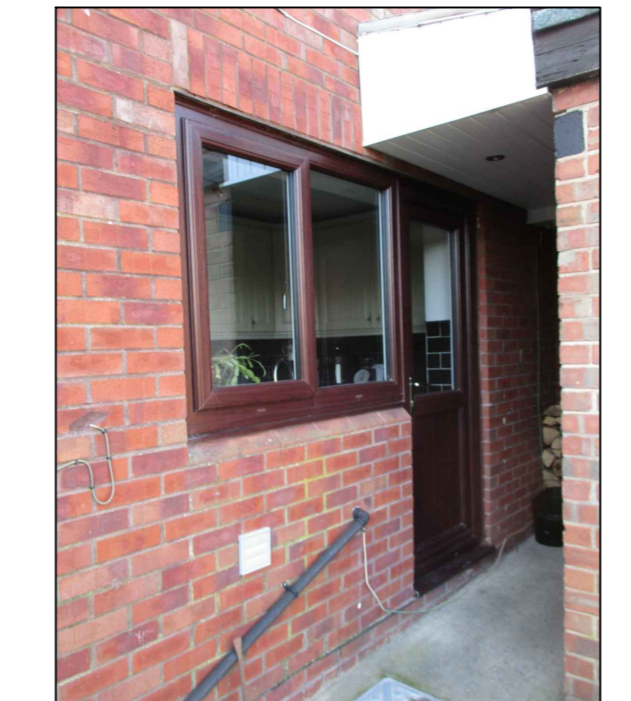




EXISTING IMAGE 01



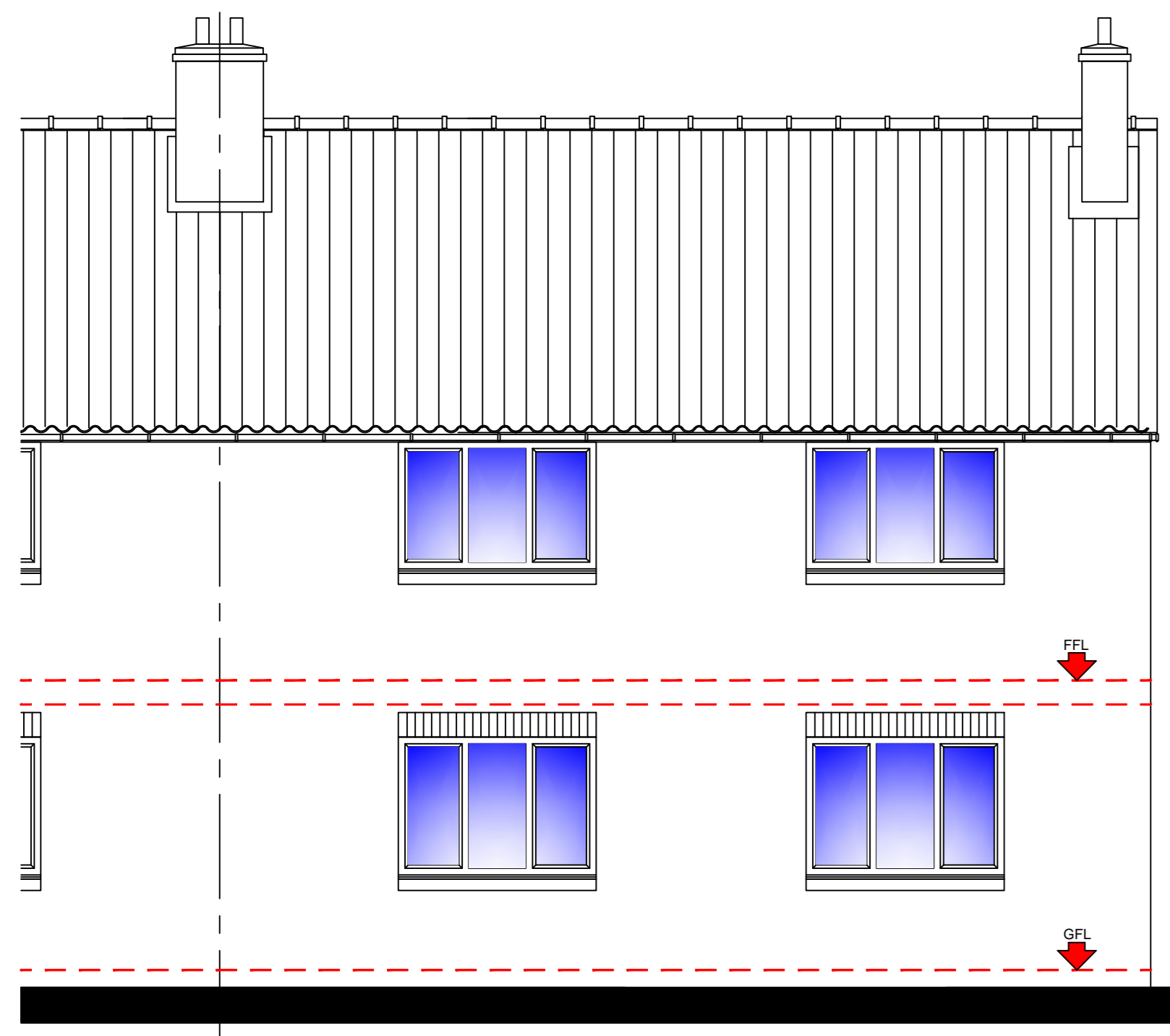
