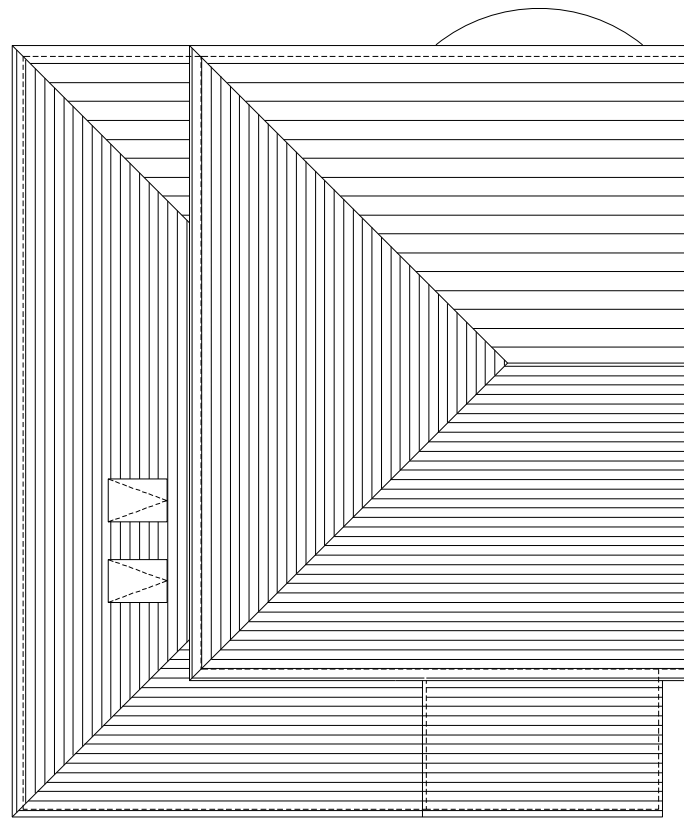
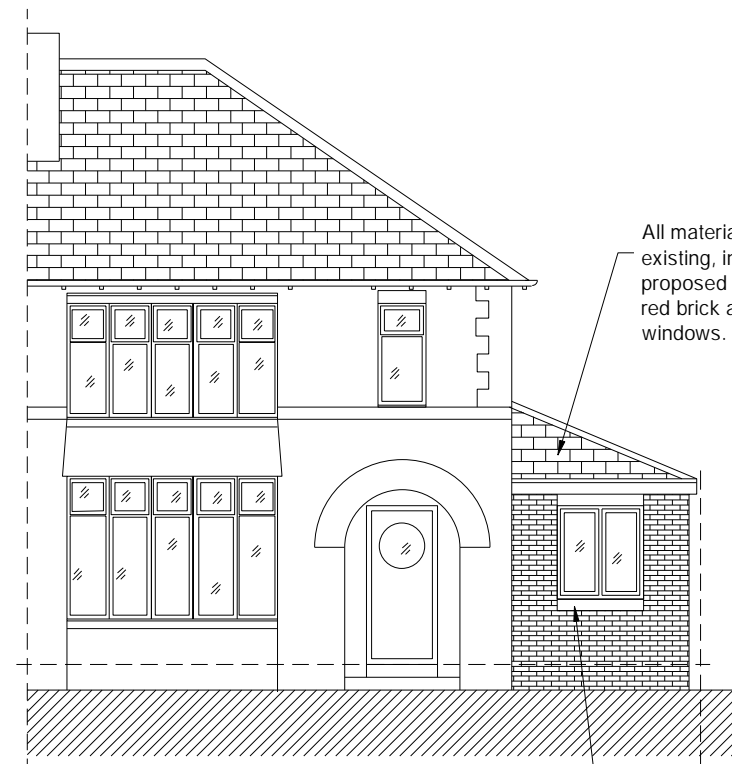


