

DOMINO'S PIZZA UNIT, 757 WOOLWICH ROAD, GREENWICH (SE7 8LW) – DELIVERY AND SERVICE MANAGEMENT STRATEGY – APRIL 2024

Introduction

Eddisons have been instructed by Zaan Group Ltd to formally discharge the specific planning condition requiring a Delivery and Servicing Plan (DSP) for the proposed Domino's Pizza unit at 757 Woolwich Road in Greenwich.

Planning condition 9 of the extant planning consent (App. ref no: 21/1887/F) states that;

The development hereby approved shall not be occupied until a detailed Delivery and Servicing Plan (DSP) for the ground floor commercial unit hereby approved has been submitted to, and approved in writing by, the Local Planning Authority. The DSP shall demonstrate how deliveries will be carried out to ensure impacts of the safe operation of the highway are minimised and shall include details of:

- *The timing and frequency of deliveries;*
- *The location of loading and unloading;*
- *The size of delivery vehicles*

The DSP shall be fully implemented in accordance with the approved details prior to the first occupation of the development and maintained thereafter for the lifetime of the development.

Reason: To ensure that the resulting servicing arrangements are satisfactory in terms of their impact on the free-flow of traffic and highways safety implications in accordance with Policy T2, T4 and T7 of the London Plan (2021) and Policies DH1 and IM(b) of the Royal Greenwich Local Plan: Core Strategy with Detailed Policies (July 2014).

Delivery and Servicing Plan (DSP) Objective

The objective of this DSP will be to ensure that servicing is undertaken efficiently and effectively thereby minimising any disruption to the public highway and the operation of the unit. Compliance and implementation of the DSP will be monitored by the unit manager.

Scope of Management Plan

The DSP applies to all vehicles serving the convenience store, both operator direct deliveries and third-party suppliers that have a length of no more than 11 metres.

Delivery Vehicle Movements

Deliveries will be undertaken at the rear of the property off Eastmoor Street, which is not subject to any Traffic Regulation Orders (TRO). Location shown in **Figure 1** below. Although there are no restrictions to minimise impact on neighbouring business, servicing will be undertaken outside of the 0700 hours to 1900 hours.

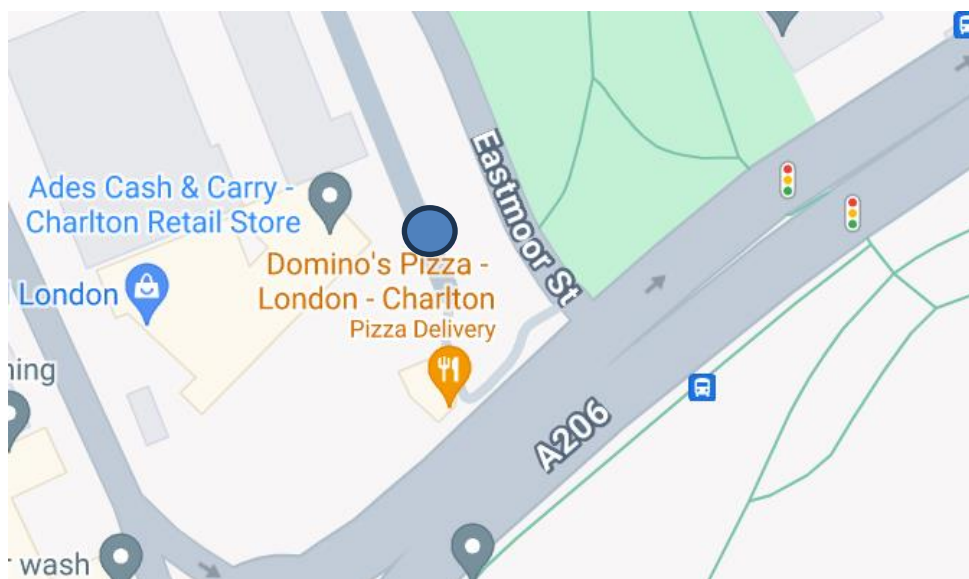


Figure 1 – Servicing Location off Eastmoor Street (Blue Dot) – (Source Google Maps)

Deliveries will be undertaken using an Urban HGV which has a length of 10.35 metres, a swept path analysis for this vehicle is shown in **Plan 3**.

