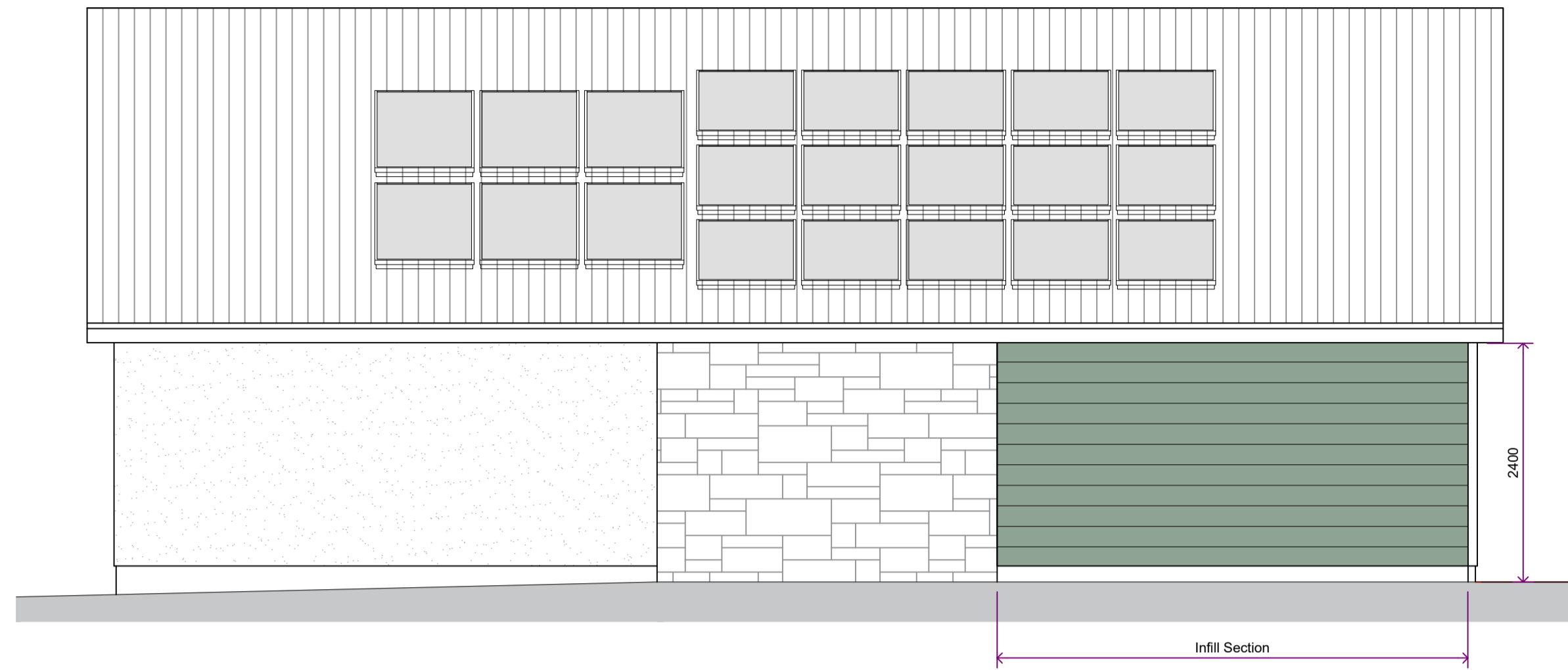


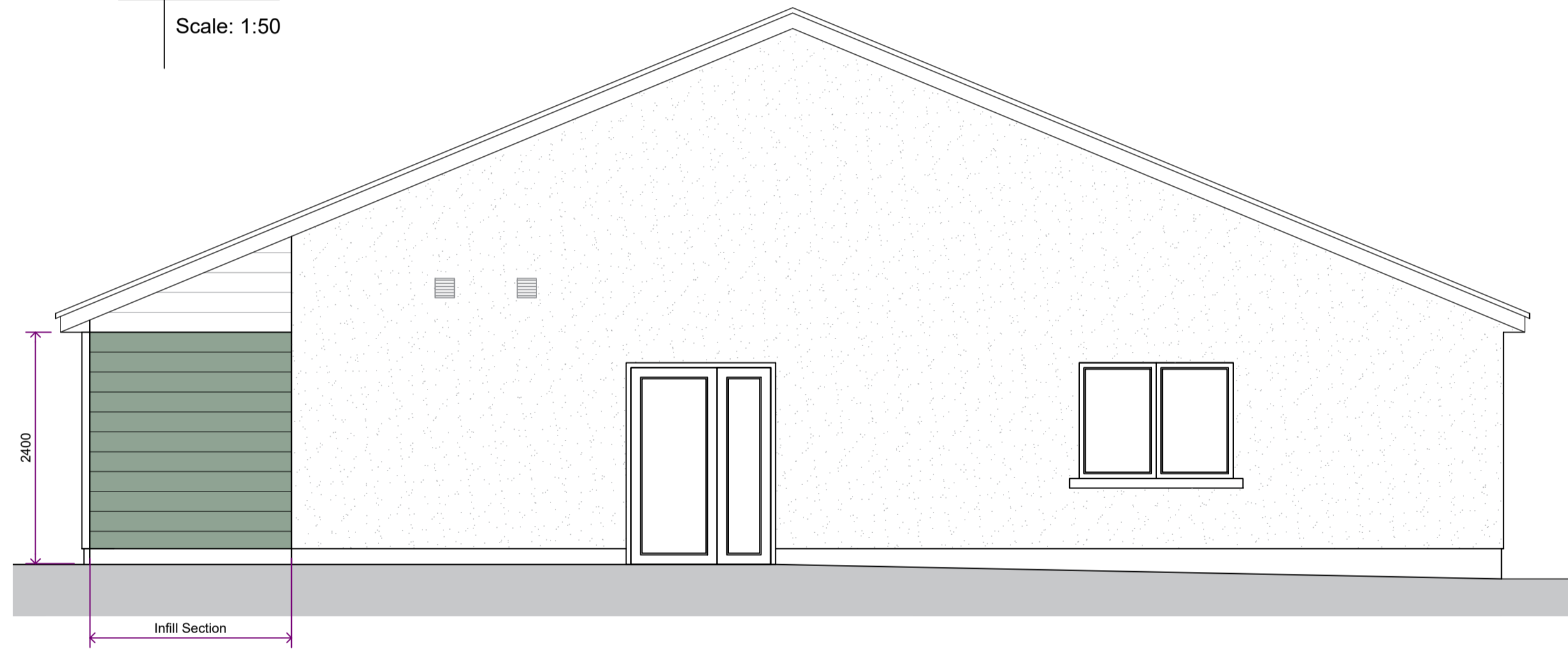
1 PROPOSED SOUTH-WEST ELEVATION

