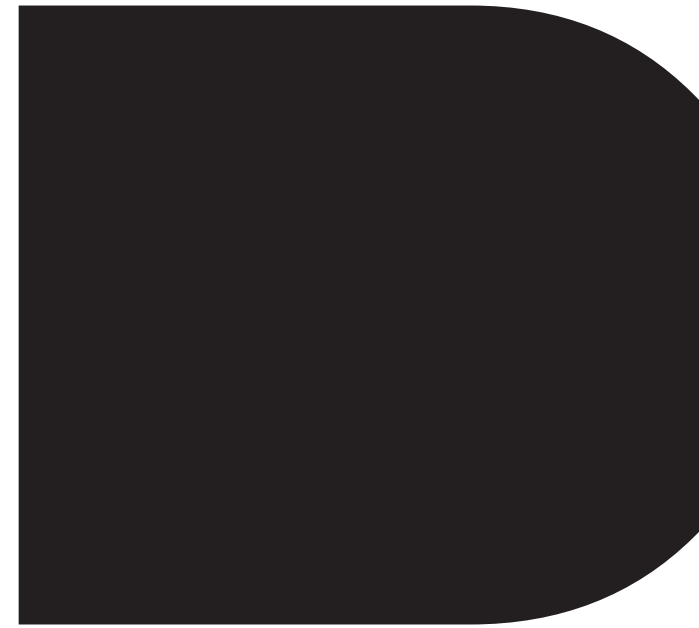
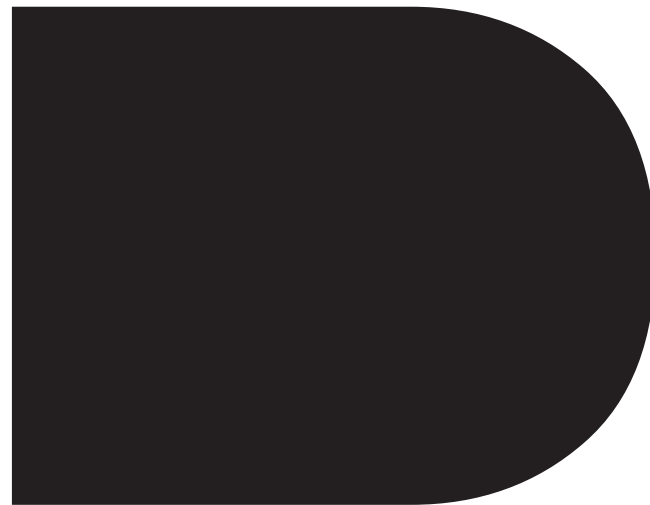


Design, Access and Heritage Statement



01 INTRODUCTION

BACKGROUND

In 2022, Faulkner Browns were commissioned by the applicant, LPH Paddington Ltd, to prepare proposals for the refurbishment of Lillian Penson Hall (Talbot Square, London W2 1TT).

The minor alterations seek to improve the building's energy efficiency, and enable it to be upgraded to meet current standards. The proposals include the replacement of the existing roof plant and coverings, and were granted planning consent in May 2023 (23/00538/FULL).

THE APPLICATION

Since planning approval was granted, detailed design of the roof-mounted plant has been undertaken, and it has emerged that the approved scheme would require long pipe runs across the roof making it unfeasible to deliver. An alternative design has been developed which locates plant locally to the risers, therefore simplifying the design and reducing pipe runs.

Further detail regarding smoke ventilation risers required to three of the stairs in the building has also been developed. Whilst it is unlikely that these elements will be visible from street level, they may be viewed at height from neighbouring buildings.

This design and access statement is in support of a new planning application for the replacement roof plant and the three smoke ventilation risers.





02 SITE LOCATION + CONTEXT

SITE LOCATION

The proposed improvements to the roof sit wholly within the footprint of Lillian Penson Hall, 15-25 Talbot Square, London, W2 1TT (identified by the blue line in the adjacent images).