Delivery drivers are fully aware that sole responsibility for manoeuvring the vehicle they are in charge of rests with them.

Delivery Schedule for Service Vehicles

The frequency of deliveries will be dependent on a number of factors but for a unit of this size, there will be a total of 3 deliveries per week which will occur on Mondays, Wednesdays and Fridays. The average duration for a delivery to a Domino's unit is normally between 30 minutes and 1 hr.

Management of Noise

The operator will comply with the delivery time restrictions included in the DSP and will take reasonable steps to minimise unnecessary noise during delivery and refuse collection operations.

The following best practice measures will be employed to manage noise at the site;

- The final approach to the store should be made with the minimum amount of noise with no use of the horn at any time.
- A quiet approach strategy will be adopted which will require the low revving of engines, no slamming of cab doors, voices to be kept at a low volume and to ensure radios are off in the cabs.
- Vehicles will be unloaded as quietly as possible, with care undertaken to minimise contact with trailer walls, lift guardrails and any other obstructions.

Delivery Driver Management

Given the Traffic Regulation Orders (TRO) on operation on Woolwich Road, pizza collections will be undertaken on Eastmoor Street, where there are no TRO's in operation. Vehicles/e-bikes will park on the Eastmoor Street carriageway when collecting deliveries, whilst out of hours the e-bikes will be stored within the building as shown on the site plan displayed in **Plan 4**.

All customer deliveries are undertaken by Domino's employees and no third party aggregates are used.

Table 1 below provides a summary of delivery driver movements for Domino's units, on a Friday and Saturday which are the busiest trading periods.

Time Period	Delivery Type	
	Car/Moped	E-bike
1100-1200	1	0
1200-1300	2	0
1300-1400	2	0
1400-1500	2	0
1500-1600	2	0
1600-1700	2	1
1700-1800	3	1
1800-1900	3	4
1900-2000	3	4
2000-2100	4	4
2100-2200	2	1
2200-2300	2	0

Table 1 Summary of Delivery Driver Movements – Friday/Saturday

Not all of these drivers would be on site at the same time as they will be off-site undertaking deliveries, on average a driver visit to a store is between 2 to 3 minutes and where possible that undertake multiple deliveries at one time. In addition, if there was not the demand for drivers during a particular shift, then the number of drivers would be reduced as the excess drivers would simply end their shift.

The following measures will be implemented to manage delivery drivers;

