

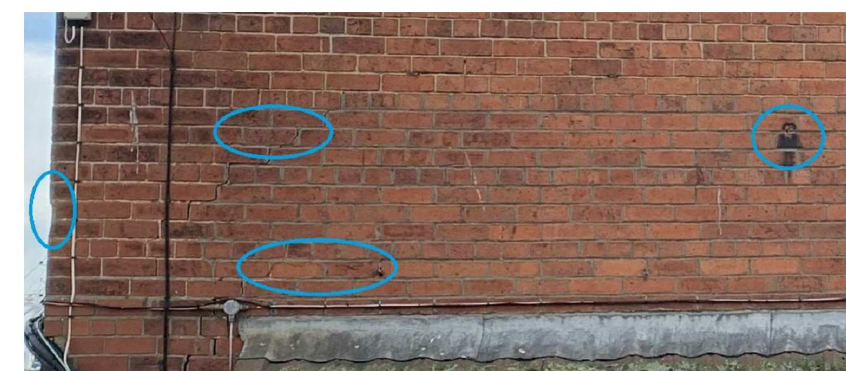
Example of level of brickwork cleaning required



Brick infill to Window Head



Brick Cill Repairs



Example of condition of Brickwork to be repaired on NW Elevation (including settlement cracks)

Existing Masonry Generally
Existing external masonry to be cleaned of all dirt and debris including organic growth. Where individual bricks are spalled/damaged (including service penetrations), carefully cut out and replace to match existing.

Existing Mortar / Pointing
Carefully scrape out all existing pointing; carefully scrape out any damaged / dilapidated / loose mortar, and re-point entirety of external facade.

External Windows
Existing windows to be carefully stripped out (including frames) where indicated and removed from site. Make good to surrounding areas as necessary in readiness for new where appropriate.

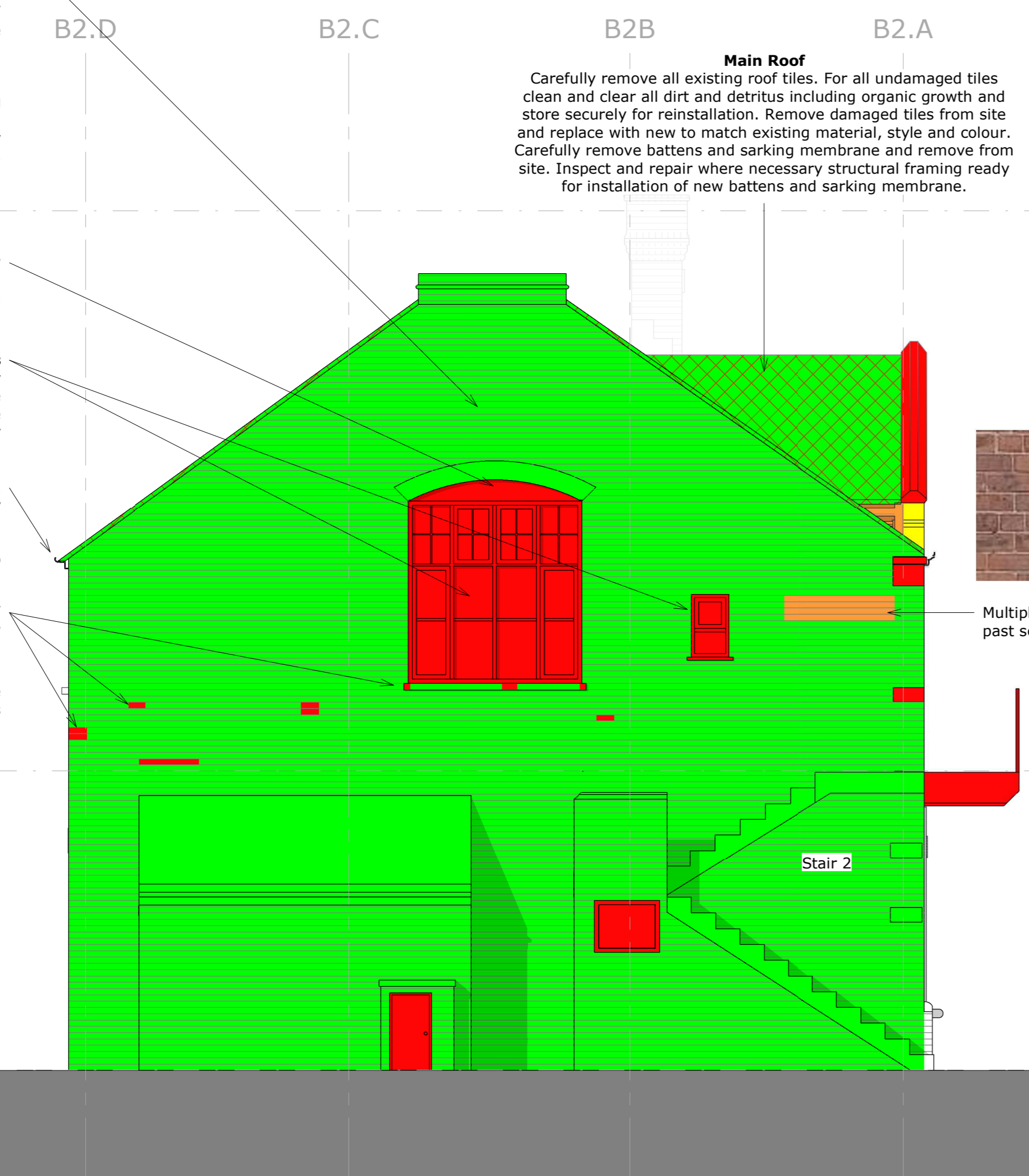
Existing cast iron guttering, hoppers, and rainwater pipes to be carefully stripped, dismantled - including all fittings and removed from site. To be replaced with new to match existing style and colour.

