached:

Condition:

Development shall not begin in any phase until a detailed sustainable surface water drainage scheme for the site has been submitted to (and approved in writing by) the local planning authority. The detailed drainage scheme shall be based upon the

principles contained within the Surface Water Management Strategy report by Herrington Consulting (May 2020, Issue 2 Revision 1). The submission shall also demonstrate that the surface water generated by this development (for all rainfall durations and intensities up to and including the climate change adjusted critical 100 year storm) can be accommodated and disposed of without increase to flood risk on or off-site.

The drainage scheme shall also demonstrate (with reference to published guidance):

- that silt and pollutants resulting from the site use can be adequately managed to ensure there is no pollution risk to receiving waters.
- appropriate operational, maintenance and access requirements for each drainage feature or SuDS component are adequately considered, including any proposed arrangements for future adoption by any public body or statutory undertaker.

The drainage scheme shall be implemented in accordance with the approved details.

Reason:

To ensure the development is served by satisfactory arrangements for the disposal of surface water and to ensure that the development does not exacerbate the risk of on/off site flooding. These details and accompanying calculations are required prior to the commencement of the development as they form an intrinsic part of the proposal, the approval of which cannot be disaggregated from the carrying out of the rest of the development.

Condition:

No building on any phase (or within an agreed implementation schedule) of the development hereby permitted shall be occupied until a Verification Report, pertaining to the surface water drainage system and prepared by a suitably competent person, has been submitted to and approved by the Local Planning Authority. The Report shall demonstrate the suitable modelled operation of the drainage system where the system constructed is different to that approved. The Report shall contain information and evidence (including photographs) of details and locations of inlets, outlets and control structures; landscape plans; full as built drawings; information pertinent to the installation of those items identified on the critical drainage assets drawing; and, the submission of an operation and maintenance manual for the sustainable drainage scheme as constructed.

Reason:

To ensure that flood risks from development to the future users of the land and neighbouring land are minimised, together with those risks to controlled waters, property and ecological systems, and to ensure that the development as constructed is compliant with and subsequently maintained pursuant to the requirements of paragraph 165 of the National Planning Policy Framework.

This response has been provided using the best knowledge and information submitted as part of the planning application at the time of responding and is reliant on the accuracy of that information.

Yours faithfully,

Daniel Hoare
Flood Risk Project Officer
Flood and Water Management

APPENDIX 7: Condition Discharge Notice Application ref. 23/0961

PLANNING APPLICATIONS TEAM

Our Ref: CON/TH/23/0961
Please Ask For: Diane Cunningham
Direct Line Number: 01843 577128
Email: diane.cunningham@thanet.gov.uk
Date: 5 September 2023



Mr Andrew Johnstone
Development House Ltd.
Office 14 Invicta Way
Manston Business Park
Manston
Kent
CT12 5FD

Dear Mr Andrew Johnstone

TOWN AND COUNTRY PLANNING ACT 1990

PROPOSAL: Application for approval of Condition 8 (i) (Archaeology) attached to Planning Permission F/TH/19/1465 for the erection of 5 No part 3-storey part 4-storey buildings (including basement parking) to provide 34 No. 2-bed self contained flats, with associated landscaping and access.,

LOCATION: Land At 6, North Foreland Road, BROADSTAIRS, Kent, ,

The Thanet District Council, as District Planning Authority, has now considered details submitted pursuant to conditions attached to the above mentioned planning consent.

I would confirm that the following conditions attached to planning consent reference number F/TH/19/1465 have now been approved:

Condition No's –

8 Archaeology Part (i) - Part Approved

The details contained within the following document, are considered acceptable

Written Scheme of Investigation, Compiled by Canterbury Archaeological Trust Ltd, Dated 11th July 2023, Received 14th July 2023.

The submitted Specification is approved as a suitable scheme to address Condition 8 Part (i). The full discharge of Part (i) of the condition should await the completion of the evaluation works in accordance with the specification and submission of a satisfactory report to be approved. Part (ii) of the condition will be considered in light of the results of this evaluation and is not be discharged at this time.

Thanet District Council
PO Box 9
Cecil Street
Margate
Kent CT9 1XZ

01843 577000
www.thanet.gov.uk

The following conditions require the submission of details. For full condition wording please refer to the decision notice.