EXISTING IMAGE 02



EXISTING IMAGE 03



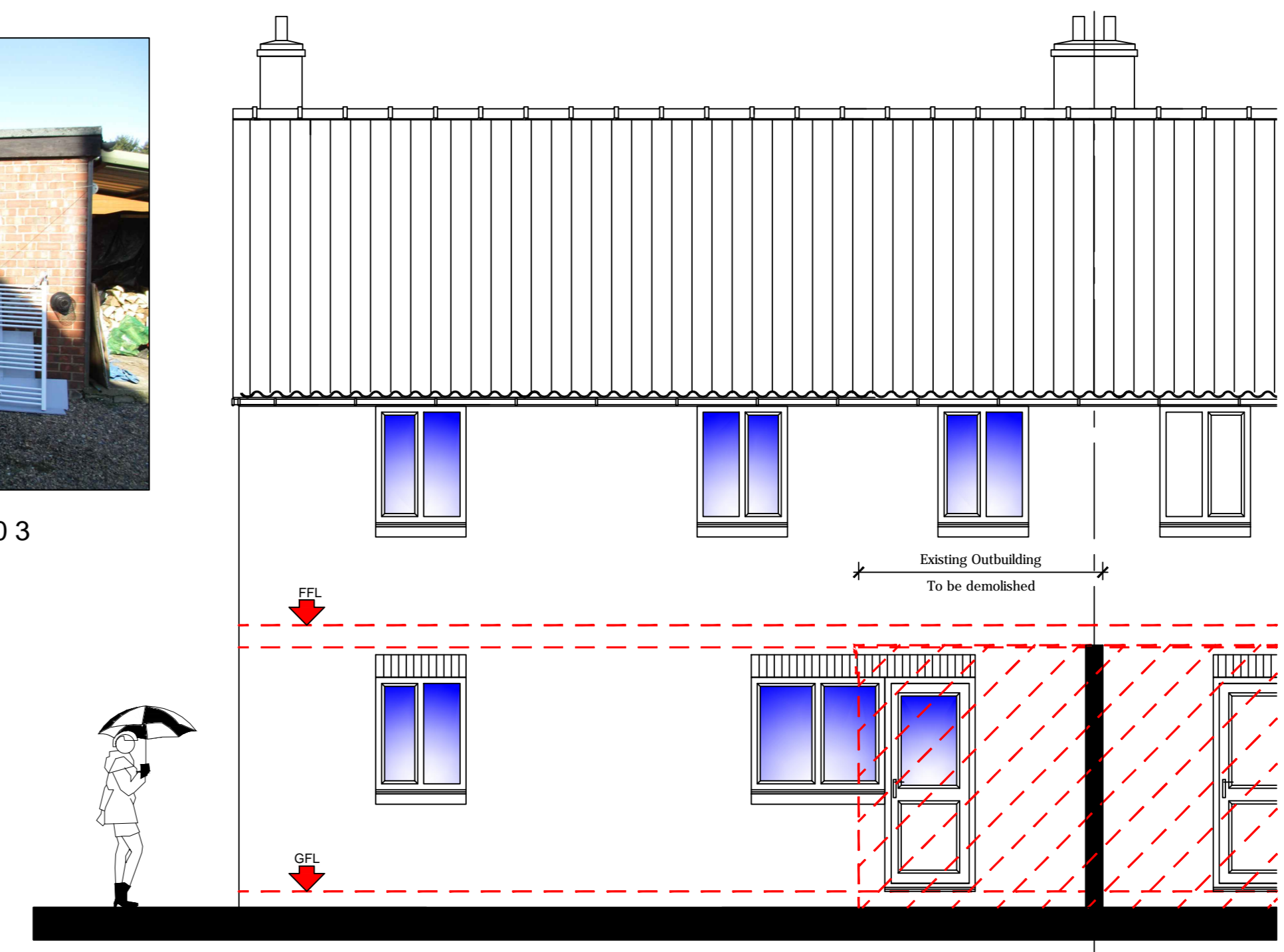
EXISTING IMAGE 04