Cut-out and remove any spalled/damaged brickwork. Replace with new to match existing and re-point.

For existing settlement cracking see Structural Engineer's remedial works specification.

B2 First Floor
7660

B2 Ground Floor
4085



Building 2 - North-West Intervention Elevation
SCALE: 1 : 50



Chimneys
Carefully scrape out any damaged / dilapidated / loose mortar - including pot bedding - and re-point as to match existing. Replace any damaged pots with new to match.

Dormer gable coping and feature band stones to be carefully deconstructed and removed from site. To be replaced with matching Sandstone.

Remove existing paint finish from existing Stone features

Existing cast iron guttering, hoppers, and rainwater pipes to be carefully stripped, dismantled - including all fittings - and removed from site. To be replaced with new to match existing style and colour.

Brick specials below guttering to be removed and replaced with new to match existing.

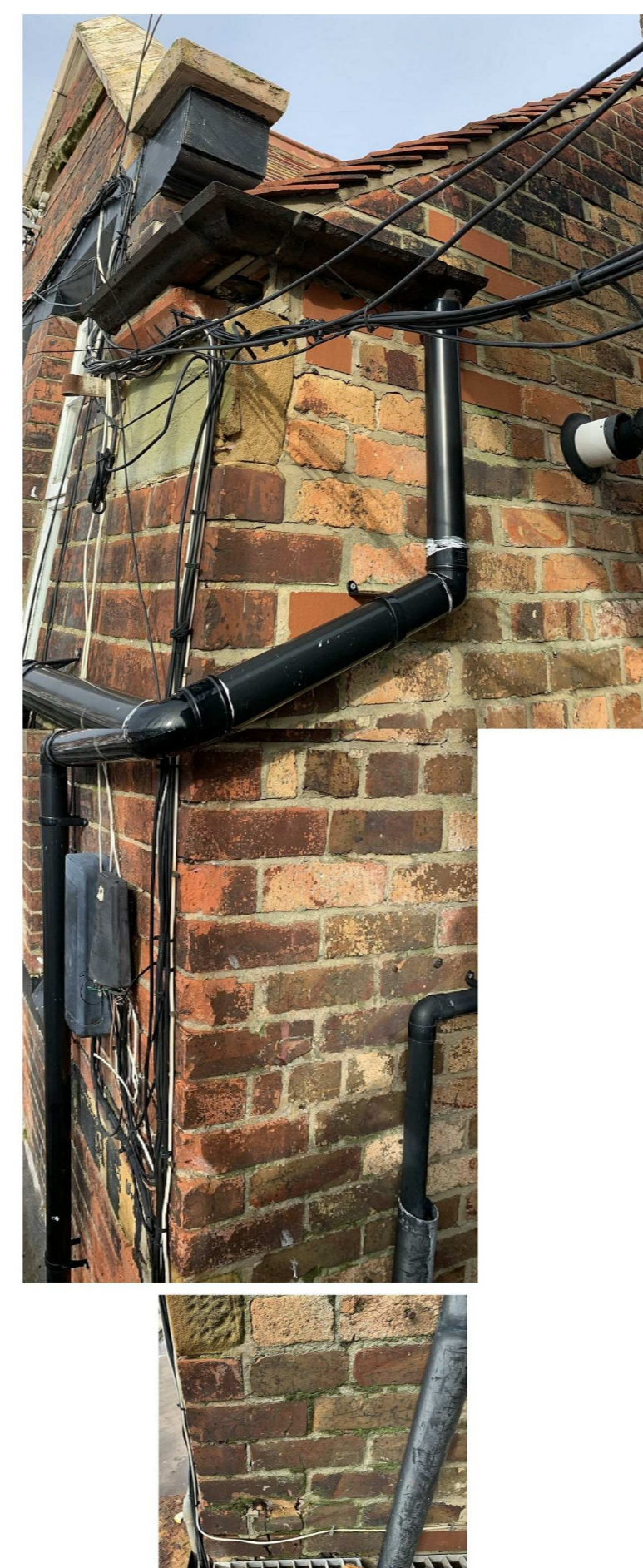
Existing Stone corner-piece to be removed and replaced with new to match existing.