- 3 (Foul Drainage)
- 4 (Surface Water Drainage)
- 5 (Verification Report)
- 9 (Construction Management Plan)
- 17 (Electric Vehicle Charging Points)
- 19 (Landscaping)
- 20 (Landscaping)
- 23 (External Lighting)
- 26 (Materials)

You should also refer to the decision notice for all conditions that do not require the submission of details but remain in force.

Yours sincerely

A handwritten signature in black ink that reads "E. Fibbens". The signature is written in a cursive, slightly slanted style.

Emma Fibbens
Chartered Planner

APPENDIX 8: CMP Addendum prepared by GTA Civils

Construction Management Plan (CMP) Addendum

North Foreland,
6 North Foreland Road,
Broadstairs,
Kent,
CT10 3NG



Index

1	Introduction	2
	Background	2
2	Site Compound	4
	Parking	4
	Welfare	4
	Delivery & Storage of Materials	4
3	Wheel Washing	5

Schedule of Appendices

- A KCC Highways Response to CMP
- B Compound & Vehicle Tracking Plan – Phase 1
- C Compound & Vehicle Tracking Plan – Phase 2
- D Compound & Vehicle Tracking Plan – Phase 3

Issue	Issue date	Compiled	Checked	Authorised
1	01-02-2024	RS	NS	NS

1 Introduction

- 1.1 This report has been prepared for West One Loans Limited in conjunction with the development and no responsibility is accepted to any third party for all or part of this study in connection with this or any other development.
- 1.2 GTA Civils & Transport Ltd has been commissioned by West One Loans Limited to prepare a Construction Management Plan Addendum in connection with the discharge of condition 9 attached to planning permission F/TH/19/1465 located on land at 6 North Foreland Road, Broadstairs, Kent.

Background

- 1.3 Planning permission for F/TH/19/1465 was granted by Thanet District Council on 17th December 2020 for the erection of 5No. part 3-storey part 4-storey buildings (including basement parking) to provide 34No. 2-bed self-contained flats, with associated landscaping and parking.
- 1.4 A Construct Management Plan has been prepared by Sandford Hodges and submitted to Thanet District Council (reference CON/TH/23/1632) on 11th December 2023 to discharge condition 9 attached to planning permission reference F/TH/19/1465. Specifically, Condition 9 of the planning approval states:

9. Prior to the commencement of any development on site, details to include the following shall be submitted to and approved by the Local Planning Authority and should be carried out in accordance with the approved details:

- (a) Routing of construction and delivery vehicles to / from the site;*
- (b) Parking and turning areas for construction and delivery vehicles and site personnel;*
- (c) Timing of deliveries*
- (d) Provision of wheel washing facilities*
- (e) Temporary traffic management / signage*
- (f) Measures to control noise affecting nearby residents*
- (g) Dust control measures*
- (h) Access arrangements*

- 1.5 Subsequent comments have been received from Kent County Council in response to the submission of the CMP:

The Construction Management Plan would benefit from a comprehensive site plan inclusive of contractor parking, welfare, material stores and turning area. To demonstrate that the anticipated delivery vehicles can manoeuvre this site without conflict or overrun swept path analysis tracking

would be advisable to include, showing a delivery vehicle accessing, turning and egressing from site. Drawings should be scaled and inclusive of vehicle dimensions.

Wheel washing methods and location should be confirmed for further assessment, ensuring the method is appropriate for the site and the wash is located in close proximity to the access.

- 1.6 This Addendum should be read alongside the existing Construction Management Plan, and provides the additional information requested by the highway authority.

2 Site Compound

- 2.1 The site compound will need to be relocated three times to facilitate the phased build process, this has been demonstrated on the plans included at **Appendix B – D**.

Parking

- 2.2 Trades people will park within the confines of the site. Contractors' vehicles will not park on the public highway or in areas which would cause obstructions or disrupt the flow of traffic. A total of 5 contractors vehicle parking spaces will be accommodated within the site compound.

Welfare

- 2.3 A welfare unit will be provided on site within the compound. The Welfare arrangements shall meet the requirements of Schedule 2 of the CDM Regulations. They shall include a first aid kit, WC facility that will allow for male and female use, with hot and cold running water and will be stocked with soap and towels etc. A canteen shall be provided with facilities for storage and drying of clothing, heating and lighting, drinking water, means of heating water and seating with back rests.