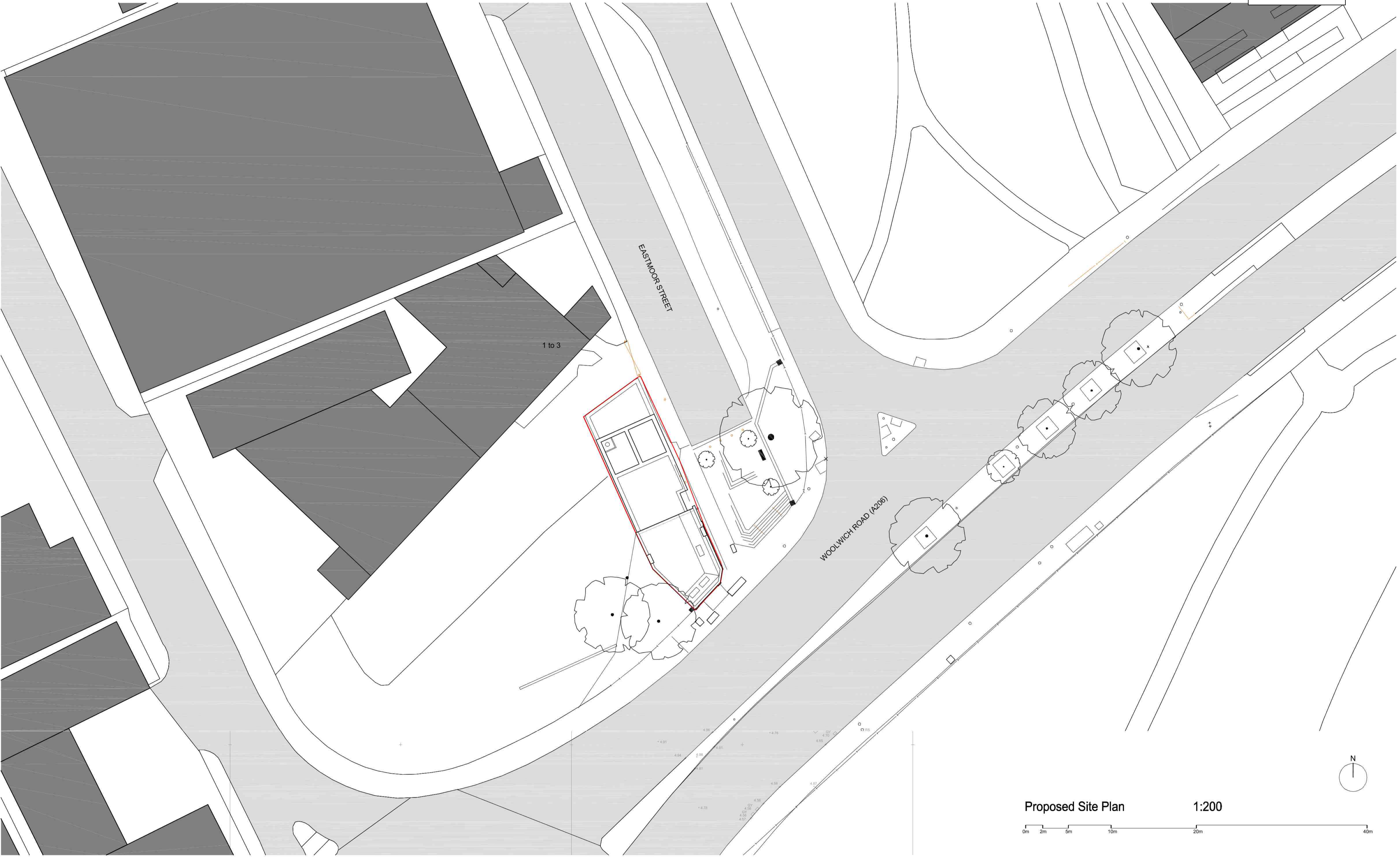
- Delivery drivers will be informed prior to employment that ALL vehicles should adhere to the Highway Code i.e. not block driveways, park on double yellow markings or other markings associated with the pedestrian crossing or bus stops. Any parking violations will be the responsibility of the individual driver and not Domino's.
- A no idling policy will be in operation, drivers will be responsible for ensuring noise is kept to a minimum i.e. no loud music and no slamming of doors.

- Drivers will be instructed to manoeuvre slowly and carefully and avoid over-revving their engines.

Monitoring & Review

It is proposed that the will be subject to review and should it become apparent that the management objectives are not being successfully met, alternative management measures will be considered.

