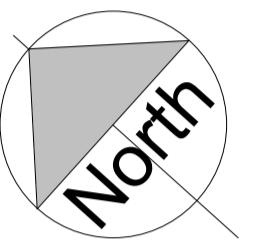


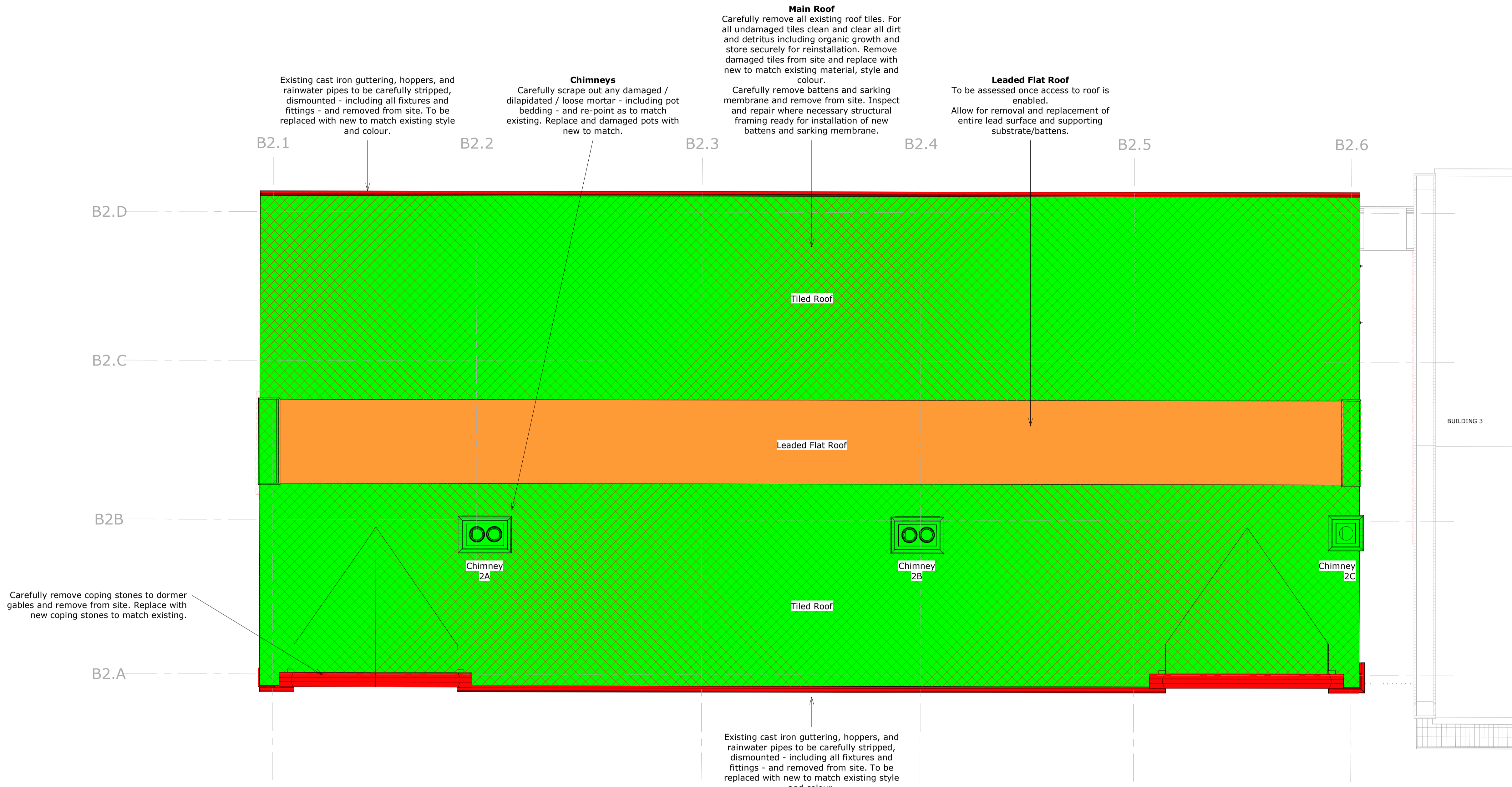
**Important Note**  
 This drawing graphically identifies areas of demolition and repairs and describes works to be undertaken. Principal Contractor and Architect to agree and mark-up on-site individual bricks to be cut-out and replaced.



**Demolition Key**

- Clean / Repair**  
 DOFF clean existing Masonry / Roof Tiles. Replace any individual damaged items with new. Rake out all existing pointing and re-point.
- Removal of Finish**  
 Remove existing black paint using chemical stripper with TORC cleaning system.
- Assess Area for Replacement**
- Remove and Replace**  
 Remove existing Brick/ Stone/ Door/ Window/ Gutter/ RWP and Replace with new.
- Roof to Building 2 Only**  
 Remove existing Timber Battens and Sarking felt and replace with new. Remove existing Roof Tiles (replace any damaged with new), clean and replace.

**Important Note**  
 Where TORC cleaning specified, Cleaning Specialist to advise on level/ type of abrasive to be used in mix. Sand-blasting is not to be used.



