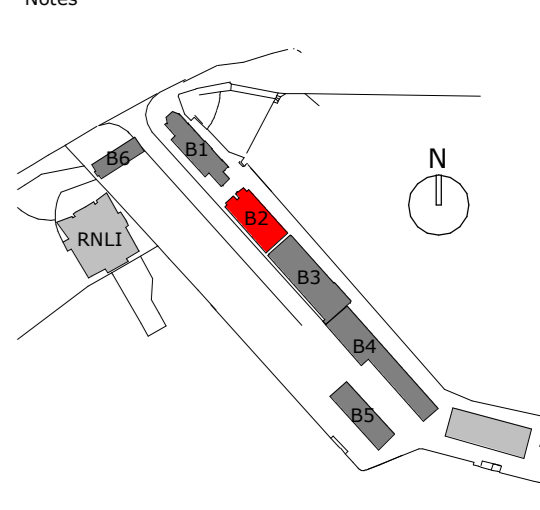


Do not scale from this drawing.  
The contractor is to check all dimensions on site and report any discrepancies to the architect.  
All notes described in chapter 10 of the contract, designs and permits and 1000 have been generally assumed.  
Notes

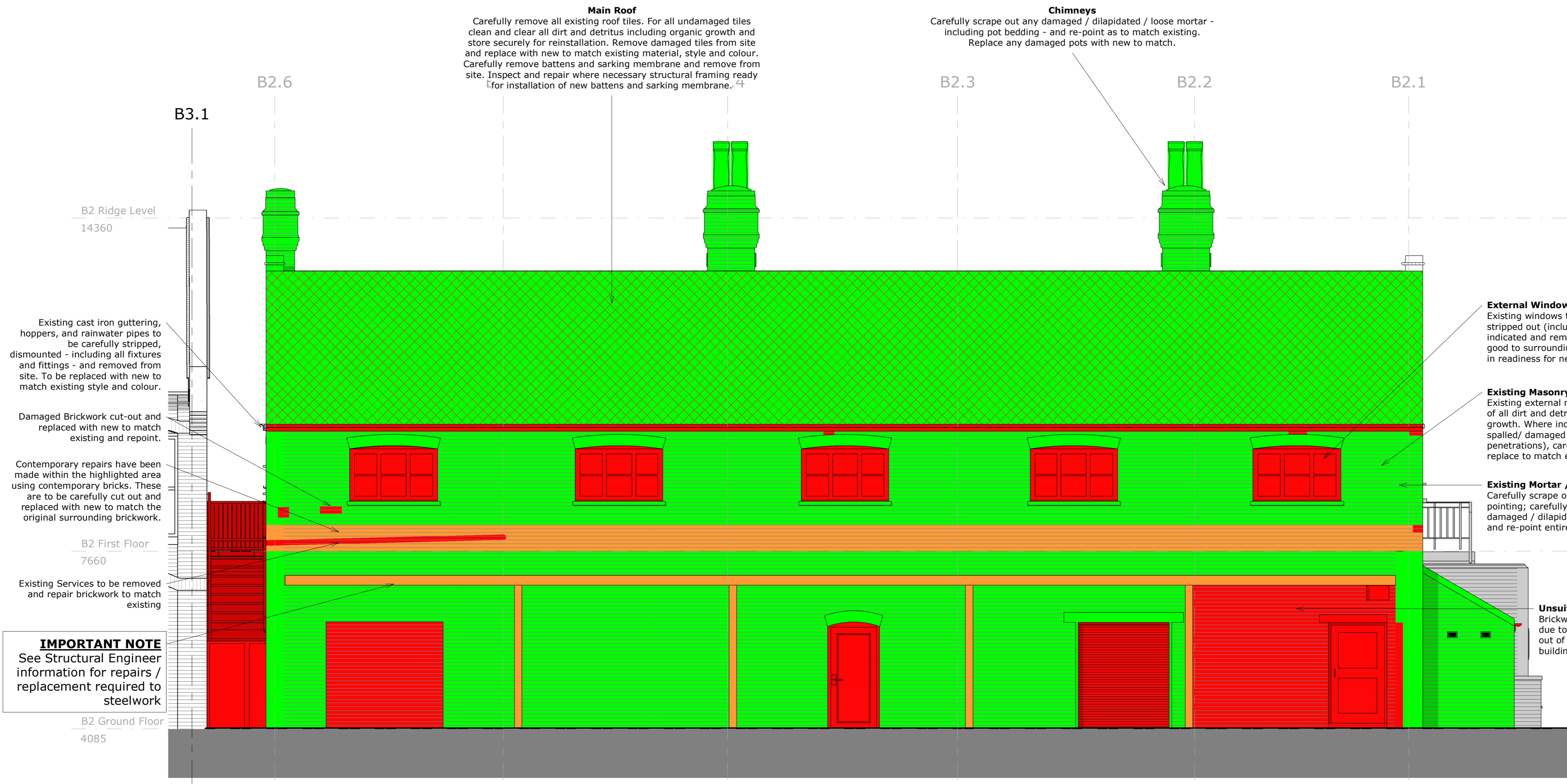
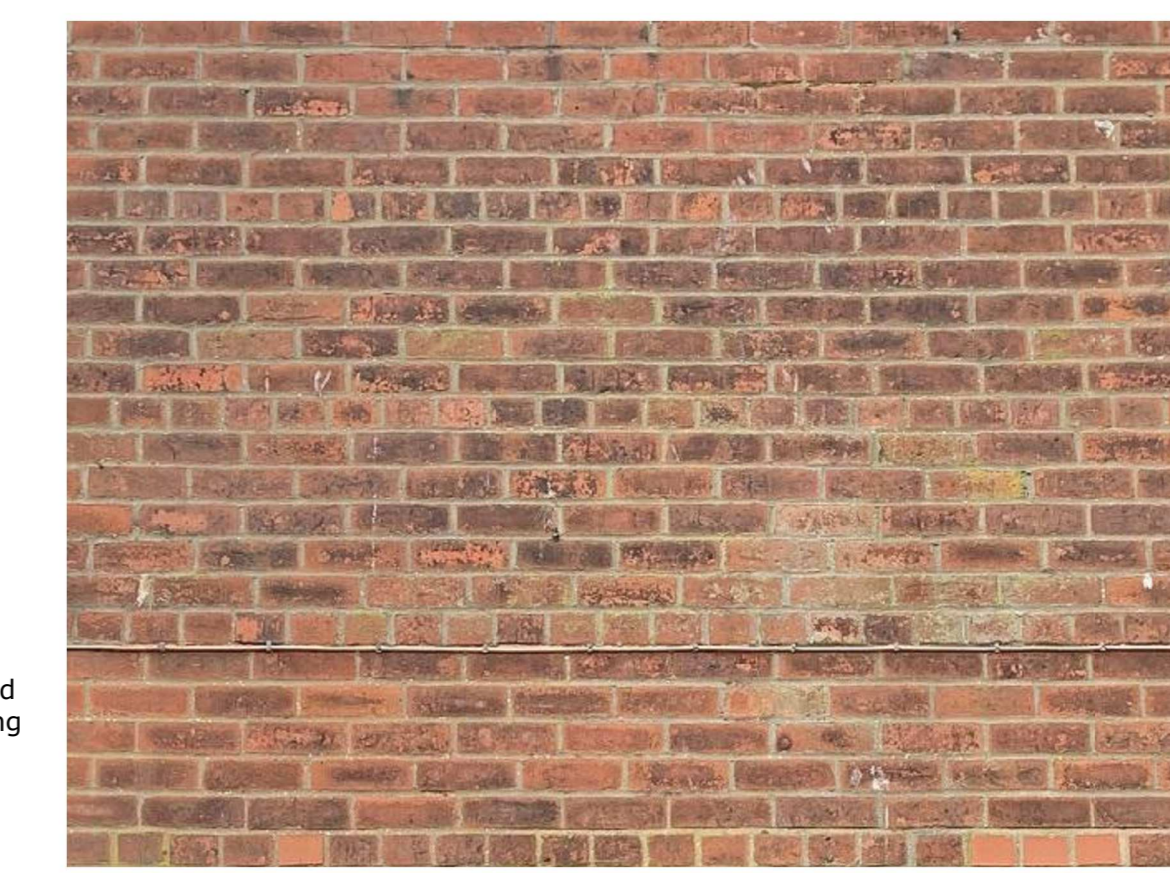
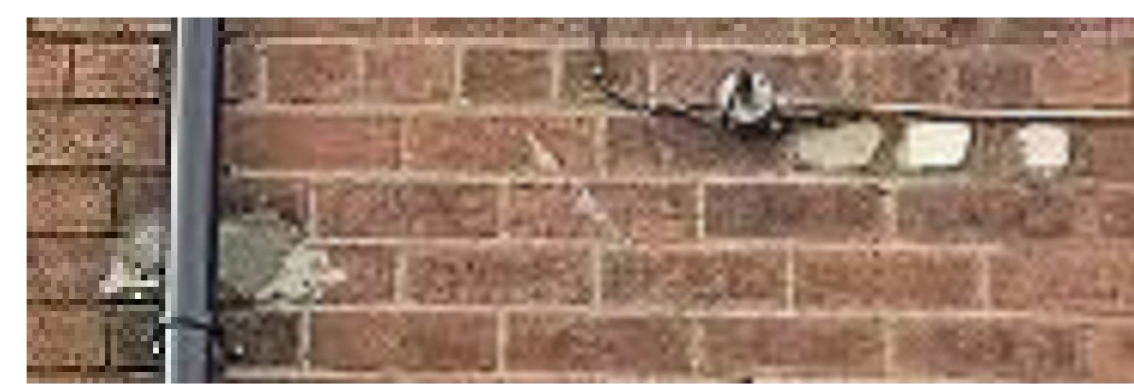