PLANS



Proposed Site Plan 1:200

0m 2m 5m 10m 20m 40m

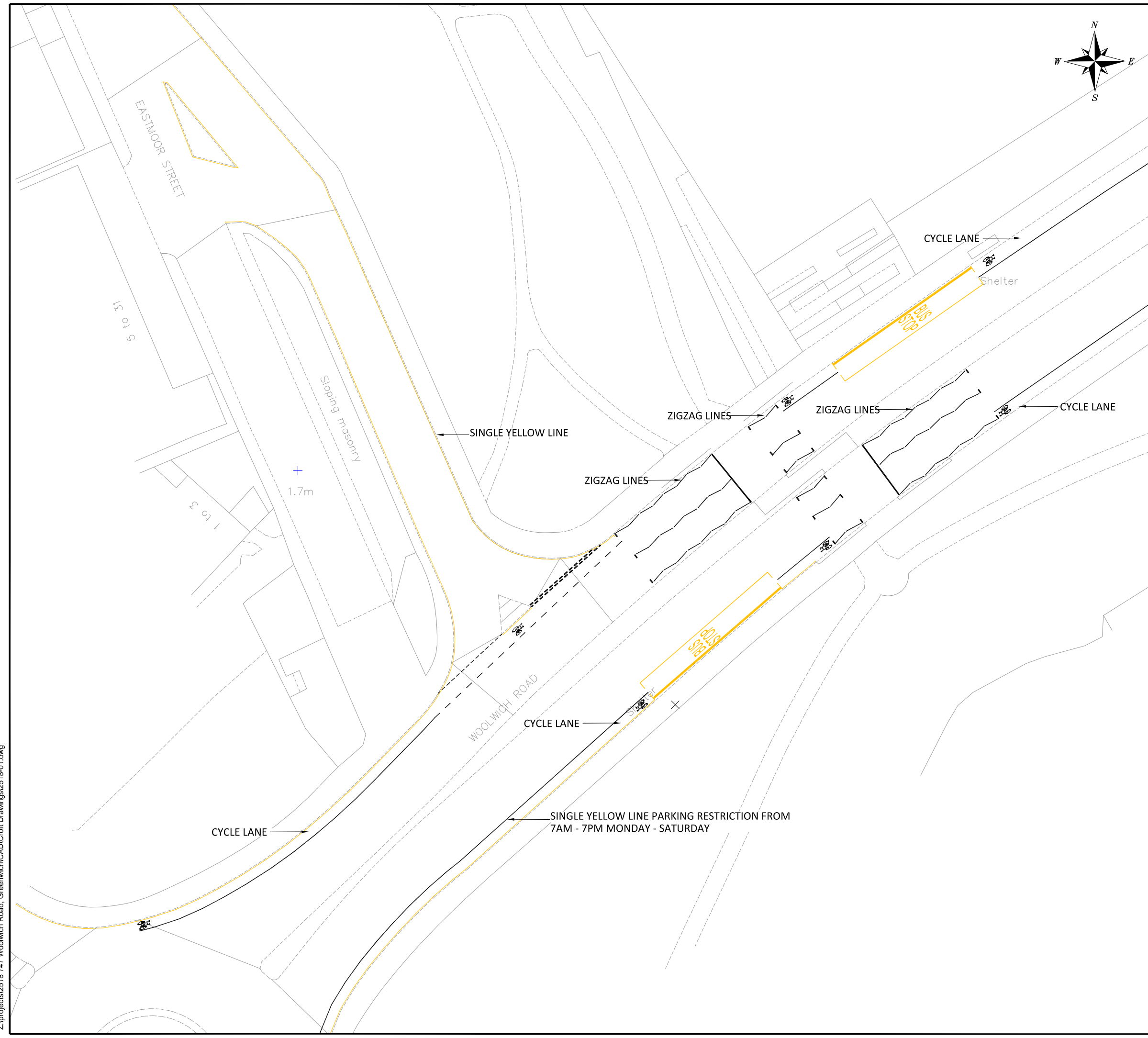
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Notes :

<p>Client : Mr A Mumtaz</p> <p>Project No : 14011</p>	<p>Project : No 757 Woolwich Road London SE7 8LW</p> <p>Drawing Title : Proposed Site Plan</p>	<p>Drawn by : SIB</p> <p>Date : July 2020</p> <p>Status : PLANNING</p> <p>Drawing No : 005</p> <p>Checked by : RS</p> <p>Scale @ A1: 1:200</p> <p>Rev. No : D1</p>
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NOTES

THIS IS NOT A CONSTRUCTION DRAWING AND IS FOR INDICATIVE PURPOSES ONLY. THE DRAWING WILL BE SUBJECT TO CHANGE FOLLOWING LOCAL AUTHORITY REVIEW AND CONFIRMATION OF PUBLIC HIGHWAY AND THIRD PARTY LAND BOUNDARIES.