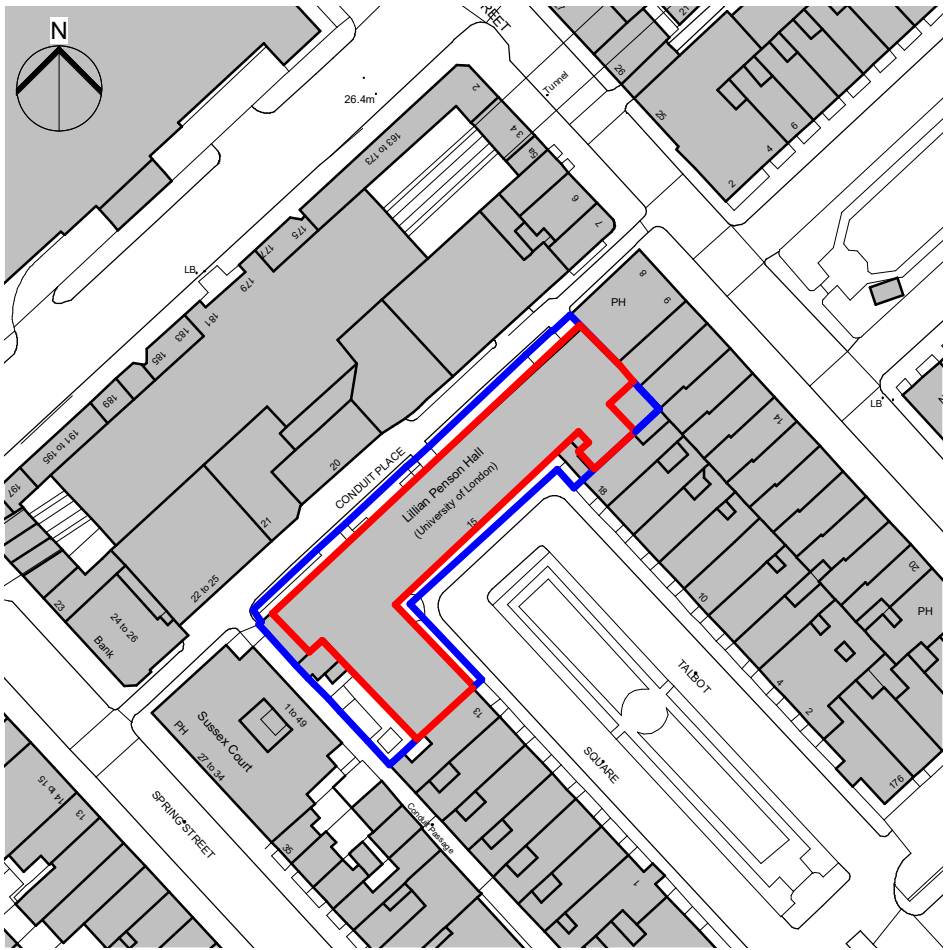
Located within 100m of Paddington Station, the eight storey building provides student accommodation. It faces south-east over Talbot Square Gardens, providing an attractive outlook and easily accessible external amenity space.

Surrounding buildings are generally 19th Century construction, as is recognised by the Bayswater Conservation Area Appraisal.

SITE AREA

All proposed works associated with the application are at roof level.

The site area, as identified by the red line boundary on the below location plan, measures 1,166sqm.



Site location plan

SITE DESCRIPTION

Lillian Penson Hall replaces sections of original Victorian terraces damaged during the Second World War, and is of approximately 1950's construction. It was built originally as a pair of hotels and subsequently became a halls of residence for University of London, with accommodation over lower ground, ground and six upper floors.