**Important Note**  
This drawing graphically identifies areas of demolition and repairs and describes works to be undertaken. Principal Contractor and Architect to agree and mark-up on-site individual brickwork / stonework to be cut-out and replaced.

**Demolition Key**

- Clean / Repair  
DCPF clean existing Masonry / Roof Tiles. Replace any individual damaged items with new. Rake out all existing pointing and re-point.
- Removal of Finish  
Remove existing black paint using chemical stripper with TKOC cleaning system.
- Assess Area for Replacement
- Remove and Replace  
Remove existing Brick / Stone / Door / Window / Cotter / Sill and Replace with new.
- Roof to Building 2 Only  
Remove existing Timber Battens and Sarking felt and replace with new. Remove existing Roof Tiles (replace any damaged with new), clean and replace.

**Important Note**  
Where TKOC cleaning specified, Cleaning Specialist to advise on level / type of abrasive to be used in mix. Sand-blasting is not to be used.



North-East GA Elevation

**Demolition and Replacement Notes:**

- Main Roof**  
Carefully remove all existing roof tiles. For all undamaged tiles clean and clear all dirt and debris including organic growth and store securely for reinstallation. Remove damaged tiles from site and replace with new to match existing material, style and colour. Carefully remove, batten and sarking membrane and remove from site. Inspect and repair where necessary structural framing ready for installation of new battens and sarking membrane.
- Leaded Flat Roof**  
To be assessed once access to roof is enabled. Allow for removal and replacement of entire lead surface and supporting substrate/battens.
- Lean-to Roof**  
Clean and clear all dirt and debris including organic growth from existing tiles and inspect for damage. Damaged tiles to be carefully stripped and removed from site. To be replaced with new to match existing material, style and colour.
- Chimneys**  
Carefully scrape out any damaged / dilapidated / loose mortar - including pot bedding - and re-point as to match existing. Replace and damaged pots with new to match.
- Gable Stone Copings**  
Corner gable coping stones to be carefully deconstructed and removed from site. To be replaced with matching Sandstone.
- Lead Flashings (incl. Lean-to Roof)**  
Existing lead flashings to gables, dormers, and chimneys to be carefully stripped out and removed from site. Prepare existing brickwork/joints for installation of new lead flashings.
- Timber Fascias and Soffits (to Lean-to Roof)**  
Existing soffits and fascia boards to be carefully deconstructed and removed from site. To be replaced with new to match existing material, style and colour. Replace any damaged framing.
- Rainwater Goods (incl. Lean-to Roof)**  
Existing cast iron gutters, hoppers, and rainwater pipes to be carefully stripped, dismantled - including all fixtures and fittings - and removed from site. To be replaced with new to match existing style and colour.
- External Masonry (incl. Brick specials beneath guttering)**  
Existing external masonry to be checked for dirt and debris including organic growth. Where bricks are eroded carefully cut out and replace to match existing.