Delivery & Storage of Materials

- 2.4 Banksman will be used during all loading and unloading operations and for guiding vehicles when turning/reversing manoeuvres within the site compound. The turning of a large rigid (12m) truck has been included on the site compound plans.
- 2.5 No deliveries to site or collections from site will be made without prior notification to the site manager. Deliveries will be distributed to the storage/works areas as quickly and efficiently as possible. Deliveries will be scheduled to avoid conflict with other large vehicles and guarantee space is available for materials to be unloaded safely and ensure that no vehicles are required to park anywhere in the area surrounding the site.
- 2.6 A materials storage area is illustrated on the site compound plan. Note, this is subject to change at the discretion of the appointed contractor. Any changes will be communicated to the highway authority.
- 2.7 Where possible all waste materials shall be reused on site, minimising what is sent off site for reuse, recycling or landfill. All waste shall be stored in designated skips and covered where possible to prevent materials being blown out on site.
- 2.8 In the circumstance where this is not achievable, waste will be returned to the supplier through a 'take-back' scheme or collected by a waste management contractor. Any hazardous waste will be removed by an approved hazardous waste specialist.

3 Wheel Washing

- 3.1 A wheel washing facility will be provided on site to ensure any site plant vehicles do not carry excess mud onto the public highway.
- 3.2 The Site Manager (or other appointed personnel) will visually inspect vehicles leaving the site to ensure wheel washing has been conducted appropriately to prevent material being tracked onto the public highway and will instruct further wheel washing if necessary.
- 3.3 Any truck/vehicle that becomes dirty will be washed and the road in and out of the site will be swept daily. The pavements will be swept and sprayed clean of any debris after each delivery where necessary, and at the end of each day throughout the construction period.
- 3.4 Wheels of site vehicles/plant will be pressure washed where necessary before vehicle/plan leave the site.
- 3.5 The location of the wheel washing facility is shown on the plans included at **Appendix B – D**.

- End of Report -

Appendix A

KCC Highways Response to CMP



Thanet District Council
Cecil Street
Margate
Kent
CT9 1XZ

Highways and Transportation

Kroner House

Eurogate Business Park

Ashford

TN24 8XU

Tel: 03000 418181

Date: 4 January 2024

Our Ref: ED

Application - CON/TH/23/1632

Location - Land At 6, North Foreland Road, BROADSTAIRS, Kent

Proposal - Application for approval of Condition 9 (Construction Management Plan) attached to Planning Permission F/TH/19/1465 for the erection of 5No part 3-storey part 4-storey buildings (including basement parking) to provide 34No. 2-bed self contained flats, with associated landscaping and access

Thank you for your consultation in relation to the above planning application. I have the following comments to make with respect to highway matters :-

The Construction Management Plan would benefit from a comprehensive site plan inclusive of contractor parking, welfare, material stores and turning areas. To demonstrate that the anticipated delivery vehicles can manoeuvre this site without conflict or overrun swept path analysis tracking would be advisable to include, showing a delivery vehicle accessing, turning and egressing from site. Drawings should be scaled and inclusive of vehicle dimensions.

A highway condition survey for the surrounding area of the site and access routes should be submitted for verification, with a commitment to fund the repair for any damage included within the CMP or survey.

Wheel washing methods and location should be confirmed for further assessment, ensuring the method is appropriate for the site and the wash is located in close proximity to the access.

I would be grateful therefore if you would forward any amended plans or additional information to me for my further consideration.