Cut-out and remove any spalled/damaged brickwork. Replace with new to match existing and re-point.

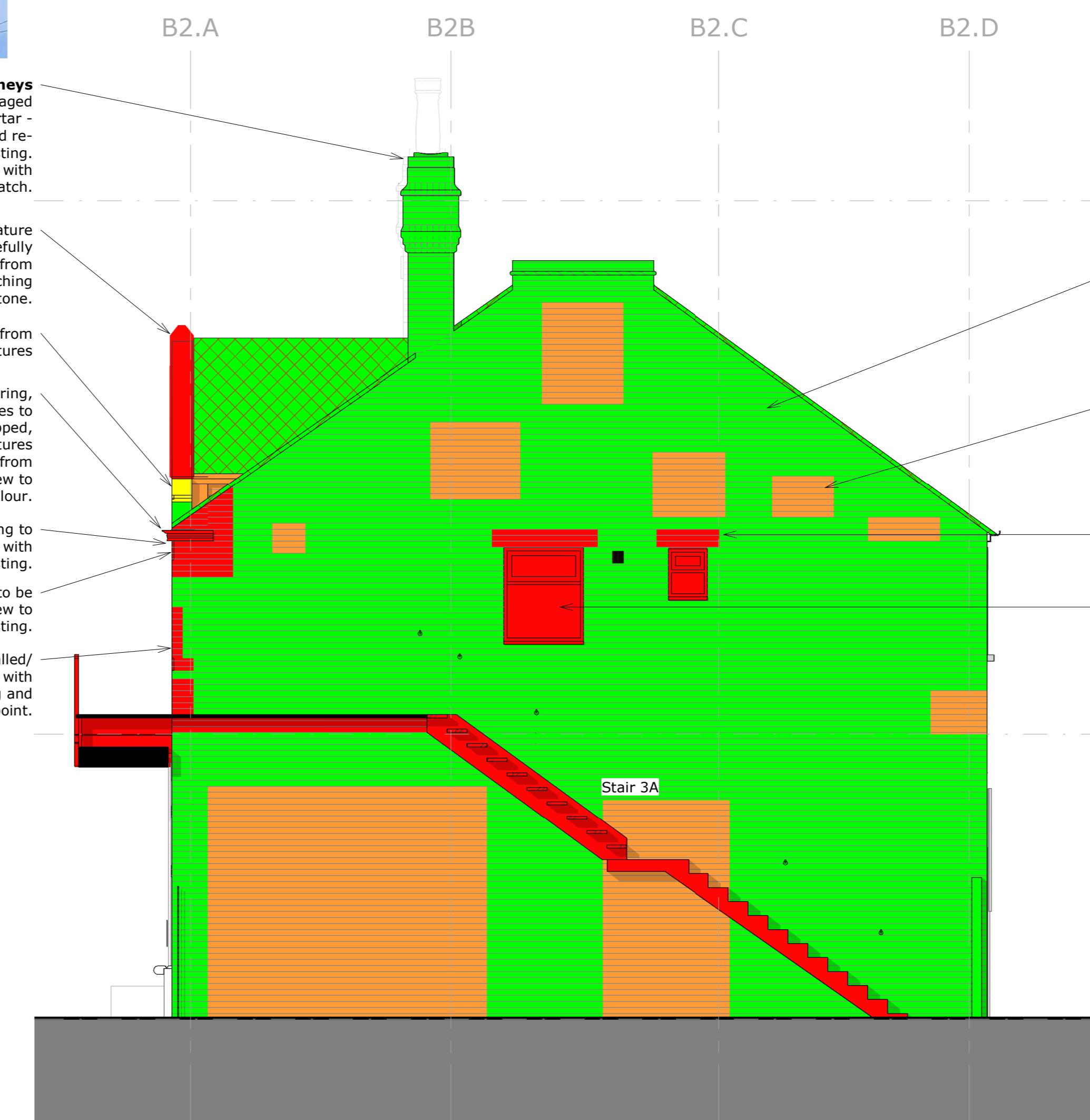


Damaged brickwork from previous service fixings

Multiple bricks damaged by fixings for past services



Condition of Masonry to SE/SW corner



Building 2 - South-East Intervention Elevation
SCALE: 1 : 50

B2 Ridge Level
14360

Existing Mortar / Pointing