PLAN 2

REV	DETAILS	DRAWN	CHECKED	DATE

CLIENT:
ZAAN GROUP LTD

PROJECT:
747 WOOLWICH ROAD, GREENWICH

DRAWING TITLE:
EXISTING PARKING RESTRICTIONS

SCALES:
1:500 @ A3

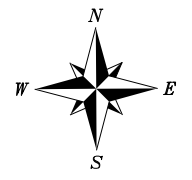
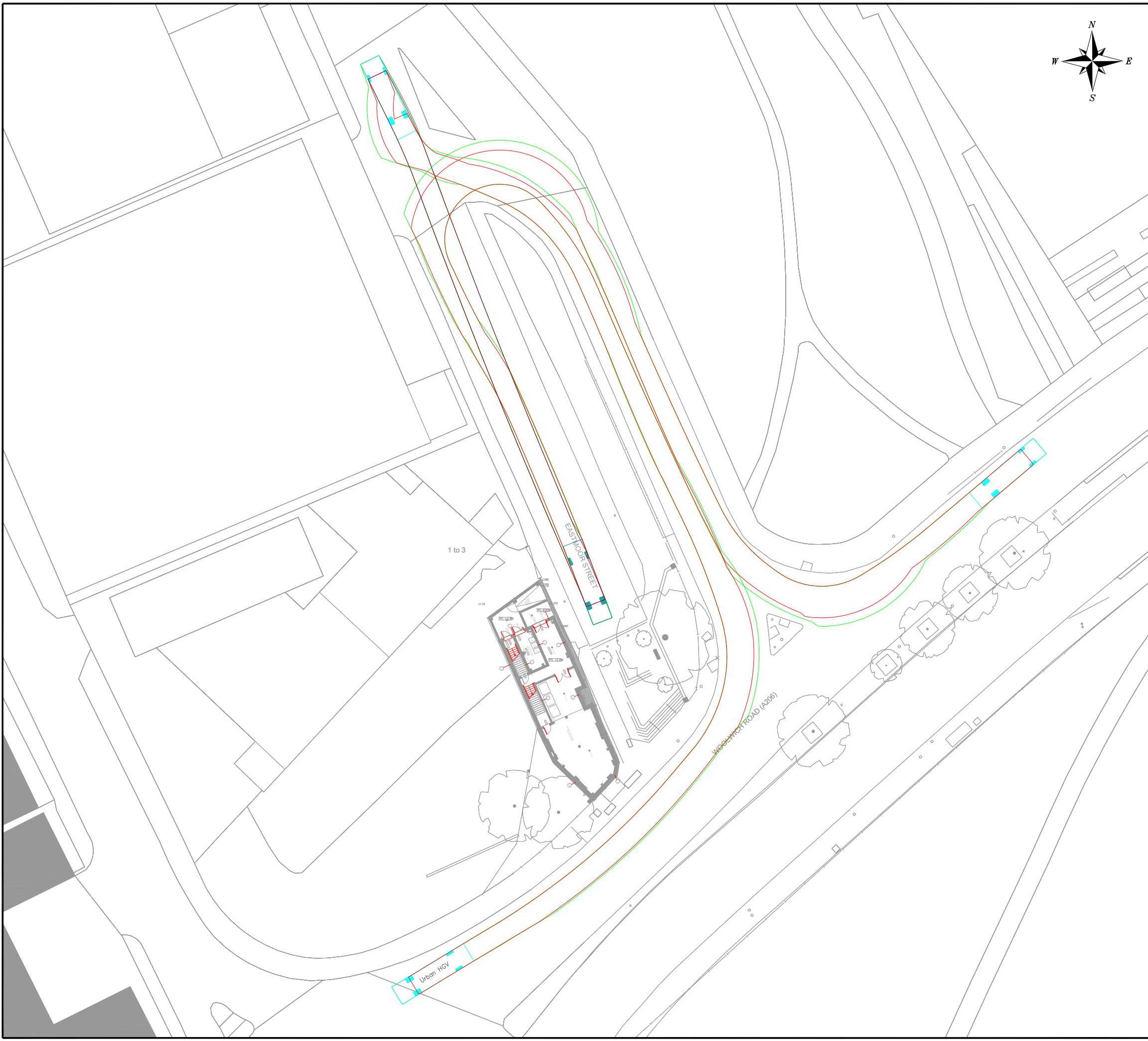
DRAWN: **GM** CHECKED: **TSB** DATE: **JAN 19**

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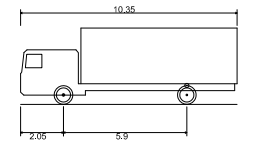
DRAWING NUMBER: **2518-01** REVISION: **-** **CROFT**

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NOTES

PLAN 3



Urban HGV 10.35m	10.350m
Overall Length	2.500m
Overall Width	3.645m
Min Body Ground Clearance	0.440m
Track Width	2.470m
Lock to lock time	3.00s
Kerb to Kerb Turning Radius	11.000m