**Demolition Notes - Roof Plan**

**Main (Tiled) Roof**  
 Carefully remove all existing roof tiles; clean off all dirt and detritus, including organic growth, and store safely on site to be reinstated following installation of new battens and sarking. Replace any damaged or broken tiles with new to match existing.

Carefully remove all timber battens and sarking membranes and remove from site. Replace all with new.

Carefully remove all lead flashings to gables, dormers, and chimneys and remove from site. Replace with new.

Carefully remove coping stones to dormer gables and remove from site. Replace with new coping stones to match existing.

Inspect and repair pointing to chimneys and mortar to chimney pots where necessary. All to match existing.

Carefully remove all existing cast-iron downpipes and hoppers; clean off all dirt and detritus, including organic growth, and store safely on site to be reinstated later. Replace any damaged or broken and repaint all to match existing.

**Leaded Flat Roof**  
 Allow for removal and replacement of entire lead surface and supporting substrate/battens.

**Chimneys**  
 Carefully scrape out any damaged / dilapidated / loose mortar - including pot bedding - and re-point as to match existing. Replace and damaged pots with new to match.

**External Store Roof**  
 Carefully remove existing timber fascias and remove from site. Replace with new timber fascias and paint to match existing.

Clean off all dirt and detritus, including organic growth, to existing roof tiles. Replace any damaged or broken tiles with new to match existing.

Carefully remove all existing downpipes and gutters and remove from site. Replace with new cast-iron downpipes and gutters and painted to match existing.

**General Notes**

The removal of all debris and redundant material arising is to be separated and screened from operational units and the public. Skip positions are to be agreed between all parties.

The Principal Contractor is to:

- Remove all redundant materials arising from demolition works from site.
- Provide all temporary supports, propping and shoring in line with the Structural Engineer's information to maintain structural stability of the existing buildings during all works throughout the contract.
- Supply and maintain at all times, throughout the contract, all necessary secure fencing and hoarding to the perimeter of the site to prevent unauthorised access.
- Provide all necessary temporary structures and sheeting to prevent the ingress of water to the retained structure at all times.
- Provide all necessary temporary structures and sheeting to prevent the ingress of dust into occupied areas of the building at all times.
- Provide all necessary internal full height hoarding to prevent unauthorised access to working areas and prevent contamination from working area to retained areas of the building.
- Provide all necessary protective boarding and partitioning to prevent accidental damage to adjacent building structure, windows, doors, and features.

- Provide all necessary protection for existing finishes identified to be retained, including all adjacent masonry, doors, frames, tiling, as works proceed.
- Provide protection all services throughout the project.
- Liaise with all relevant statutory authorities and utility providers in respect of all works affecting incoming and outgoing services.
- Maintain a safe, secure working environment for all site operatives and visitors in accordance with all relevant and current health and safety, codes of practice and CDM regulations and legislation.
- Provide all relevant health and safety, security and considerate constructors signage as may be required.
- All Operatives and Consultants must fully acquaint themselves with all aspects of the work whether explicitly referred to in the drawings or not. The Principal Contractor must also satisfy themselves as to the facilities for access and storage of materials, plant, etc., and other site conditions.
- Provide all relevant health and safety, security and Considerate constructors' SIGNAGE as may be required.

**PRINCIPAL CONTRACTOR NOTES:**  
 ASBESTOS MANAGEMENT SURVEY REPORT  
 THE CONTRACTOR IS TO READ THE ASBESTOS MANAGEMENT SURVEY REPORT(S) BEFORE COMMENCEMENT OF ANY WORKS. SURVEY ???? DONE BY ????  
 THE CONTRACTOR *MUST* UNDERTAKE AN ASBESTOS R&D SURVEY THROUGHOUT ALL PROJECT AREAS BEFORE WORKS CAN BEGIN.  
 THE CONTRACTOR *MUST* UNDERTAKE AN ANTHRAX SURVEY BEFORE WORKS CAN BEGIN.  
 THE CONTRACTOR *MUST* UNDERTAKE A LEAD PAINT SURVEY BEFORE WORKS CAN BEGIN.  
**STRUCTURAL NOTES:**  
 THE STRUCTURAL ENGINEER AND PRINCIPAL CONTRACTOR MUST COMPLETE A FULL STRUCTURAL SURVEY OF THE AFFECTED AREAS IN ORDER TO ASCERTAIN WHICH DEMOLISHED ELEMENTS ARE LOAD-BEARING AND REQUIRE TEMPORARY PROPPING AND/OR PERMANENT SUPPORT.

#1	Planning Issue	31/05/23	CJS	DS
Rev	Description	Date	By	Chk

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 2 Sidney Street  
 Sheffield S1 4RH  
 Telephone +44(0)114 2761653  
 Website www.jeffersonsheard.com



Project  
 Scarborough Harbour West Pier  
 Regeneration

Drawing  
 Building 2 Proposed  
 Interventions - Roof Plan

Scale As indicated	Drawn SJP	Date 05/31/23
Drawing Purpose PLANNING	Status S2	
Ref 2135-JSA-02-02-DR-A-03022	Rev. P1	