The building is of a similar height and proportions to its Talbot Square neighbours, and is finished with a light painted render to the front, mimicking the neighbouring traditional stuccoed frontages. The elevations to the rear of the building, including the long facade that faces onto Conduit Place, are comprised of fair-faced brickwork, broken at each floor level by a horizontal concrete band.

Windows are metal-framed with slim double-glazed units. These windows are replacement windows, in the original Crittall style.

The building has a flat roof, comprising a concrete deck with an asphalt covering. The roof has more recently been overcoated with a reinforced liquid applied membrane. There are a number of plantrooms to the roof which are constructed of single skin brickwork with timber roof decks and a bitumen felt covering.

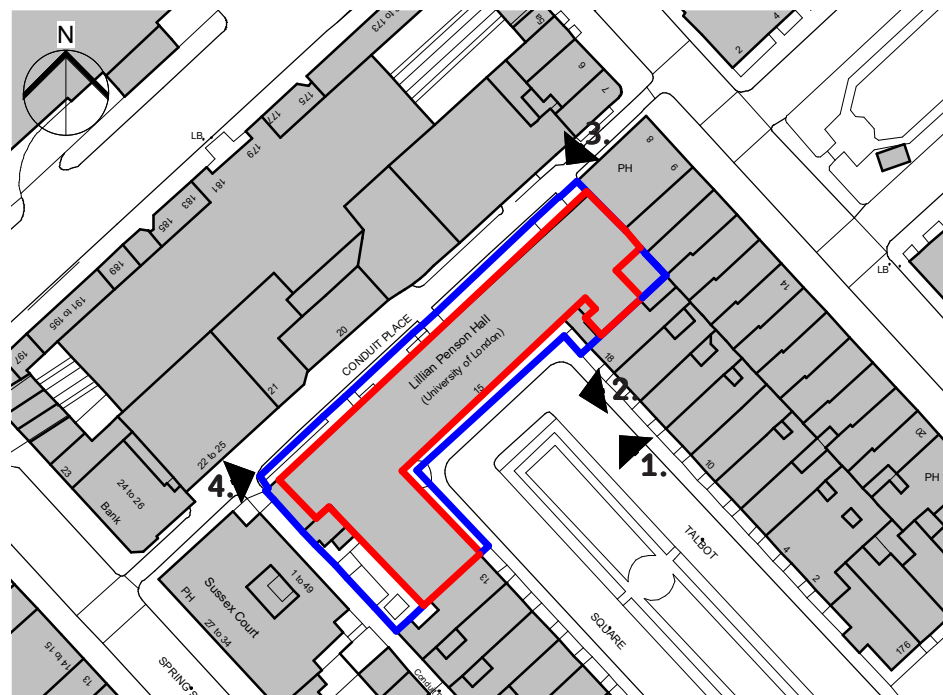
The building is currently in a poor condition, both internally and externally, and as such detracts from the general appearance of the surrounding buildings.

