

Design and Access Statement



01 INTRODUCTION

BACKGROUND

In 2022, Faulkner Browns were commissioned by the applicant, LPH Paddington Ltd, to prepare proposals for the refurbishment of Lillian Penson Hall (Talbot Square, London W2 1TT).

The minor alterations seek to improve the building's energy efficiency, and enable it to be upgraded to meet current standards. The proposals include the replacement of the existing roof plant and coverings, and were granted planning consent in May 2023 (23/00538/FULL).

THE APPLICATION

Since planning approval was granted, detailed design of the roof-mounted plant has been undertaken, and it has emerged that the approved scheme would require long pipe runs across the roof making it unfeasible to deliver. An alternative design has been developed which locates plant locally to the risers, therefore simplifying the design and reducing pipe runs.

Further detail regarding smoke ventilation risers required to three of the stairs in the building has also been developed. Whilst it is unlikely that these elements will be visible from street level, they may be viewed at height from neighbouring buildings.

This design and access statement is in support of a new planning application for the replacement roof plant and the three smoke ventilation risers.





02 SITE LOCATION + CONTEXT

SITE LOCATION

The proposed improvements to the roof sit wholly within the footprint of Lillian Penson Hall, 15-25 Talbot Square, London, W2 1TT (identified by the blue line in the adjacent images).

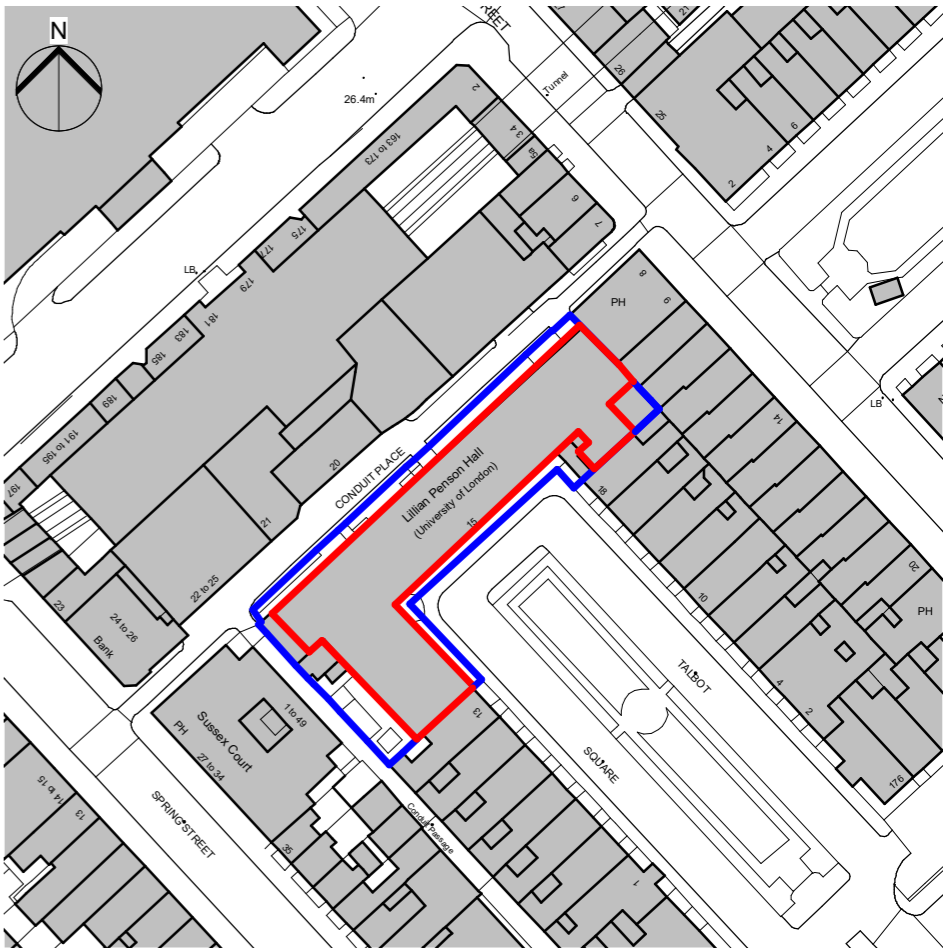
Located within 100m of Paddington Station, the eight storey building provides student accommodation. It faces south-east over Talbot Square Gardens, providing an attractive outlook and easily accessible external amenity space.

Surrounding buildings are generally 19th Century construction, as is recognised by the Bayswater Conservation Area Appraisal.

SITE AREA

All proposed works associated with the application are at roof level.

The site area, as identified by the red line boundary on the below location plan, measures 1,166sqm.



Site location plan

SITE DESCRIPTION

Lillian Penson Hall replaces sections of original Victorian terraces damaged during the Second World War, and is of approximately 1950's construction. It was built originally as a pair of hotels and subsequently became a halls of residence for University of London, with accommodation over lower ground, ground and six upper floors.