Carefully scrape out all existing pointing; carefully scrape out any damaged / dilapidated / loose mortar, and re-point entirety of external facade.

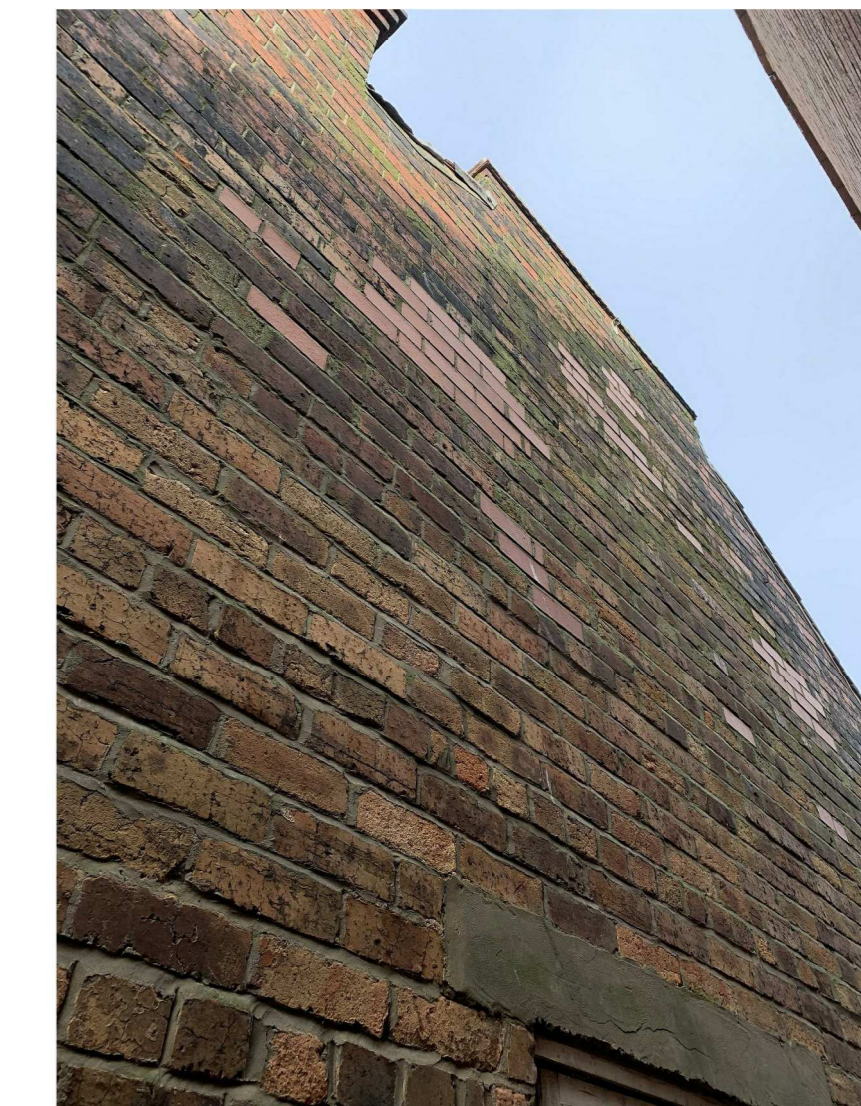
Contemporary repairs have been made within the highlighted areas using contemporary bricks. These are to be carefully cut out and replaced with new to match the original surrounding brickwork.