SITE HISTORY

Lillian Penson Hall replaces sections of the original Victorian terraces damaged during the Second World War and is of approximately 1950's construction. It was built originally as a pair of hotels, and subsequently became student accommodation provision for University of London.

LILLIAN PENSON

Dame Lillian Margery Penson (1896-1963) was an historian and the first female Vice-Chancellor of the University of London. She was the first person (of any sex) in the University of London to be awarded a PhD; she was the first woman to become a Professor of History at any British university; and she was the first woman in the UK and Commonwealth to become a vice-chancellor of a university, at the age of only 52.



Key plan



1. View from Talbot Square



2. View from Talbot Square



3. View from Conduit Place



4. View from Conduit Place



PLANNING HISTORY

A summary of the site's planning history is provided below:

21/03111/FULL

Removal of roof top plant rooms, erection of a roof extension; infill extension to the front elevation at the northern corner of Talbot Square at ground floor, extensions at lower ground to third floor level at the corner of Conduit Place and Conduit Passage, reinstatement of lower ground floor lightwells, facade works including recladding to front and rear elevations, replacement windows, relocation of main entrance to centre of front facade, new internal cycle parking, refuse store and service yard, photovoltaic panels, plant and air source heat pumps. Works in association with the provision of additional student accommodation and reconfiguration/upgrade of existing student accommodation.

This application was approved on 27 January 2022, and a S106 agreement was secured as part of the consent.

99/11653/FULL

In 1999, planning permission was refused for the demolition of a brick store to provide a new bin store area facing onto Conduit Place.

00/01857/FULL

In May 2000, planning permission was refused for the installation of telecommunications equipment comprising 4 sector antennae, 2 dishes and 1 equipment cabinet at roof level.

23/00538/FULL

Replacement of rooftop plant and new acoustic screening; replacement of main roofs and balcony roof coverings.

This application was approved on 05 May 2023.

23/03999/FULL

Installation of replacement doors and new louvred panel to north west elevation in association with the installation of a new UKPN transformer within the ground floor of Lillian Penson Hall.

This application was approved on 02 October 2023.

23/05592/FULL

Reconfiguration of existing ramped entrance to provide a new platform lift for improved wheelchair access alongside a new set of stairs.

This application was approved on 12 October 2023.

23/05799/FULL

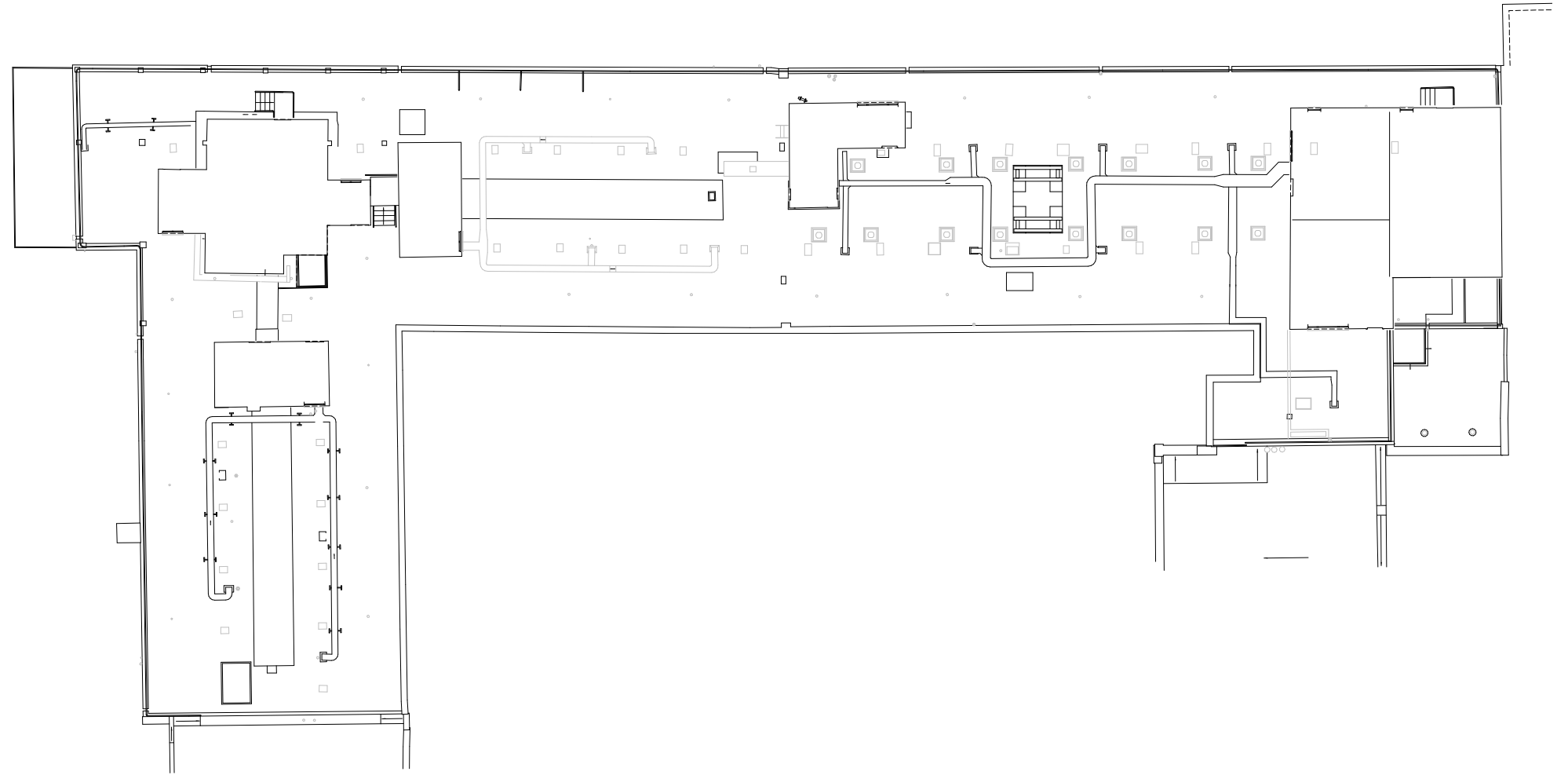
Removal of existing single storey extension to the rear of the building, formation of windows and associated external alterations.