The building is of a similar height and proportions to its Talbot Square neighbours, and is finished with a light painted render to the front, mimicking the neighbouring traditional stuccoed frontages. The elevations to the rear of the building, including the long facade that faces onto Conduit Place, are comprised of fair-faced brickwork, broken at each floor level by a horizontal concrete band.

Windows are metal-framed with slim double-glazed units. These windows are replacement windows, in the original Crittall style.

The building has a flat roof, comprising a concrete deck with an asphalt covering. The roof has more recently been overcoated with a reinforced liquid applied membrane. There are a number of plantrooms to the roof which are constructed of single skin brickwork with timber roof decks and a bitumen felt covering.

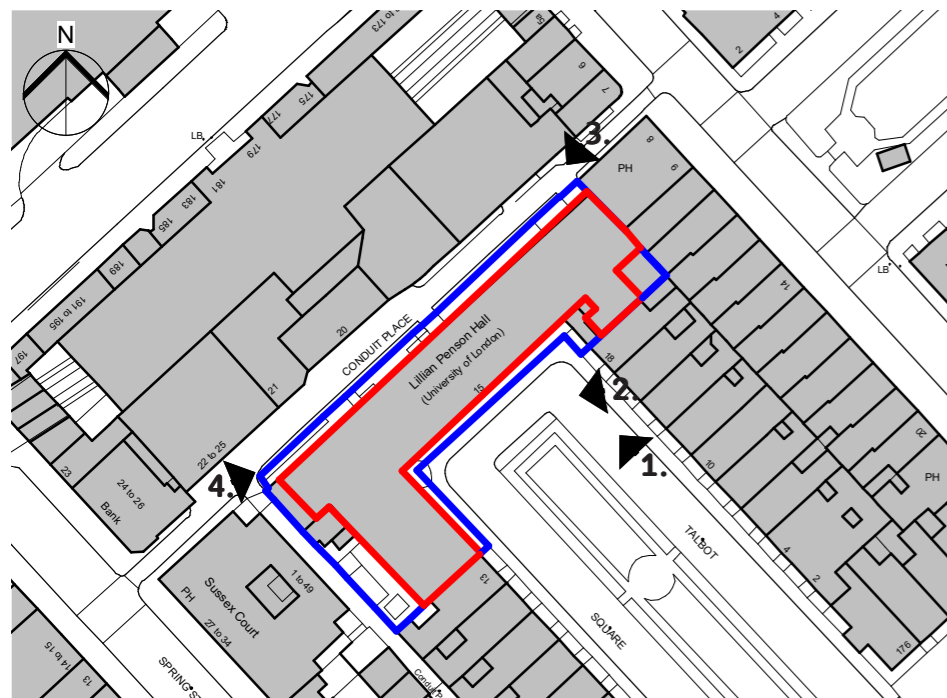
The building is currently in a poor condition, both internally and externally, and as such detracts from the general appearance of the surrounding buildings.

SITE HISTORY

Lillian Penson Hall replaces sections of the original Victorian terraces damaged during the Second World War and is of approximately 1950's construction. It was built originally as a pair of hotels, and subsequently became student accommodation provision for University of London.

LILLIAN PENSON

Dame Lillian Margery Penson (1896-1963) was an historian and the first female Vice-Chancellor of the University of London. She was the first person (of any sex) in the University of London to be awarded a PhD; she was the first woman to become a Professor of History at any British university; and she was the first woman in the UK and Commonwealth to become a vice-chancellor of a university, at the age of only 52.



Key plan



1. View from Talbot Square



2. View from Talbot Square



3. View from Conduit Place



4. View from Conduit Place



PLANNING HISTORY

A summary of the site's planning history is provided below:

21/03111/FULL

Removal of roof top plant rooms, erection of a roof extension; infill extension to the front elevation at the northern corner of Talbot Square at ground floor, extensions at lower ground to third floor level at the corner of Conduit Place and Conduit Passage, reinstatement of lower ground floor lightwells, facade works including recladding to front and rear elevations, replacement windows, relocation of main entrance to centre of front facade, new internal cycle parking, refuse store and service yard, photovoltaic panels, plant and air source heat pumps. Works in association with the provision of additional student accommodation and reconfiguration/upgrade of existing student accommodation.

This application was approved on 27 January 2022, and a S106 agreement was secured as part of the consent.

99/11653/FULL

In 1999, planning permission was refused for the demolition of a brick store to provide a new bin store area facing onto Conduit Place.

00/01857/FULL

In May 2000, planning permission was refused for the installation of telecommunications equipment comprising 4 sector antennae, 2 dishes and 1 equipment cabinet at roof level.

23/00538/FULL

Replacement of rooftop plant and new acoustic screening; replacement of main roofs and balcony roof coverings.

This application was approved on 05 May 2023.

23/03999/FULL

Installation of replacement doors and new louvred panel to north west elevation in association with the installation of a new UKPN transformer within the ground floor of Lillian Penson Hall.