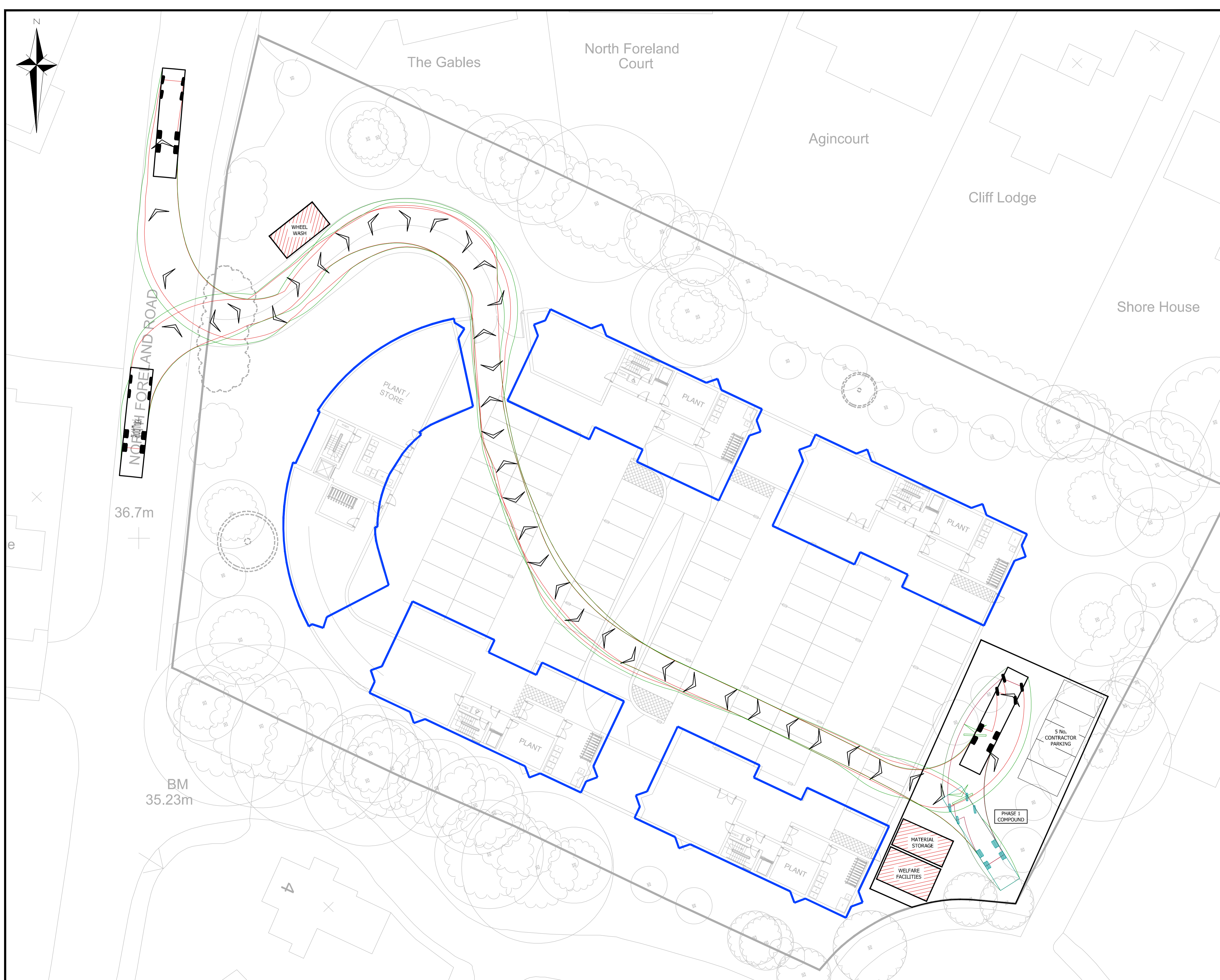
Yours Faithfully

Director of Highways & Transportation

*This is a statutory technical response on behalf of KCC as Highway Authority. If you wish to make representations in relation to highways matters associated with the planning application under consideration, please make these directly to the Planning Authority.

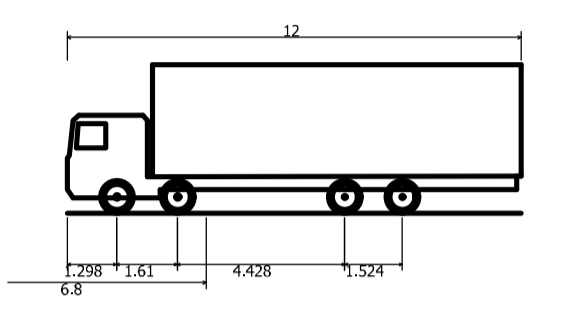
Appendix B

Compound & Vehicle Tracking Plan – Phase 1

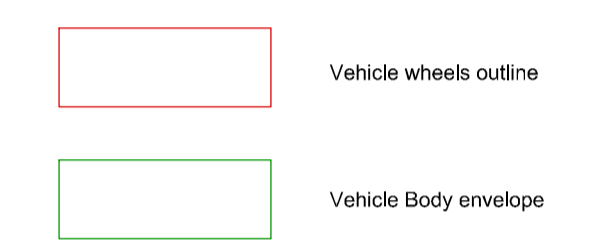


GENERAL NOTES

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Rigid Truck	12.000m
Overall Length	2.500m
Overall Width	3.928m
Overall Body Height	0.412m
Min Body Ground Clearance	2.471m
Track Width	6.00s
Lock to lock time	11.900m
Kerb to Kerb Turning Radius	