Existing Concrete Lintels to be removed and replaced with new Stone to match front elevation.

External Windows
Existing windows to be carefully stripped out (including frames) where indicated and removed from site. Make good to surrounding areas as necessary in readiness for new where appropriate.

B2 First Floor
7660

B2 Ground Floor
4085



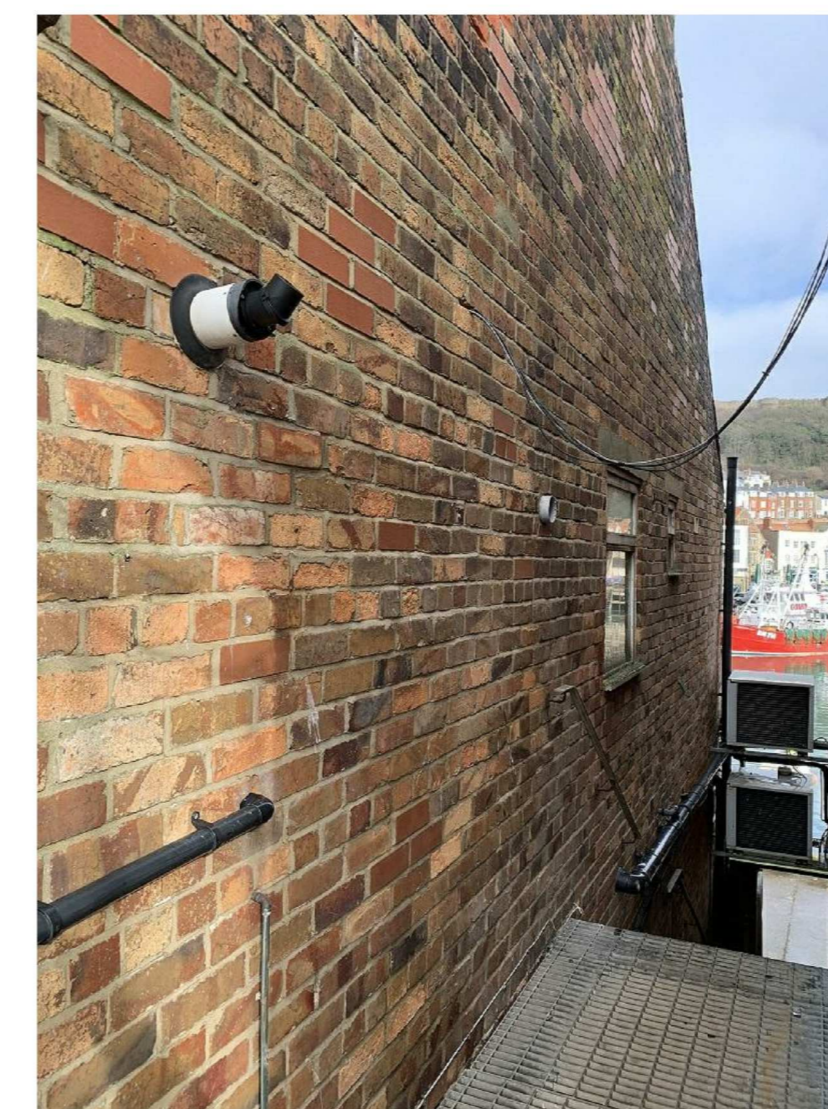
Example of Brickwork and contemporary repairs to SE Elevation



Windows and Lintels to be replaced to SE Elevation



Windows to NW Elevation



General view of Masonry to SE Elevation

Demolition and Replacement Notes:

Main Roof
Carefully remove all existing roof tiles. For all undamaged tiles clean and clear all dirt and debris including organic growth and store securely for reinstallation. Remove damaged tiles from site and replace with new to match existing material, style and colour. Carefully remove battens and sarking membrane and remove from site. Inspect and repair where necessary structural framing ready for installation of new battens and sarking membrane.

Leaded Flat Roof
To be assessed once access to roof is enabled.
Allow for removal and replacement of entire lead surface and supporting substrate/battens.