This application was approved on 02 October 2023.

23/05592/FULL

Reconfiguration of existing ramped entrance to provide a new platform lift for improved wheelchair access alongside a new set of stairs.

This application was approved on 12 October 2023.

23/05799/FULL

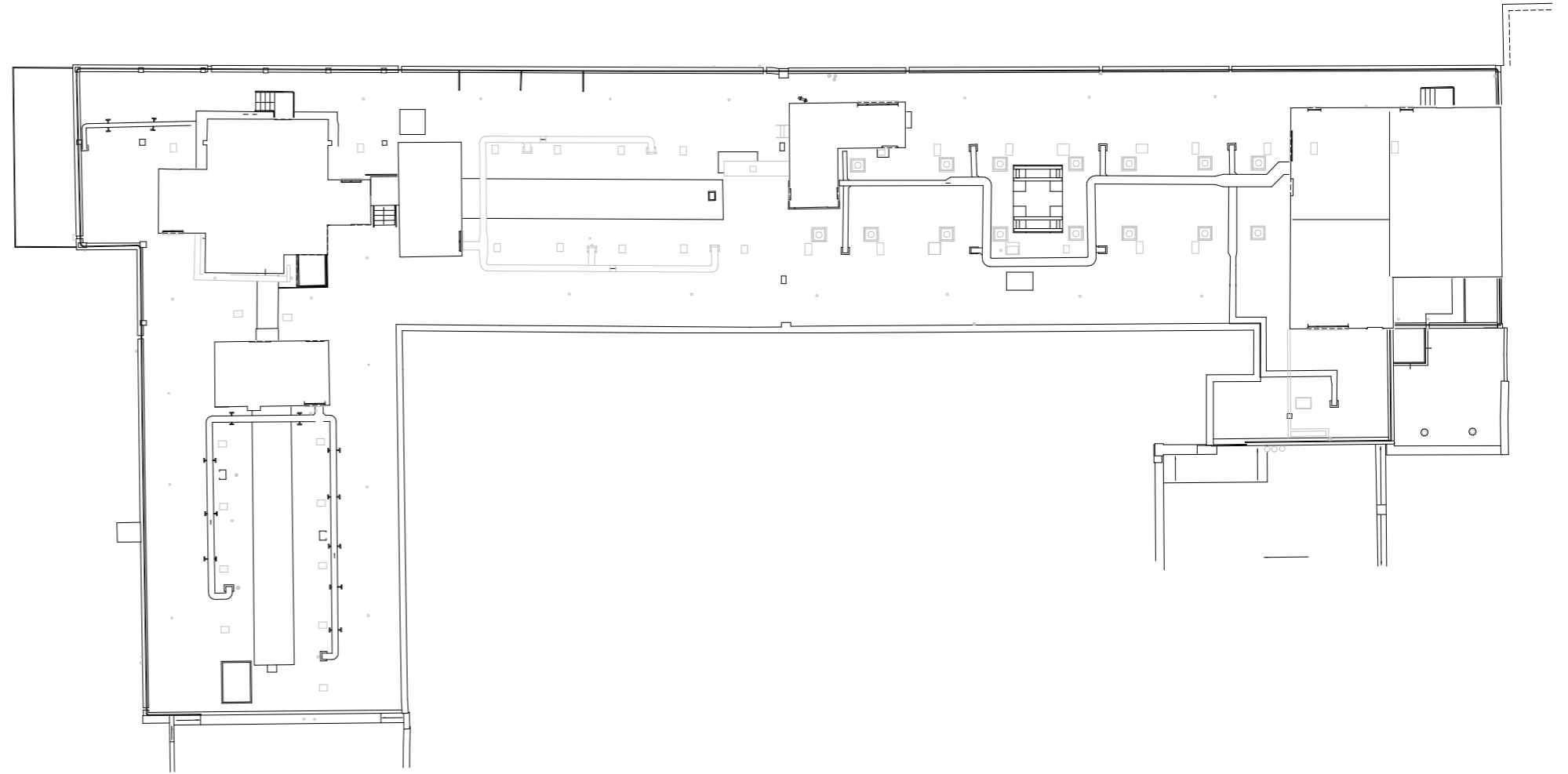
Removal of existing single storey extension to the rear of the building, formation of windows and associated external alterations.

This application was approved on 03 November 2023.

03 DEVELOPMENT PROPOSALS

EXISTING LAYOUT

1. The existing roof includes a number of flat roofed single storey structures housing the primary access stair, lift overrun / machine rooms and store rooms.
2. The existing heating and ventilation plant extends to fill the areas of flat roof in between, with a number of stepped gantries providing crossing points where required. The plant is dated and inefficient, and at the end of its life.
3. Where the external walls of the building extend up to provide a parapet wall at roof level, the wall is too low to provide adequate edge protection.



Existing roof plan



Existing roof