Scale: 1:50



2 PROPOSED SOUTH-EAST ELEVATION

Scale: 1:50



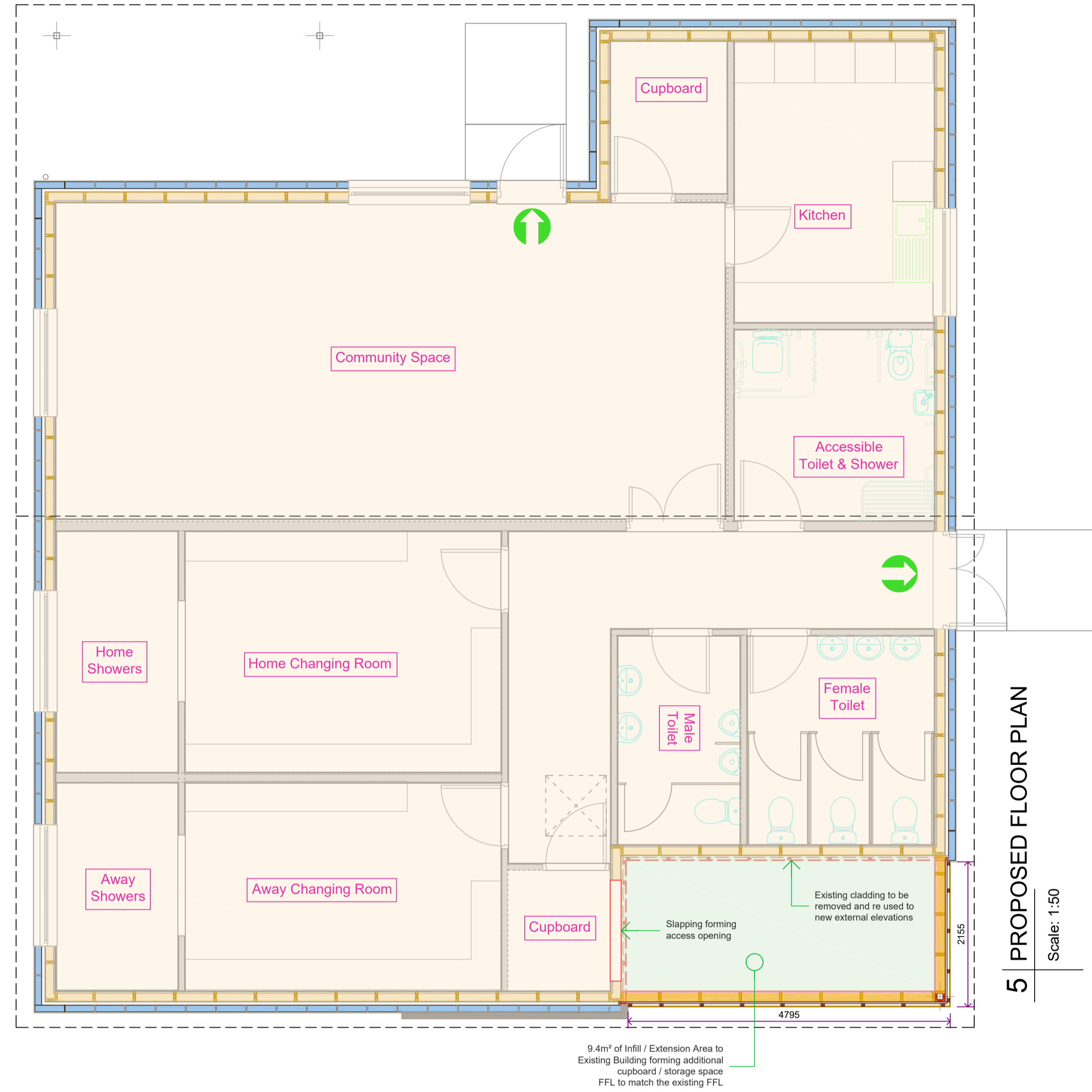