Lean-to Roof
Clean and clear all dirt and debris including organic growth from existing lines and inspect for damage. Damaged tiles to be carefully stripped and removed from site. To be replaced with new to match existing material, style and colour.

Chimneys
Carefully scrape out any damaged / dilapidated / loose mortar - including pot bedding - and re-point as to match existing. Replace and damaged pots with new to match.

Gable Stone Copings
Dormer gable coping stones to be carefully deconstructed and removed from site. To be replaced with matching Sandstone.

Lead Flashings (incl. Lean-to Roof)
Existing lead flashings to gables, dormers, and chimneys to be carefully stripped out and removed from site. Prepare existing brickwork/joints for installation of new lead flashings.

Timber Fascias and Soffits (to Lean-to Roof)
Existing soffits and fascia boards to be carefully deconstructed and removed from site. To be replaced with new to match existing material, style and colour. Replace any damaged framing.

Rainwater Goods (incl. Lean-to Roof)
Existing cast iron guttering, hoppers, and rainwater pipes to be carefully stripped, dismantled - including all fittings and fittings - and removed from site. To be replaced with new to match existing style and colour.

External Masonry (incl. brick specials beneath guttering)
Existing external masonry to be cleaned of all dirt and debris including organic growth. Where bricks are eroded carefully cut out and replace to match existing.

and remove from site. To be replaced with new to match existing material, style and colour.
Works to be checked by Structural Engineer and Principal Contractor before works begin to agree areas for replacement in accordance with MCA Condition Report.

Existing Mortar / Pointing
Carefully scrape out all existing pointing; carefully scrape out any damaged / dilapidated / loose mortar, and re-point entire facade.

External Doors and Windows - First Floor
Existing doors and windows to be carefully stripped out (including frames) where indicated and removed from site. Make good to surrounding areas as necessary in readiness for new where appropriate.

First Floor
Existing floor finishes (where present) to be stripped out and removed from site. Remaining surface prepared to receive either:
- New works where indicated on proposed drawings.
- No new finishes. To remain as existing where indicated on proposed drawings.

Internal Walls - First Floor
Existing internal partitions/walls to be carefully deconstructed and removed from site. Partitions/walls to be checked by Structural Engineer and Principal Contractor before removal.

Internal Ceilings - First Floor
Existing ceiling to be carefully stripped out where indicated and removed from site.

Internal Skirtings, Covings, Trims, Finishes - First Floor
Existing internal skirtings, covings, trims, and finishes to be carefully stripped out where indicated and removed from site.

Internal Doors and Windows - First Floor
Existing internal doors to be removed where indicated and removed from site. Make good to surrounding areas as necessary in readiness for new doors where appropriate.

Cupboards / Worktops / Shelving - First Floor
Existing cupboards and worktops highlighted to be carefully stripped out and removed from site.

Equipment - First Floor
All existing tools and equipment (including mechanical / electronic) to be returned to the Client.

Furniture - First Floor
All existing furniture to be cleared from all areas but to remain on site unless authorised otherwise by the Client. All areas to remain empty to receive new furniture.

Sanitary Appliances - First Floor
Existing doors and windows to be carefully stripped out (including frames) where indicated and removed from site. Make good to surrounding areas as necessary in readiness for new where appropriate. Where being replaced by new, all pipework to be stripped back to entry point and covered.

Where no replacement proposed, all pipework stripped back to entry point at minimum - further to avoid dead-legging of incoming services - and entry point sealed over.

AI Conditionning - First Floor
All existing external and internal units and ducting (including all associated fringes and supports) to be carefully stripped and removed complete from site. To be disposed by an approved contractor and disposal records kept.

Lighting - First Floor
All existing lighting, including and ducts to be carefully stripped out and removed. Wiring to be stripped back to main incoming supply point and isolated in readiness to serve new lighting as shown on proposed plans. Refer to MBE Consultants drawing and specification.

