

Do not scale from this drawing.
The contractor is to check all dimensions on site and report any discrepancies to the architect.
All notes described in chapter 10 of the contract, design and program of 1988 have been generally assumed.

Important Note
This drawing graphically identifies areas of demolition and repairs and describes works to be undertaken. Principal Contractor and Architect to agree and mark-up on-site individual brickwork / stonework to be cut-out and replaced.

Demolition Key

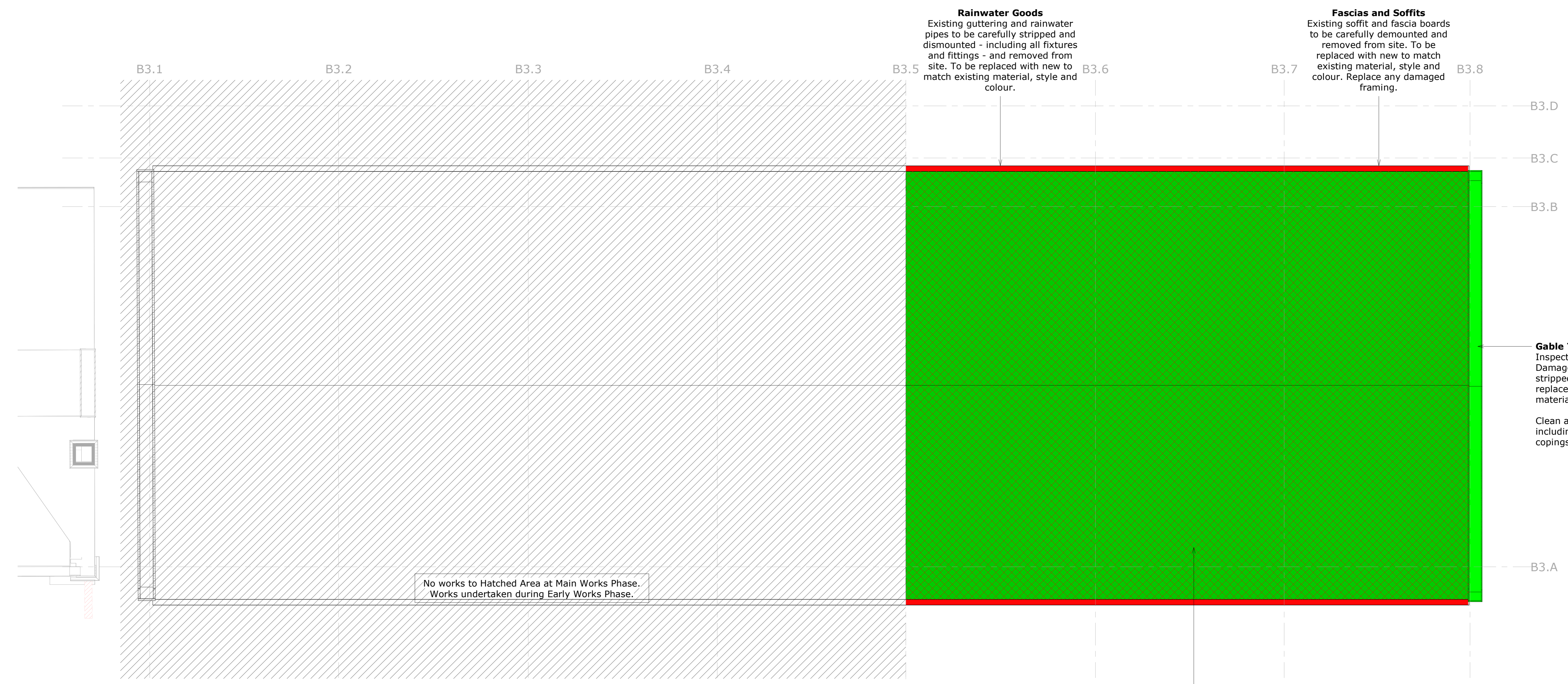
	Clean / Repair Masonry DOFF clean existing Masonry. Replace any individual damaged items with new. Make good all existing pointing and report.
	Clean / Repair Roof Tiles Hand clean existing Roof Tiles. Replace any damaged with new.
	Removal of Finish Remove existing paint (formerly internal to existing structure) using chemical stripper with TORC cleaning system.
	Access and agree area for extent of Replacement
	Remove and Replace Remove existing Brick, Stone, Door/Window/ Gutter/ RWP and Replace with new.

Important Notes

Repointing
All repointing to be undertaken using a traditional NHL 3.5 Lime Mortar Mix.

Leadwork
All Lead Flashings to be Code 5.

TORC Cleaning
Where TORC cleaning specified, Cleaning Specialist to advise on level/ type of abrasive to be used in mix. Sand-blasting is not to be used.



Building 3 - Main Works Proposed Roof Demolition Plan
SCALE: 1 : 50

Rainwater Goods
Existing guttering and rainwater pipes to be carefully stripped and dismantled - including all fixtures and fittings - and removed from site. To be replaced with new to match existing material, style and colour.