This application was approved on 03 November 2023.

03 DEVELOPMENT PROPOSALS

EXISTING LAYOUT

1. The existing roof includes a number of flat roofed single storey structures housing the primary access stair, lift overrun / machine rooms and store rooms.
2. The existing heating and ventilation plant extends to fill the areas of flat roof in between, with a number of stepped gantries providing crossing points where required. The plant is dated and inefficient, and at the end of its life.
3. Where the external walls of the building extend up to provide a parapet wall at roof level, the wall is too low to provide adequate edge protection.

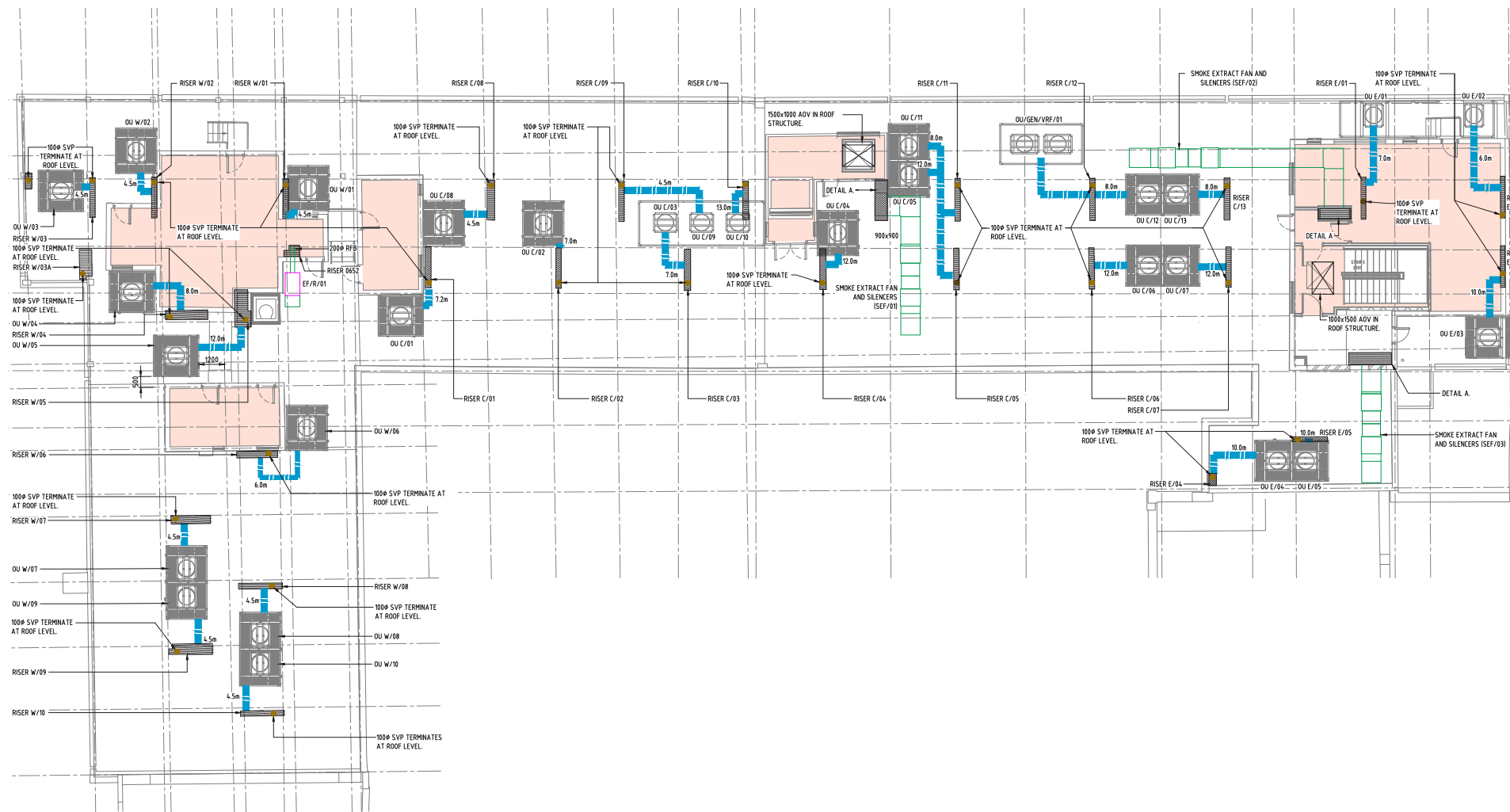


Existing roof plan

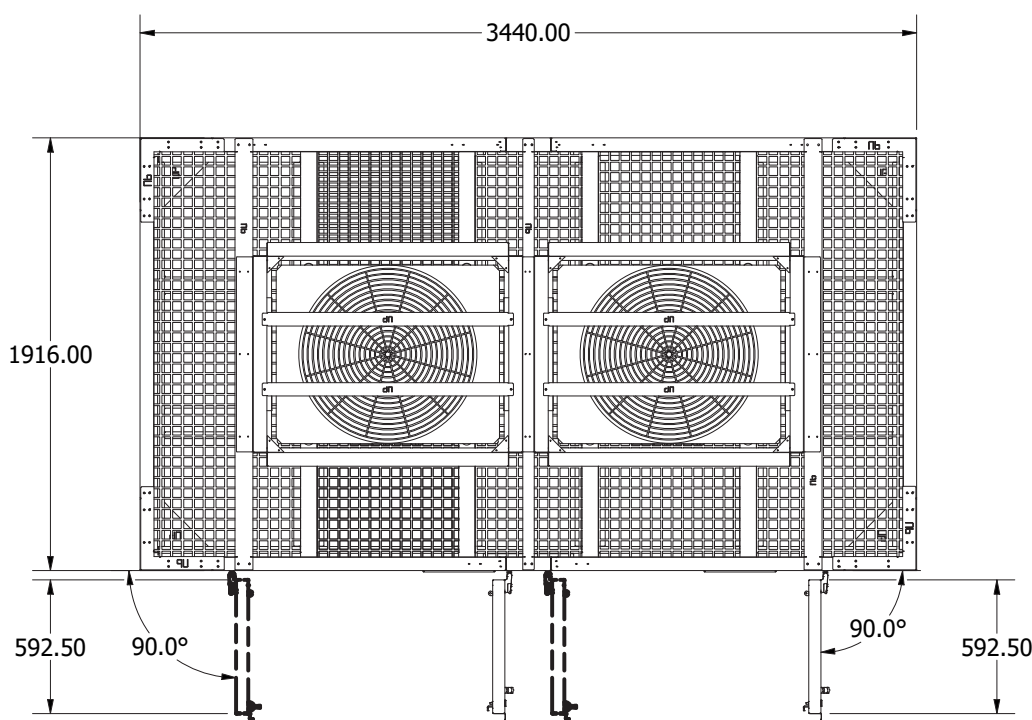


Existing roof

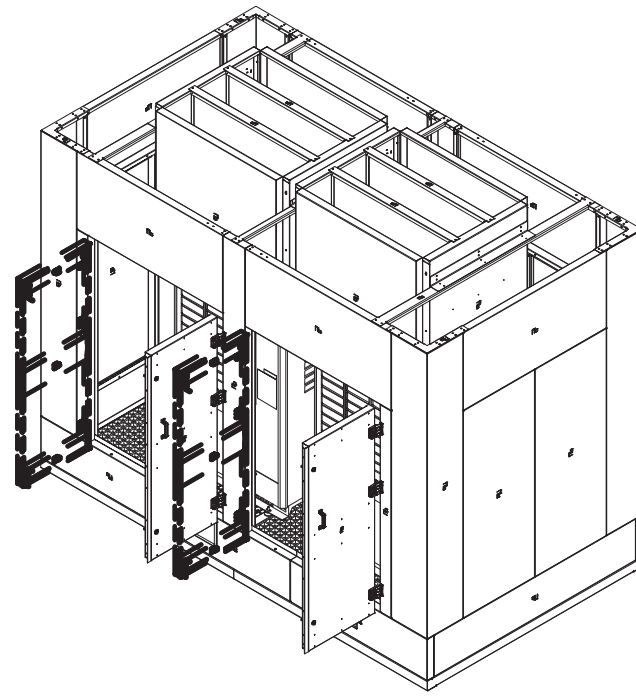




Proposed roof plan, with plant



Proposed acoustic plant housing



PROPOSED LAYOUT

1. The single storey structures will remain largely unchanged, except for the addition of three smoke ventilation risers that will pass through the structures and are required to extend slightly higher. The location and extent of these penetrations is illustrated on the accompanying plans and elevations.
2. The existing heating and ventilation plant will be completely removed, replaced by a new, more energy efficient and cleaner system. A variable refrigerant flow (VRF) system is proposed with roof mounted condenser units located adjacent to the existing risers that serve the bedrooms below, minimising lengths of refrigerant pipework, and negating the need for a refrigerant leak detection system to be installed (required by the previous proposals).
3. New 1,100mm high metal balustrades, in keeping with the existing balustrades elsewhere on the roof, will be fixed to the rear of the low parapet walls.

ACOUSTIC SCREENING

An environmental noise survey was undertaken to support the previous planning application (23/00538/FULL). This established suitable criteria for noise emissions from the proposed plant to be installed on the main roof of the building, based on the requirements of Westminster City Council.

Noise impact calculations were undertaken, using manufacturer provided noise levels of the plant units, to predict the noise level at nearby noise sensitive receivers.