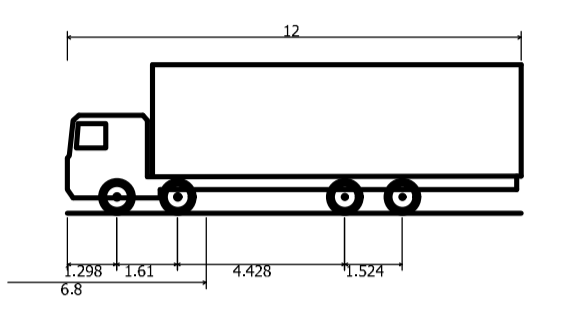
P1	INITIAL ISSUE	30.01.2024	JMW	NS
Rev	Amendments	Date	Dsn	Chk
Status	PRELIMINARY			
Client	WEST ONE LOANS LIMITED			
Architect				
Project	NORTH FORELAND MANOR NORTH FORELAND ROAD, BROADSTAIRS			
Title	PHASE 1 VEHICLE TRACKING			
Date	JANUARY 2024	Scale @ A1	1:200	
Clients Ref	Project Ref. 12810			
 Maple House, 192-198 London Road, Burgess Hill, West Sussex, RH15 9RD Tel: 01444 871444 Web: www.gtacivils.co.uk				
Drawing Number	12810/1950	Rev.	P1	

Appendix C

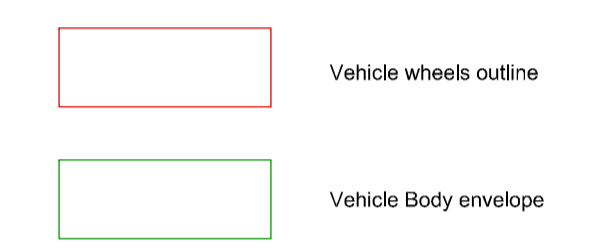
Compound & Vehicle Tracking Plan – Phase 2