Fascias and Soffits
Existing soffit and fascia boards to be carefully demounted and removed from site. To be replaced with new to match existing material, style and colour. Replace any damaged framing.

Gable Tiles & Brick Copings
Inspect tiles and copings for damage. Damaged tiles / copings to be carefully stripped and removed from site. To be replaced with new to match existing material, style and colour.

Clean and clear all dirt and detritus including organic growth from existing copings using DOFF cleaning system.

Main Roof
Inspect existing roof tiles and ridge fleur-de-lis for damage. Damaged roof / ridge tiles to be carefully stripped and removed from site. To be replaced with new to match existing material, style and colour.

Clean and clear all dirt and detritus including organic growth from existing roof tiles and ridge fleur-de-lis using DOFF cleaning system.

Intervention Notes

Main Roof
Inspect existing roof tiles and ridge fleur-de-lis for damage. Damaged roof / ridge tiles to be carefully stripped and removed from site. To be replaced with new to match existing material, style and colour.

Clear and hand-clean all dirt and detritus from existing roof tiles and ridge fleur-de-lis in order to retain natural patination.

Gable Tiles & Brick Copings
Inspect tiles and copings for damage. Damaged tiles / copings to be carefully stripped and removed from site. To be replaced with new to match existing material, style and colour.

Clean and clear all dirt and detritus including organic growth from existing copings using DOFF cleaning system.

Rainwater Goods
Existing guttering and rainwater pipes to be carefully stripped and dismantled - including all fixtures and fittings - and removed from site. To be replaced with new to match existing material, style and colour.

External Masonry (Generally)
Inspect existing masonry for damage. Damaged masonry to be carefully cut out and removed from site. To be replaced with new to match existing material, style and colour.

Where new openings are to be created, carefully cut out existing brickwork where necessary, clean, and store on site for reuse.

Clean and clear all dirt and detritus including organic growth from existing masonry using DOFF cleaning system.

Carefully scrape out any damaged / dilapidated / loose mortar and re-point as required.

Walls to be checked by Structural Engineer and Principal Contractor before works begin to agree areas for replacement in accordance with MCA Condition Report.

External Masonry
Create 500mm new openings to Front Elevation and 400mm new openings to Rear Elevation. Carefully cut out existing brickwork, clean, and store on site for reuse.

Walls to be checked by Structural Engineer and Principal Contractor before works begin to agree areas for replacement in accordance with MCA Condition Report.

...New openings to be created at Ground Floor to archways on South-East elevation. All debris and materials arising to be removed from site.

Make good all surfaces to receive new finishes during next phase. Temporarily weather-protect opening until works are complete.

External Timber Screens to Cafe
Remove existing paint using chemical stripper with TORC cleaning system.

Remove all existing steelwork, services, fixtures and fittings, flashings and trims, and inspect existing masonry for damage. Damaged masonry to be carefully cut out and removed from site. To be replaced with reclaimed or new bricks to match existing material, style and colour.

Services to External Walls
All existing cabling, trunking, boxes, sanitary pipework, including all mountings and accessories, to be removed from external surfaces. All fixing holes filled and brickwork replaced to penetrations.

Steel Balcony & Stair
Existing metal balcony, stair and balustrading to be demolished and replaced with new steel balcony, stair, and balustrading, PPC-RAL 7016 (Anthracite).

Cycle Baskets to Front Elevation
Existing steel cycle brackets to be demounted and removed from site.

Bollards and Steel Hoops
Existing bollards guarding vehicles entrances and existing steel barriers either side of cycle parking, to be dug out, ground backfilled, and resurfaced in line with Engineer's details.

External Doors and Windows
Existing doors and windows to be carefully stripped out (including frames) where indicated and removed from site. Make good to surrounding areas as necessary in readiness for new where appropriate.

External Fire Hose to Rear Elevation
Remove from site existing fire hose, including all associated fixings and supports, and remove all complete. Repair brickwork and mortar to match existing material, style and colour.

Freezer & Ice Boxes
Carefully deconstruct existing walk-in Freezer and Ice Boxes and remove from site.

All existing cabling, trunking, boxing, pipework etc. stripped back to entry point at minimum - further to avoid dead-legging of incoming services - and entry point sealed over. All associated mountings and accessories, to be removed from site.

All fixing holes filled and surfaces made good to receive new finishes.

Internal Walls
Existing internal partitions/walls to be carefully demolished where indicated and removed from site. Partitions/walls to be checked by Structural Engineer and Principal Contractor before removal.

Internal Finishes to External Walls
To be carefully stripped back to masonry and removed from site. Masonry to be cleaned and prepared to receive new finishes.

Floor Finishes
Existing floor finishes (where present) to be carefully stripped out and removed from site. Remaining surface prepared to receive:

- 50mm Isocrete SL Renovation (Levelling) Screed
- New walls where indicated on proposed drawings.
- New floor finishes where indicated on proposed drawings.

Internal Ceilings
Existing ceilings to be carefully stripped out and removed from site.

Internal Skirtings, Covings, Trims, Finishes
Existing internal skirtings, covings, trims, and finishes to be carefully stripped out where indicated and removed from site.