The results of these calculations determined that compliance with the proposed noise criteria is feasible, provided that mitigation measures are installed.

Acoustic housings are therefore proposed to all of the roof-mounted units, as illustrated in the photograph to the left.



USE

The proposals do not have an impact on the use of the wider building, which remains student accommodation.

SCALE + MASSING

The proposed works will not impact the floor area of the building. The roof mounted plant with acoustic housings will not extend higher than the existing single storey structures. Smoke ventilation risers will extend marginally higher than these structures (indicated by the annotation 'AOV' on the elevation below).

FIRE STRATEGY

The proposals do not change the emergency escape strategy for the building. Escape from the roof is provided via the main access stair to the east, and a secondary escape hatch and ladder to the west. This is illustrated on the plan on the facing page.

EXISTING APPEARANCE

The existing roof comprises a number of white painted single storey structures. Between these, extends an array of tired and dated galvanised ductwork and pop ups, with stepped gantries where required to provide crossing points over the equipment.

A simple black painted metal balustrade provides edge protection to the rear elevations of the building. A low level brick parapet extends up from the front facades.

PROPOSED APPEARANCE

The single storey structures will remain largely unchanged, with the exception of smoke ventilation risers extending slightly above the flat roofs in three locations (identified on the accompanying proposed plans and elevations).

Existing plant equipment and access gantries will be removed, and new equipment will be located locally to service risers, minimising lengths of refrigerant pipework. Plant equipment will be housed in high-quality powder coated metal acoustic housings. Exposing more of the roof, this simplified plant layout will appear cleaner and improve access for maintenance.

New black metal balustrades, 1,100mm high and to match the existing balustrades in appearance, are proposed to be fixed to the rear of the low level parapet walls.