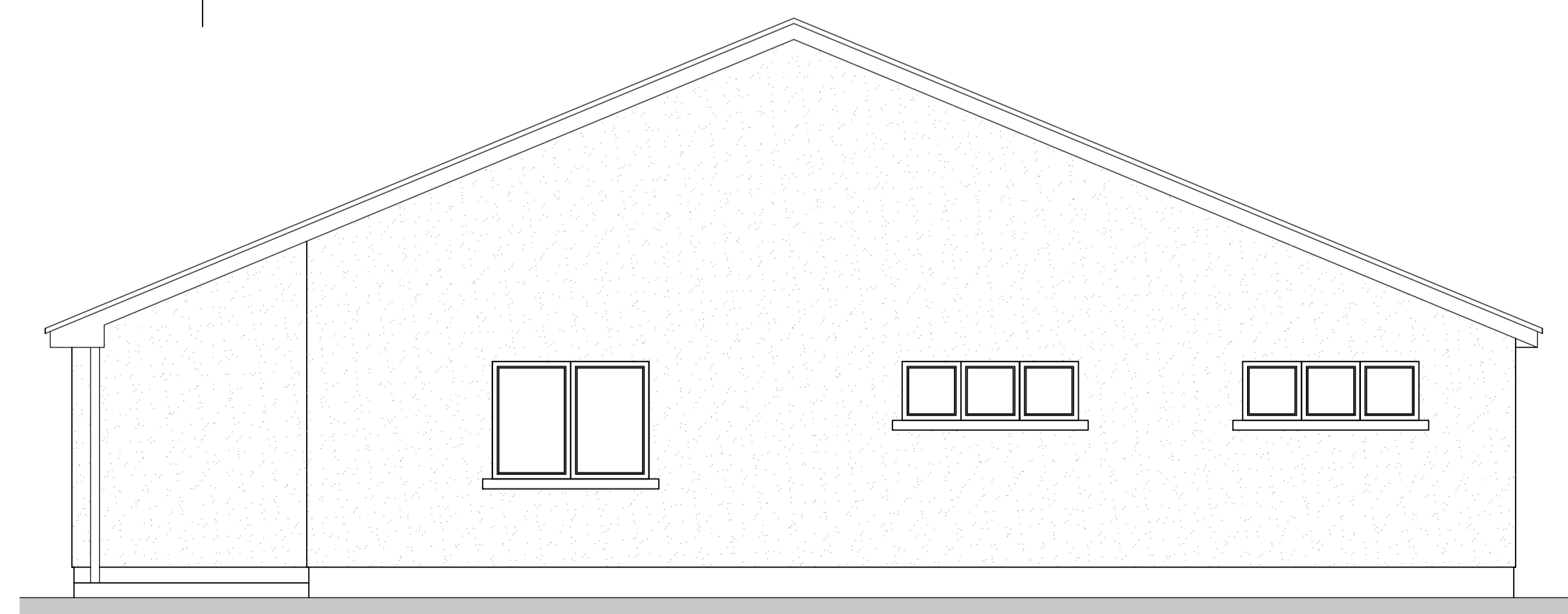
3 PROPOSED NORTH-EAST ELEVATION (No Change)