NOTES

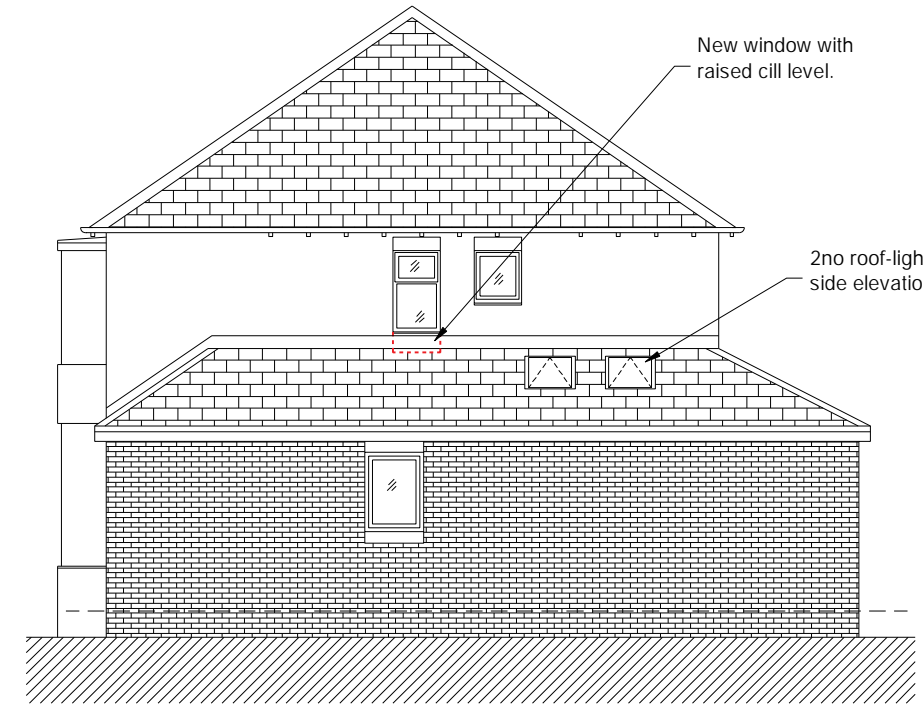
- All dimensions and levels are to be checked on site. Any discrepancies are to be reported to the UP Architecture Ltd before any work commences.
- This drawing shall not be scaled to ascertain any dimensions. Work to figured dimensions only.
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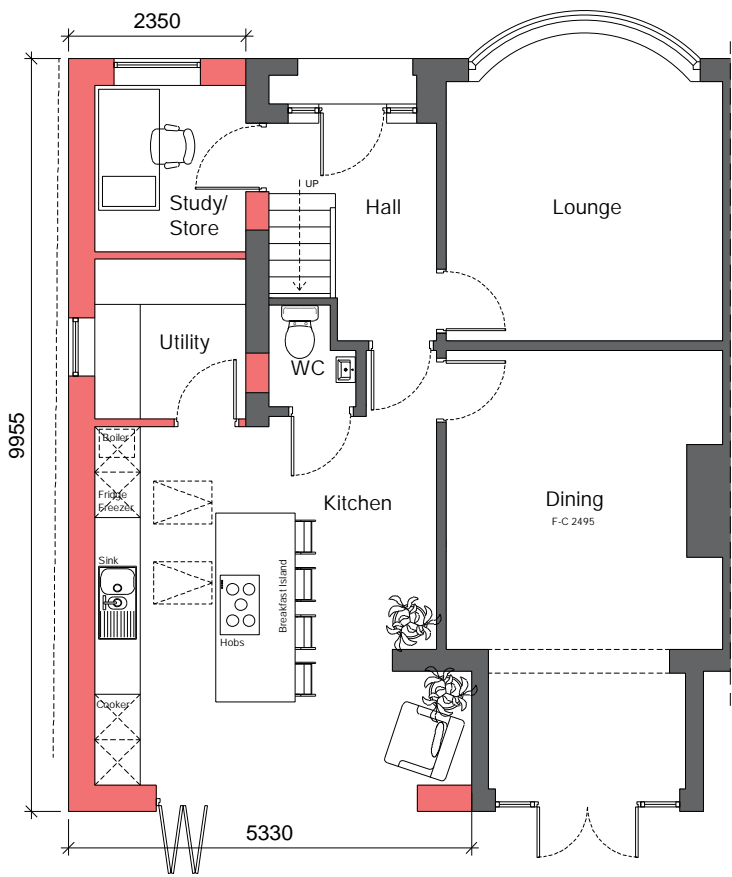
01 Proposed Roof Plan
Scale 1:100



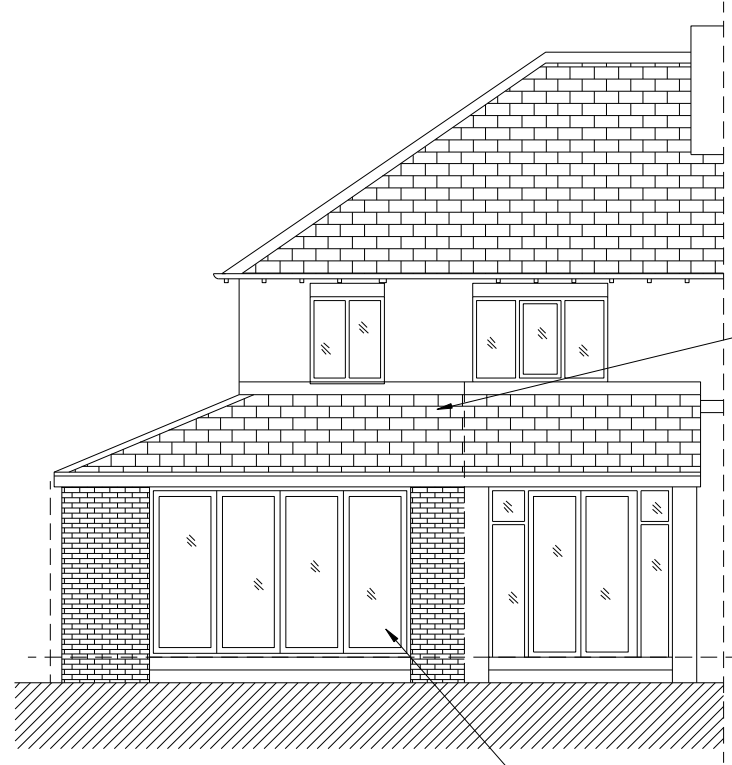
03 Proposed North Facing Elevation
Scale 1:100



04 Proposed West Facing Elevation
Scale 1:100



02 Proposed Ground Floor Plan
Scale 1:100



05 Proposed South Facing Elevation
Scale 1:100

All materials to match existing, including proposed roof tiles, red brick and upvc windows.

Brick header and cill to match existing window detailing.

Existing flue to be removed and eaves, brickwork repaired.

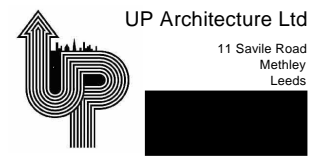
New Aluminium PPC bi-fold doors to the rear.

New window with raised cill level.

2no roof-lights to side elevation.



project stage	Stage 03 - Planning	
client	C. Ager	
project	No59 Church Lane Methley, Leeds LS26 9HN	
drawing title	Proposed Plans & Elevations	
date	25/03/24	drawn MJJ
scale	1-100 @ A3	checked UP



Job No	DWG No	Rev
24-01	(03)11	P01