REV	DETAILS	DRAWN	CHECKED	DATE

CLIENT:
DOMINOS

PROJECT:
WOOLWICH ROAD, GREENWICH

DRAWING TITLE:
SWEPT PATH ANALYSIS

SCALES:
1:500 @ A3

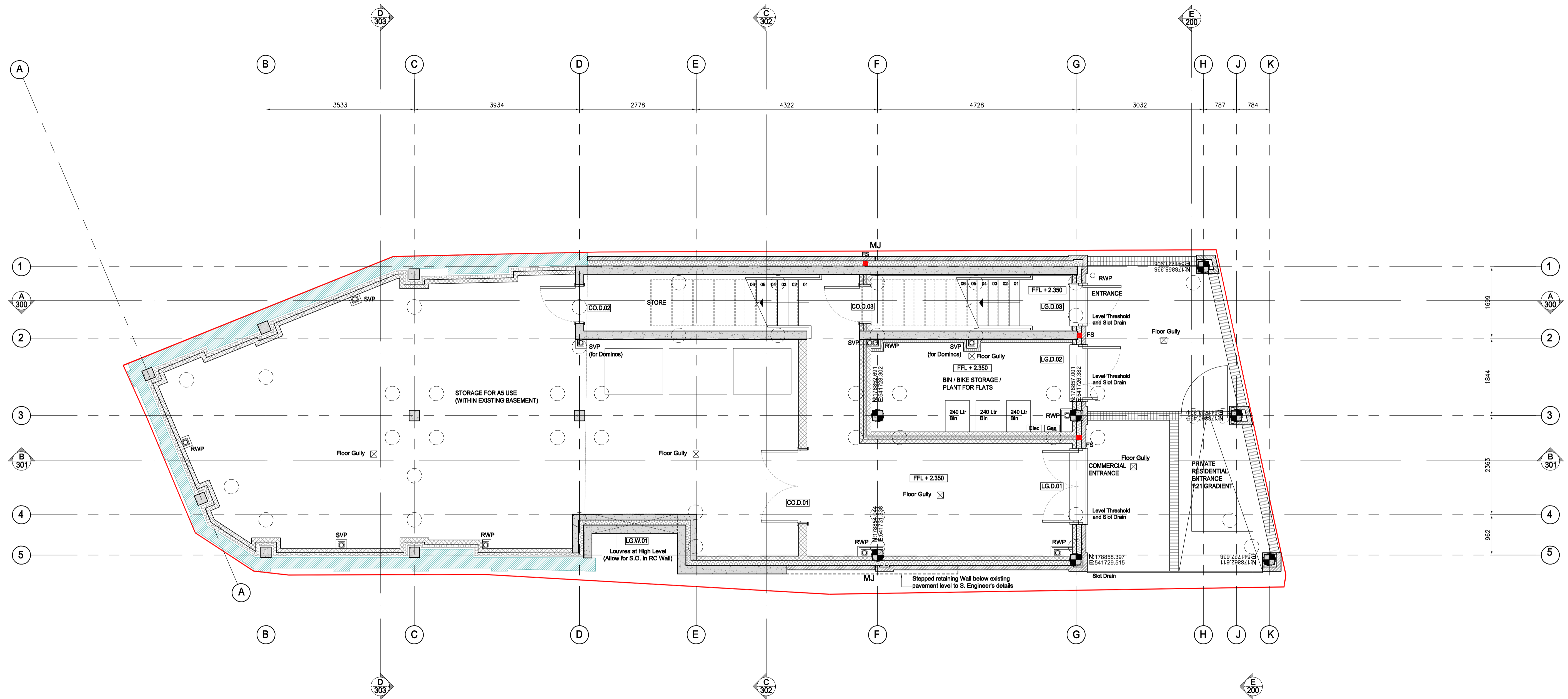
DRAWN: LG	CHECKED: TSB	DATE: APR 24
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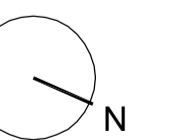
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DRAWING NUMBER: 2518-SP01	REVISION: -
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Lower Ground Floor General Arrangement Plan



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Rev.	Description	Date	By
C2	Movement Joints added adjacent to Grid Line 'F'	04.04.2023	SIB
C1	Issued for Construction	03.10.2022	SIB

Client :
Mr A Mumtaz
 Project No :
22006

Project :
**No 757 Woolwich Road
 London
 SE7 8LW**

Drawing Title :
**Lower Ground Floor
 General Arrangement Plan**

Drawn by :
 SIB
 Date :
 July 2022
 Status :
CONSTRUCTION
 Drawing No :
 100

Checked by :
 Scale @ A1:
 1:50
 Rev. No :
 C2

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