Mechanical and Electrical
See MBE Consultant's information

Structural
See Structural Engineer's information

EARLY WORKS GENERAL NOTES:
The removal of all debris and redundant material arising to be segregated and screened from operational units and the public. Site positions are to be agreed between all parties. The Principal Contractor is to:
- Remove all redundant materials arising from demolition works from site.
- Provide all temporary supports, propping and shoring in line with the Structural Engineer's information to maintain structural stability of the existing buildings during all works throughout the contract.
- Supply and maintain at all times, throughout the contract, all necessary secure fencing and hoarding to the perimeter of the site to prevent unauthorised access.
- Provide all necessary temporary structures and sheeting to prevent the ingress of water to the retained structure at all times.
- Provide all necessary temporary structures and sheeting to prevent the ingress of dust into occupied areas of the building at all times.
- Provide all necessary internal full height hoarding to prevent unauthorised access to working areas and prevent contamination from working areas to related areas of the building.
- Provide all necessary protective boarding and partitioning to prevent accidental damage to adjacent building structures, windows, doors, and features.
- Provide all necessary protection for existing finishes identified to be retained, including all adjacent masonry, doors, frames, sills, etc. works proceed.
- Provide protection all services throughout the project.

Letsee with all relevant statutory authorities and utility providers in respect of all works affecting incoming and outgoing services.

Maintain a safe, secure working environment for all site operatives and visitors in accordance with all relevant and current health and safety, codes of practice and CDM regulations and legislation.

All Operatives and Consultants must fully acquaint themselves with all aspects of the work whether explicitly referred to in the drawings or not. The Principal Contractor must also identify themselves as to the location for access and storage of materials, plant, etc., and other site conditions.

Provide all relevant health and safety, security and considerate construction signage as may be required.

PRINCIPAL CONTRACTOR NOTES:
ASBESTOS MANAGEMENT SURVEY REPORT
THE CONTRACTOR IS TO READ THE ASBESTOS MANAGEMENT SURVEY REPORT(S) BEFORE COMMENCEMENT OF ANY WORKS. SURVEYS:
2014605 - OFFICE 16 (BY INSP/CTAS)
2014605 - OFFICE 17 (BY INSP/CTAS)
2014605 - OFFICE 18 (BY INSP/CTAS)
2014605 - OFFICE 20 (BY INSP/CTAS)

THE CONTRACTOR MUST UNDERTAKE AN ASBESTOS RISK SURVEY THROUGHOUT ALL PROJECT AREAS BEFORE WORKS CAN BEGIN. THE CONTRACTOR MUST UNDERTAKE AN ANTHRAX SURVEY BEFORE WORKS CAN BEGIN.

THE CONTRACTOR MUST UNDERTAKE A LEAD PAINT SURVEY BEFORE WORKS CAN BEGIN.

STRUCTURAL NOTES:
THE STRUCTURAL ENGINEER AND PRINCIPAL CONTRACTOR MUST COMPLETE A FULL STRUCTURAL SURVEY OF THE AFFECTED AREAS IN ORDER TO ASCERTAIN WHICH UNDESIGNED ELEMENTS ARE LOAD-BEARING AND REQUIRE TEMPORARY PROPPING AND/OR PERMANENT SUPPORT.

Important Note
This drawing graphically identifies areas of demolition and repairs and describes works to be undertaken. Principal Contractor and Architect to agree and mark-up on-site individual brickwork / stonework to be cut-out and replaced.

- Demolition Key**
- Clean / Repair
Doff clean existing Masonry / Roof Tiles. Replace any individual damaged items with new. Make out all existing pointing and re-point.
 - Removal of Finish
Remove existing black paint using chemical stripper with TORC cleaning system.
 - Assess Area for Replacement
 - Remove and Replace
Remove existing Brick / Stone / Door / Window / Gutter / RWP and Replace with new.
 - Roof to Building 2 Only
Remove existing Timber Battens and Sarking felt and replace with new. Remove existing Roof Tiles (replace any damaged with new). Clean and re-lap.

Important Note
Where TORC cleaning specified, Cleaning Specialist to advise on level/type of abrasive to be used in mix. Sand-blasting is not to be used.

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|--------------|--------|------|----------|
| Project Name | 110523 | Rev | 05 |
| Client | WSP | Date | 05/31/23 |

Fulcrum
2 Salford Street
Sheffield S1 4RH
Telephone 44(0)114 2761651
Website www.jeffersonsheep.com



Project
Scarborough Harbour West Pier Regeneration

Drawing
Building 2 Proposed Interventions - Gable Elevations

| | | | | | |
|-----------------|---------------------------|-------|--------|------|----------|
| Scale | As indicated | Drawn | SJP | Date | 05/31/23 |
| Drawing Purpose | PLANNING | | Status | S2 | |
| Ref | 2135-JSA-02-ZZ-DR-A-03027 | Rev. | P1 | | |