Proposed north west elevation

05 HERITAGE

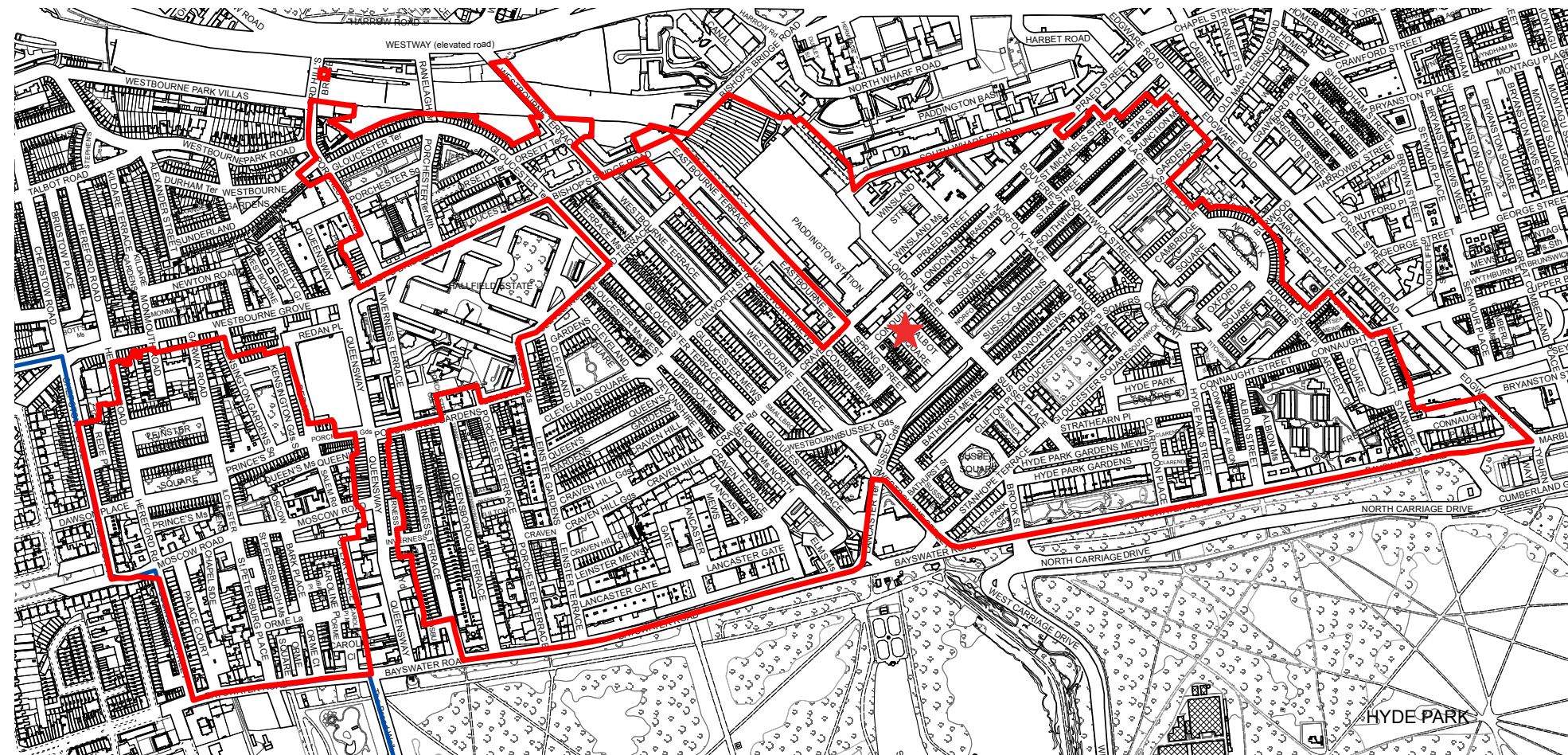
CONSERVATION AREA

The site sits within the Bayswater Conservation Area, as illustrated below.

Bayswater was initially developed as a fashionable residential suburb in 1827, consisting of wide streets, crescents and squares. Talbot Square, onto which Lillian Penson Hall faces, is centrally located within the original Bayswater neighbourhood.

Bayswater was first designated as a conservation area in 1967, and subsequently extended in 1978, 1990, 2002 and 2010. Today, it covers a large area with a mix of uses, but retains a predominantly residential character.

Much of the area consists of stucco terraced houses, interspersed with attractive streets and mews of a smaller scale as well as a variety of later buildings of interest. A series of open spaces with many fine mature trees and formal squares also contribute to the area's character. Talbot Square is one such example of this. The area around Paddington Station, which is located just to the north west of the site, has a distinctive, more commercial character and has many interesting late Victorian and early 20th century buildings.



Lillian Penson Hall is located at the heart of the Bayswater Conservation Area

LISTED BUILDINGS

Whilst not listed itself, Lillian Penson Hall sits within the setting of a number of listed buildings, including the neighbouring Grade II listed terraces on Talbot Square.

Both terraces were built in the mid nineteenth century, and are the remaining sections of a larger composition that once extended around three sides of Talbot Square and its gardens (refer to the photo on the bottom right of the facing page).

The terraces comprise of off-white stuccoed brick, channelled at ground floor level, and are four storeys high, plus basement and attic levels.

Key features include projecting Tuscan porches, round-arched first floor windows with pilaster and pediment surrounds, sash windows and iron railings at basement level, as illustrated in the photograph on the facing page.