Scale: 1:50



4 PROPOSED NORTH-WEST ELEVATION (No Change)

Scale: 1:50



5 PROPOSED FLOOR PLAN

Scale: 1:50

BUILDING USE

Building is an Assembly building, infill extension is for storage ancillary to the existing use.

RADON GAS

The proposed extension is not shown as being within a Radon Gas affected area as viewed on the interactive UK radon Mapping, as such no special protective measures are required.

COAL MINING

The proposed extension is not within an area where coal mining has been carried out in the past or is proposed in the future.

HEATING or COOLING

No heating is proposed within the infill extension area however it will form part of the insulated envelope to the building.

FOUNDATIONS

Site to be excavated to formation level. All to be built off natural firm ground conditions to satisfaction of engineer. Ground to have a bearing capacity of 70kN

All foundations to have a minimum ground cover of 450mm.

FLOORS

Cast in situ concrete with mesh reinforcement cast on top of 1000 gauge polythene Damp Proof Membrane with insulation set on 20mm sand blinding over consolidated hardcore laid in layers no greater than 150mm. Floor level to match existing floor level.

EXTERNAL WALLS

To have a blockwork base course with smooth cement basecourse with horizontal Marley Eternit Cedar Weatherboard fixed to insulated timber stud walls.

The existing wall cladding is to be removed and reused on the new part side and gable walls. All colour's and finishes to match as per the existing.

ROOF

No roof cladding or change to the roof is required as the proposals are for the infill of an existing overhang area.

SURFACE WATER DRAINAGE

No additional roof area or area requiring to be drained is formed by the proposals. The existing gutters and downpipes are to remain as they are currently.

ACCESS / ESCAPE

The existing wall is to be opened up to allow access from the existing cupboard, no additional escape doors are required.

GENERAL

All works to be in accordance with the Building (Scotland) Regulations 2004 and all current amendments.

Any structural and external timbers to be pressure impregnated against insect, rot and fungal attack all finishes to be to satisfaction of client

All works to be in accordance with the appropriate statutory bodies requirements and or approvals for the works and use, for example; Perth & Kinross Council Planning & Building Standards, SEPA, Scottish Water & The Scottish Fire & Rescue Service and any other bodies relevant to the proposals.

All proprietary materials to be fitted fixed and installed in accordance with manufacturers current written instructions and or certification documents i.e. BBA certificates.

Any changes from the approved drawings and specification requested by client or contractor are to be fully approved by Planning and Building Standards departments prior to implementation.

Campbell of Doune Ltd cannot accept responsibility for any changes from the approved documents.

REVISION:

DATE:

Campbell of Doune Ltd

Consulting Civil and Structural Engineers

78 King Street, Crieff, Perthshire, PH7 3HB

Job No.

6292-18

Drawing Status

PROPOSAL

Proposed Extension / Infill to Existing Building

AT

Lindsay Park, Kettins, Perthshire

FOR

Kettins Community Hub

Proposed Elevations & Floor Plan

DRAWN

J.Robb

SCALE

As Noted

DATE

09.04.24

DRAWING No.

003

PAPER SIZE

A1

BUILDING DESIGN CLASSIFICATION

BS5502 Class II Agricultural

BS5950 Industrial

Domestic

Other

DESIGN CHECK LEVEL

DCL1 - Self Check

DCL2 - Simple Check

DCL3 - Intermediate Check

DCL4 - Extended Check

CONTACT

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