Internal Doors
Existing internal doors to be removed where indicated and removed from site.

Fixed Furniture
Existing cupboards and worktops highlighted to be carefully stripped out and removed from site. Any items to be salvaged to be agreed with Tenant(s) beforehand.

Equipment
All existing equipment (including mechanical / electronic) to be returned to Tenant(s).

All Cafe equipment (e.g. cookers etc.) is to be removed by the Tenant before works begin. All remaining equipment to be removed.

Furniture
All existing furniture to be cleared from all areas but to remain on site unless authorised otherwise by the Client. All areas to remain empty to receive new furniture.

Sanitary Appliances
All existing sanitary appliances, fixtures, fittings, roller towels and paper towel dispensers to be dismantled and removed from site.

Where being replaced by new, all pipework to be stripped back to entry point and covered.

Where no replacement proposed, all pipework stripped back to entry point at minimum - further to avoid dead-legging of incoming services - and entry point sealed over.

Air Conditioning
All existing external and internal units and ducting (including all associated fixings and supports) to be carefully stripped and removed complete from site. To be de-gassed by an approved contractor and disposal records supplied.

Lighting
All existing lighting, switching and circuits to be carefully stripped out and removed. Wiring to be stripped back to main incoming supply point and isolated in readiness to serve new lighting as shown on proposed plans. Refer to M&E Consultants drawing and specification.

Mechanical and Electrical
See MEP Consultant's information

Structural
See Structural Engineer's information

General Notes

The works area is located adjacent to a restaurant which will remain operational throughout the Early Works. The removal of all debris and redundant material arising is to be undertaken outside of restaurant opening hours.

The works area is also above warehousing where fish are landed are stored before packing. The removal of all debris and redundant material arising is to be separated and screened from operational units and the public.

Skip positions are to be agreed between all parties. The Principal Contractor is to:

- Remove all redundant materials arising from demolition works from site.
- Provide all temporary supports, propping and shoring in line with the Structural Engineer's information to maintain structural stability of the existing buildings during all works throughout the contract.
- Supply and maintain at all times, throughout the contract, all necessary secure fencing and hoarding to the perimeter of the site to prevent unauthorised access.
- Provide all necessary temporary structures and sheeting to prevent the ingress of water to the retained structure at all times.
- Provide all necessary temporary structures and sheeting to prevent the ingress of dust into occupied areas of the building at all times.
- Provide all necessary internal full height hoarding to prevent unauthorised access to working areas and prevent contamination from working area to retained areas of the building.
- Provide all necessary protective boarding and partitioning to prevent accidental damage to adjacent building structure, windows, doors, and features.
- Provide all necessary protection for existing finishes identified to be retained, including all adjacent masonry, doors, frames, bling, as works proceed.

Provide protection all services throughout the project.

Liaise with all relevant statutory authorities and utility providers in respect of all works affecting incoming and outgoing services.

Maintain a safe, secure working environment for all site operatives and visitors in accordance with all relevant and current health and safety, codes of practice and CDM regulations and legislation.

Provide all relevant health and safety, security and considerate constructors signage as may be required.

All Operatives and Consultants must fully acquaint themselves with all aspects of the work whether explicitly referred to in the drawings or not. The Principal Contractor must also satisfy themselves as to the facilities for access and storage of materials, plant, etc., and other site conditions.

Provide all relevant health and safety, security and Considerate constructors' SIGNAGE as may be required.

PRINCIPAL CONTRACTOR NOTES:
THE CONTRACTOR IS TO READ THE ASBESTOS MANAGEMENT SURVEY REPORT(S) BEFORE COMMENCEMENT OF ANY WORKS.

J014662 - NET LOFT 1 (BY INSPECTAS)
J014688 - NET LOFT 2 (BY INSPECTAS)
J014688 - NET LOFT 3 (BY INSPECTAS)
J014663 - NET LOFT 4 (BY INSPECTAS)
J014694 - NET LOFT 5 (BY INSPECTAS)
J014689 - NET LOFT 6 (BY INSPECTAS)

THE CONTRACTOR MUST UNDERTAKE AN ASBESTOS R&D SURVEY THROUGHOUT ALL PROJECT AREAS BEFORE WORKS CAN BEGIN.

STRUCTURAL NOTES:
THE STRUCTURAL ENGINEER AND PRINCIPAL CONTRACTOR MUST COMPLETE A FULL STRUCTURAL SURVEY OF THE AFFECTED AREAS IN ORDER TO ASCERTAIN WHICH DEMOLISHED ELEMENTS ARE LOAD-BEARING AND REQUIRE TEMPORARY PROPPING AND/OR PERMANENT SUPPORT.

#1	Revised S4	17/06/23	SJP	DR
#2	Original	17/07/23	SJP	CA
#3	Revised	17/08/23	SJP	DR



Project
Scarborough Harbour West Pier Regeneration

Drawing
Main Works - Building 3 Proposed Demolitions - Roof Plan

Scale	As Indicated	Drawn	SJP	Date	20/06/23
Drawing Purpose	For Approval			Status	S4
Ref	2135-JSA-23-02-DR-A-03202	Rev.	P2		