- GENERAL NOTES**
1. The location, size, depth and identification of existing services that may be shown or referred to on this drawing have been assessed from non intrusive observations, record drawings or the file. The contractor shall safely carry out intrusive investigations, trial holes or soundings prior to commencing work to satisfy himself that it is safe to proceed and that the assessments are accurate. any discrepancies shall be notified to gta prior to works commencing.
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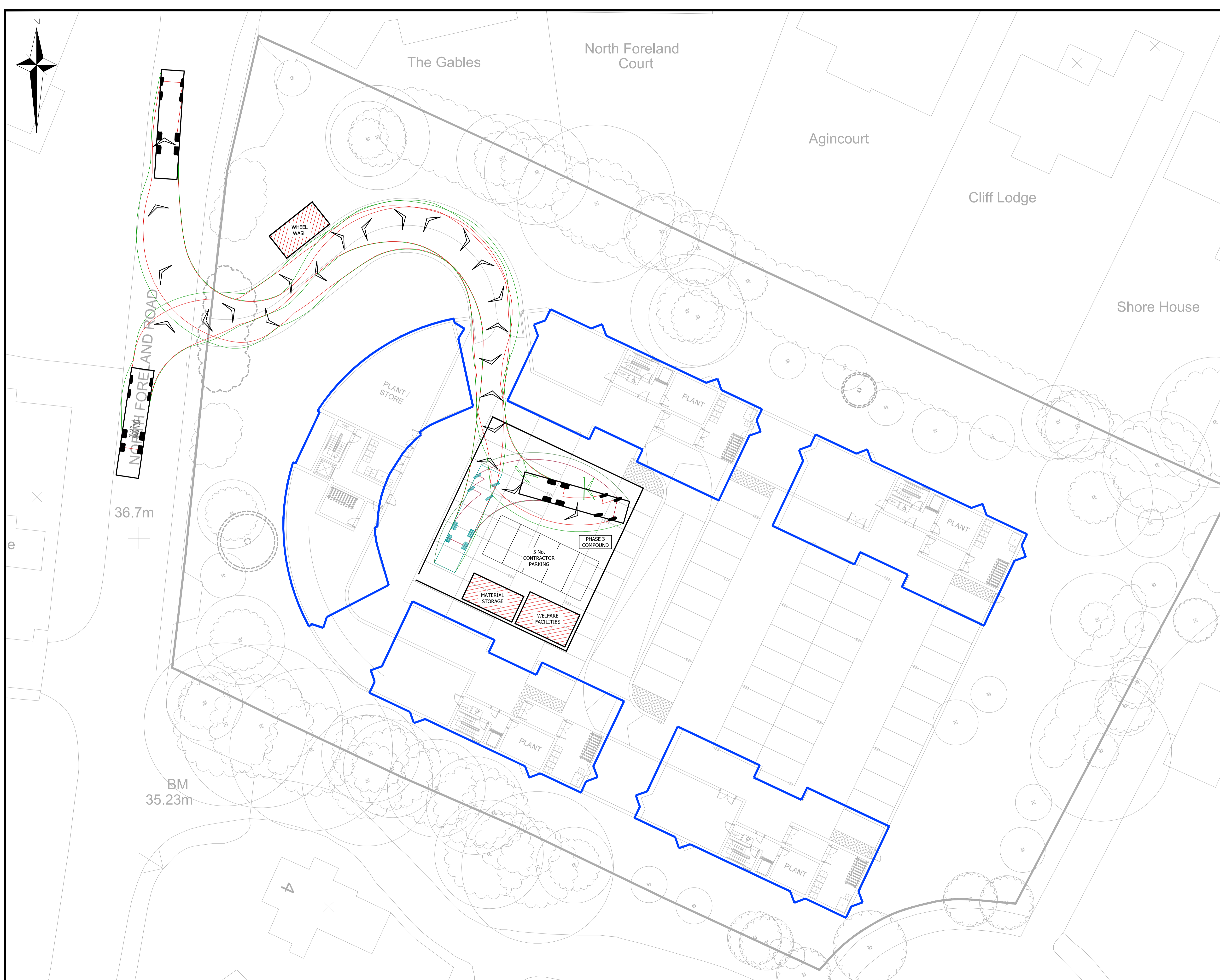
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Overall Body Height	0,412m
Min Body Ground Clearance	2,471m
Track Width	6,00s
Lock to lock time	11,900m
Kerb to Kerb Turning Radius	



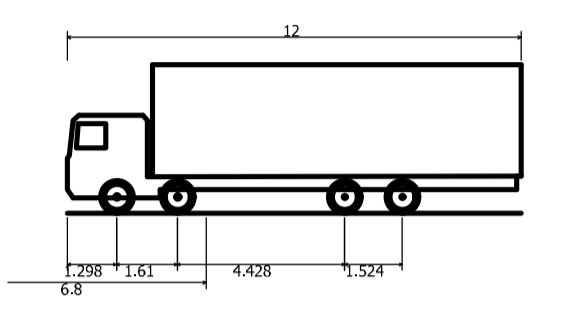
PI	INITIAL ISSUE	30.01.2024	JMW	NS
Rev	Amendments	Date	Dsn	Chk
Status	PRELIMINARY			
Client	WEST ONE LOANS LIMITED			
Architect				
Project	NORTH FORELAND MANOR NORTH FORELAND ROAD, BROADSTAIRS			
Title	PHASE 2 VEHICLE TRACKING			
Date	JANUARY 2024	Scale @ A1	1:200	
Clients Ref	Project Ref.		12810	
 Maple House, 192-198 London Road, Burgess Hill, West Sussex, RH15 9RD Tel: 01444 871444 Web: www.gtacivils.co.uk				
Drawing Number	12810/1951	Rev.	P1	

Appendix D

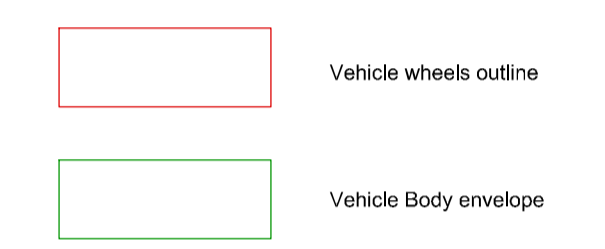
Compound & Vehicle Tracking Plan – Phase 3