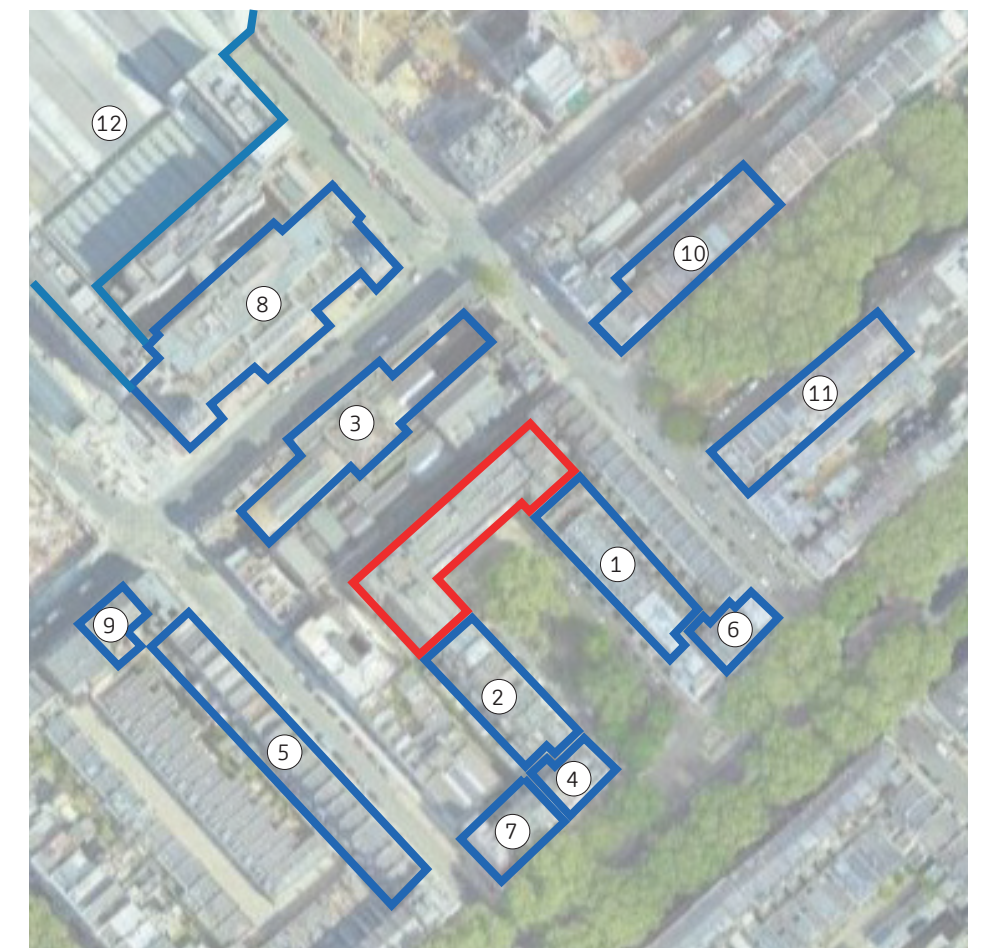
Other listed buildings within the immediate vicinity of Lillian Penson Hall are identified in the diagram and text the right.

GRADE II:

1. 2-18, Talbot Square W2
2. 1-13, Talbot Square W2
3. Paddington, District And Circle Line Underground Station
4. 178-182, Sussex Gardens W2
5. 1-18, Spring Street W2
6. 168-174, Sussex Gardens W2
7. 184-192, Sussex Gardens W2
8. Great Western Hotel
9. 5-9, Craven Road W2
10. 2-22, Norfolk Square W2
11. 1-21, Norfolk Square W2

GRADE I:

12. Paddington Station including the lawn, GWR office block on London Street and offices along Eastbourne Terrace



Lillian Penson Hall is within the setting of a number of listed buildings



PLANNING POLICY

Given the site is located within the Bayswater Conservation Area and is within close proximity to several listed buildings, it is important to consider the potential impact on heritage.

The London Local Plan sets out that heritage assets should be protected and enhanced, as well as development proposals which effect heritage assets should be sympathetic and attempt to conserve significance (Policy HC1 '*Heritage conservation and Growth*').

Local Policy (Policy 39 '*Westminster Heritage*') states that development within a conservation area should preserve and enhance and preserve the character and appearance of Westminster's conservation areas where possible. Additionally the policy states that development within the setting or affecting the view of a listed buildings will take opportunities to enhance or better reveal their significance.

Policy 40 of the Local Plan '*Townscape and architecture*' sets out that development should make an effort to be sensitively designed in regards to scale, height, character and materials of the development in relation to the existing townscape. Spaces and features that form an important element in Westminster Local Townscapes or contribute to the significance of a heritage asset will be conserved, enhanced and integrated into new development.

IMPACT

The floor area of the building remains unchanged, and the roof mounted plant will not extend higher than the existing single storey structures at roof level. Smoke ventilation risers are proposed to extend marginally higher than these structures, but will be positioned in-board of the roof edge. Given the scale and positioning of the new plant equipment and smoke risers, visibility from ground level will be limited, and the streetscape will remain largely unchanged.

New balustrades proposed to the south-east parapet line will be 1,100mm high, and painted black in keeping with existing iron railings to the roof and at street level.

In conclusion, the impact of the proposed works is considered to be neutral on the Bayswater Conservation Area and the listed assets within the setting of the site.



Victorian terraces previously extended around three sides of Talbot Square

**FAULKNERBROWNS
ARCHITECTS**

FaulknerBrowns LLP
Dobson House
Northumbrian Way
Killingworth
Newcastle upon Tyne
NE12 6QW

+44 (0)191 268 3007

info@faulknerbrowns.com
faulknerbrowns.com

FaulknerBrowns LLP is a Limited Liability Partnership registered in England and Wales. Registered number OC386918.
Registered office: Dobson House, Northumbrian Way, Killingworth, Newcastle upon Tyne, NE12 6QW