- and remove from site. To be replaced with new to match existing material, style and colour.
- Walls to be checked by Structural Engineer and Principal Contractor before works begin to agree areas for replacement in accordance with PCA Condition Report.
- Existing Mortar / Pointing**  
Carefully scrape out all existing pointing; carefully scrape out any damaged / dilapidated / loose mortar, and remove from site. Re-point entirety of external facade.
- External Doors and Windows - First Floor**  
Existing doors and windows to be carefully stripped out (including frames) where indicated and removed from site. Make good to surrounding areas as necessary in readiness for new where appropriate.
- First Floor**  
Existing floor finishes (where present) to be stripped out and removed from site. Remaining surface prepared to receive either:  
- New walls where indicated on proposed drawings.  
- No new finishes. To remain as existing where indicated on proposed drawings.
- Internal Walls - First Floor**  
Existing internal partitions/walls to be carefully demolished where indicated and removed from site. Responsibilities to be checked by Structural Engineer and Principal Contractor before removal.
- Internal Ceilings - First Floor**  
Existing ceiling to be carefully stripped out where indicated and removed from site.
- Internal Skirtings, Covings, Trims, Finishes - First Floor**  
Existing internal skirtings, covings, trims, and finishes to be carefully stripped out where indicated and removed from site.
- Internal Doors and Windows - First Floor**  
Existing internal doors to be removed where indicated and removed from site. Make good to surrounding areas as necessary in readiness for new doors where appropriate.

- Cupboards / Worktops / Shelving - First Floor**  
Existing cupboards and worktops highlighted to be carefully stripped out and removed from site.
- Equipment - First Floor**  
All existing tools and equipment (including mechanical / electrical) to be returned to the Client.
- Furniture - First Floor**  
All existing furniture to be cleared from all areas but to remain on site unless authorised otherwise by the Client. All areas to remain empty to receive new furniture.
- Sanitary Appliances - First Floor**  
All existing sanitary appliances, fixtures, fittings, water hoses and paper towel dispensers to be dismantled and removed from site. Where being replaced by new, all pipework to be stripped back to entry point and covered.
- Where no replacement proposed, all pipework stripped back to entry point at minimum - further to avoid dead-legging of incoming services - and entry point sealed over.**
- Air Conditioning - First Floor**  
All existing external and internal units and ducting (including all associated fixings and supports) to be carefully stripped and removed from site. To be disposed by an approved contractor and disposal records kept.
- Lighting - First Floor**  
All existing lighting, switching and circuits to be carefully stripped out and removed. Wiring to be stripped back to main incoming supply point and isolated in readiness to serve new lighting as shown on proposed plans. Refer to M&E Consultants drawing and specification.
- Mechanical and Electrical**  
See MEP Consultant's information.
- Structural**  
See Structural Engineer's information.

- Labels with all relevant statutory authorities and utility providers in respect of all works affecting incoming and outgoing services.
- Maintain a safe, secure working environment for all site operatives and visitors in accordance with all relevant and current health and safety, codes of practice and CDM regulations and legislation.
- Provide all relevant health and safety, security and competence contractor signage as may be required.
- All Operatives and Consultants must fully acquaint themselves with all aspects of the work, whether explicitly referred to in the drawing or not. The Principal Contractor must also strictly implement as to the methods for access and storage of materials, plant, etc., and other site conditions.
- Provide all relevant health and safety, security and competence contractor signage as may be required.

**PRINCIPAL CONTRACTOR NOTES:**  
ASBESTOS MANAGEMENT SURVEY REPORT  
THE CONTRACTOR IS TO READ THE ASBESTOS MANAGEMENT SURVEY REPORT(S) BEFORE COMMENCEMENT OF ANY WORKS. SURVEYS:  
30/04/20 - OFFICE 10 (BY INSP/CTAS)  
20/04/20 - OFFICE 11 (BY INSP/CTAS)  
21/04/20 - OFFICE 12 (BY INSP/CTAS)  
NO SURVEY - OFFICE 13 (BY INSP/CTAS)  
20/01/17 - OFFICE 20 (BY SCS)

Provide all necessary protection for existing finishes identified to be retained, including all adjacent masonry, doors, frames, sills, as works proceed.  
Provide protection all services throughout the project.

**STRUCTURAL NOTES:**  
THE STRUCTURAL ENGINEER AND PRINCIPAL CONTRACTOR MUST COMPILE A FULL STRUCTURAL SURVEY OF THE AFFECTED AREAS IN ORDER TO ASCERTAIN WHICH DEMOLISHED ELEMENTS ARE LOAD-BEARING AND REQUIRE TEMPORARY PROPPING AND/OR PERMANENT SUPPORT.

PL	Planning	11/05/23	1:50	A0
Rev.	Revisions	Issue	Date	By

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Project  
Scarborough Harbour West Pier  
Regeneration

Drawing  
Building 2 Proposed  
Interventions - Rear Elevation

Scale	As indicated	Drawn	SJP	Date	05/31/23
Drawing Purpose	PLANNING		Status	S2	
Ref	2135-JSA-02-ZZ-DR-A-03026	Rev.	P1		