- GENERAL NOTES**
1. The location, size, depth and identification of existing services that may be shown or referred to on this drawing have been assessed from non intrusive observations, record drawings or the file. The contractor shall safely carry out intrusive investigations, trial holes or soundings prior to commencing work to satisfy himself that it is safe to proceed and that the assessments are accurate. any discrepancies shall be notified to gta prior to works commencing.
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Overall Length	2.500m
Overall Width	3.928m
Overall Body Height	0.412m
Min Body Ground Clearance	2.471m
Track Width	6.00s
Lock to lock time	11.900m
Kerb to Kerb Turning Radius	



Rev	Initial Issue	30.01.2024	JMW	NS
	Amendments	Date	Dsn	Chk
Status: PRELIMINARY				
Client: WEST ONE LOANS LIMITED				
Architect:				
Project: NORTH FORELAND MANOR NORTH FORELAND ROAD, BROADSTAIRS				
Title: PHASE 3 VEHICLE TRACKING				
Date	JANUARY 2024	Scale @ A1	1:200	
Clients Ref	Project Ref: 12810			
 Maple House, 192-198 London Road, Burgess Hill, West Sussex, RH15 9RD Tel: 01444 871444 Web: www.gtacivils.co.uk				
Drawing Number	12810/1952			Rev.
				P1



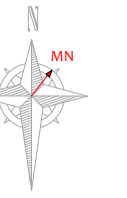
Civil Engineering - Transport Planning - Flood Risk

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APPENDIX 9: Tree Constraints Plan



Tree Constraints Plan

(Existing Layout)



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5

See the accompanying report for more photographs



Tree Ref.	Species	Height (m)	Radius (m)	Area (sqm)
T1	Purple Plum	5	4.9	76
T2	Laburnum	3.5	4.1	52
T3	Holly	5	3.8	45
G4	Stag's Horn Sumach	4	1.8	10
T5	Holly Oak	7	4.2	55
T8	Conical Pine	15	5.8	104
H7	Leyland Cypress	7	3.0	28
T8	Sycamore	4	5.2	84
T9	Sycamore	8	4.9	78
T10	Sycamore	10	5.8	106
G11	Sycamore	10	4.2	55
T12	Holly Oak	9	6.2	122
T13	Holly Oak	5.5	5.4	92
T14	Holly Oak	15	8.7	238
T15	Holly Oak	6	4.9	76
T16	Holly Oak	4	6.1	118
T17	Holly Oak	4	8.9	248
T18	Sycamore	5	4.2	55
T19	Sycamore	7.5	4.1	52
T20	Sycamore	10	3.6	41
T21	Holly Oak	5	6.5	132
T22	Sycamore	12	6.0	113
T23	Holly Oak	5	4.9	76
T24	Sycamore	12	7.2	163
T25	Dead Tree	7	5.4	92
G26	Holly Oak	8	3.0	28
T27	Holly Oak	7	2.4	18
T28	Holly Oak	5	2.4	18
T29	Holly Oak	7	3.4	35
T30	Ash	4	7.8	191
G31	Sycamore	5	4.8	72
T32	Holly Oak	6	3.8	46

Drawing No: CCL 10350 / TCP Rev: 1
 Title: Tree Constraints Plan (Existing Layout)
 Site: North Foreland Manor C110 JNT
 Scale: 1:300 Paper Size: A1



Tree Retention Categories
 Stems & canopies shown

- Category A tree
- Category B tree
- Category C tree
- Category U tree

Trees of high quality with an estimated life expectancy of 40+ years. Usually large trees with significant presence or smaller trees with excellent form. Retention of these trees is highly desirable.
 Trees of moderate quality with a life expectancy of 20+ years. Usually maturing trees or younger trees with good form. Retention of these trees is desirable though less than Category A trees.
 Unremarkable trees of low quality and merit. Individual specimens are not considered to be a material planning consideration.
 Trees unsuitable for retention due to their very poor condition.

Tree Constraints Plan

BS 5837 Root Protection Area (radius = 1x stem diameter)
 Root Protection Area needing amendment due to site conditions, e.g. presence of existing road or building.
 Root Protection Area having been amended to account for site conditions



MN = Measured North
 Canopy spreads are sometimes measured to an approximate N defined by site features. Often more accurate, especially where rows of trees are not aligned N-S or E-W.

T1 = Tree No 1 G2 = Group No 2 H3 = Hedge No 3