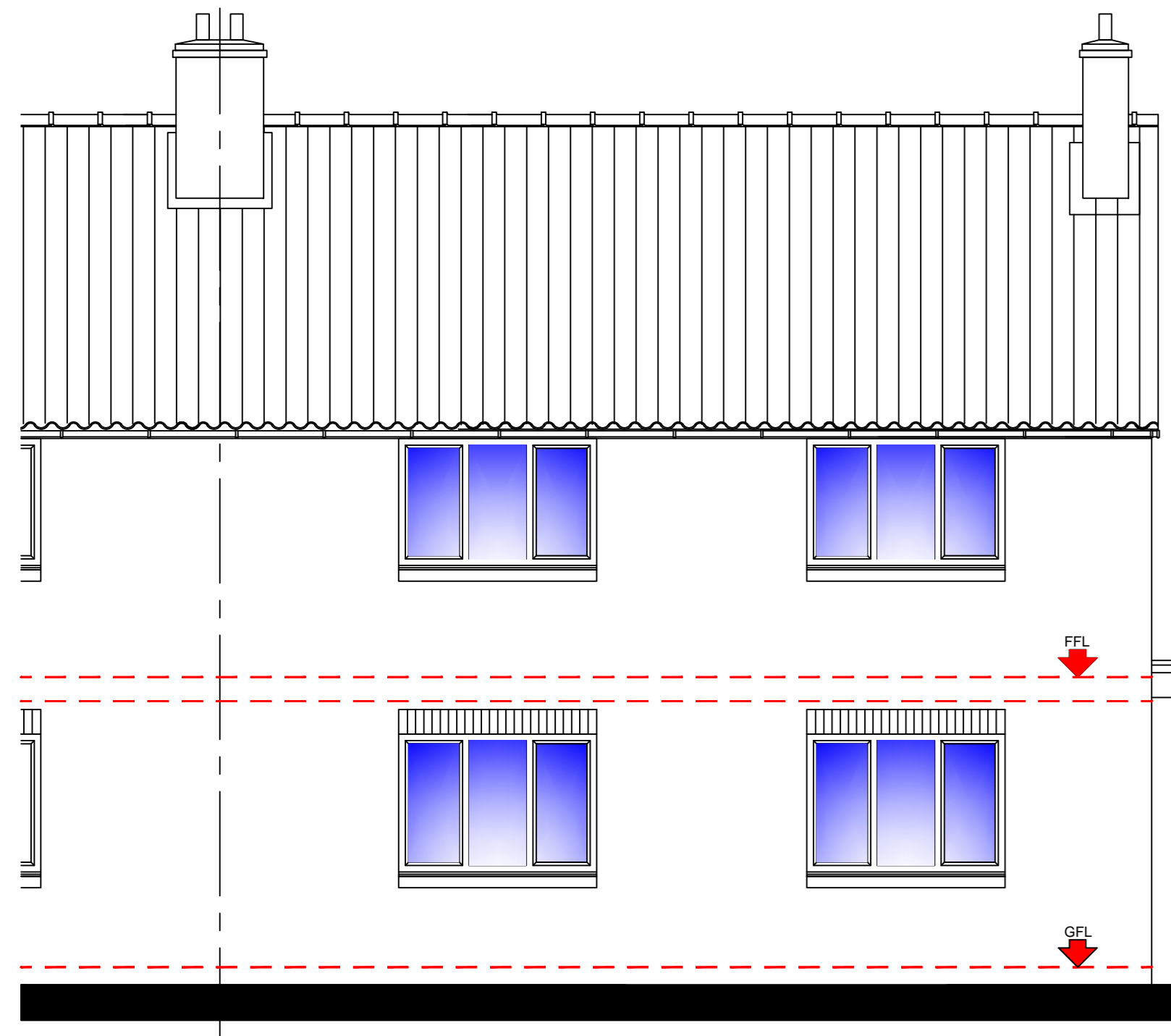
EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION



PROPOSED WEST ELEVATION



PROPOSED SOUTH ELEVATION



PROPOSED EAST ELEVATION

NOTES FOR PLANNING APPLICATION

1. ALL BUILDING MATERIALS ADOPTED IN THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT TO BE TO THE APPROVAL OF THE LOCAL AUTHORITY PLANNING & DEVELOPMENT DEPT.
2. WORKING SAMPLES OF ALL THE MATERIALS TO BE ADOPTED TO BE PROVIDED FOR APPROVAL BY THE LOCAL AUTHORITY PLANNING DEPARTMENT UPON REQUEST.
3. MATERIALS TO BE ADOPTED IN THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT AS SPECIFIED BELOW:
 - A. FACING BRICKWORK: PROPOSED METRIC FACING BRICKWORK TO MATCH THE EXISTING PROPERTY & STRUCK POINTED IN NATURAL SAND CEMENT MORTAR.
 - B. ROOF FINISH: PROPOSED ROOF COVERING TO BE OF GLASS REINFORCED PLASTIC MEMBRANE ON FLAT ROOFING MEMBERS - GREY.
 - C. EXTERNAL DOORS & WINDOWS: PROPOSED DOORS & WINDOWS OF UPVC ALUMINIUM OR UPVC (MAGOGANY) IN A STYLE TO MATCH THE EXISTING PROPERTY COMPLETE WITH ALL DOUBLE GLAZED HERMETICALLY SEALED UNITS.
 - D. RAINWATER MATERIALS: PROPOSED RAINWATER GOODS INCLUDING SECRET GUTTERING TO DISCHARGE INTO UPVC DOWNPIPES TO MATCH EXISTING PROPERTY & SUPPORTED FROM UPVC FASCIA / SOFFIT BOARDING.

DRAINAGE SPECIFICATION:

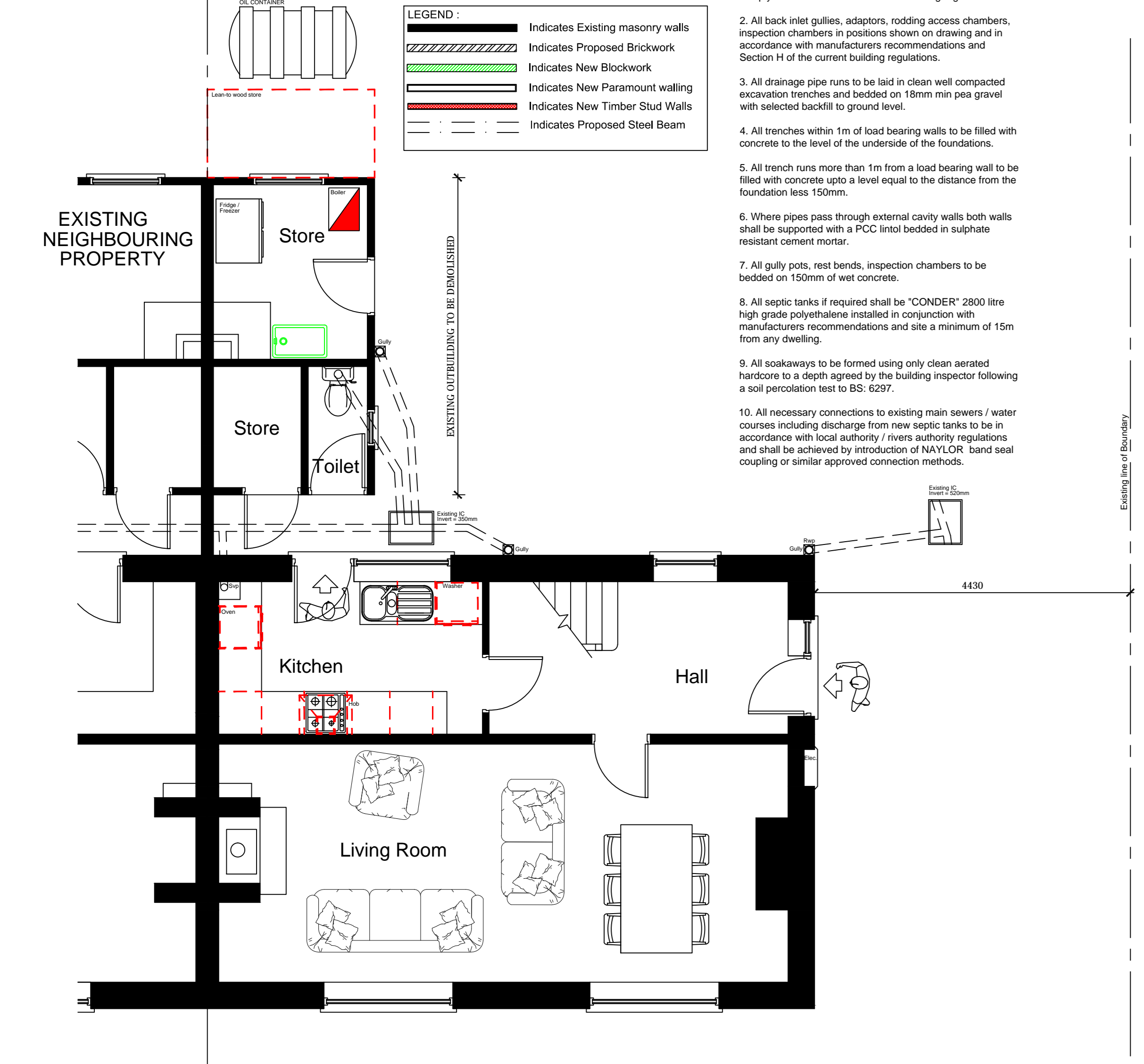
1. All new drainage pipework to be of HEPWORTH clay or plastic to diameters indicated on drawing complete with polypropylene couplings, bends, junctions, rest bends laid in accordance with manufacturers recommendations & to comply with Section H of the current building regulations.
2. All back inlet gullies, adapters, rodding access chambers, inspection chambers in positions shown on drawing and in accordance with manufacturers recommendations and Section H of the current building regulations.
3. All drainage pipe runs to be laid in clean well compacted excavation trenches and bedded on 150mm fine pea gravel with selected bedding to ground level.
4. All trenches within 1m of load bearing walls to be filled with concrete to the level of the underside of the foundations.
5. All trench runs more than 1m from a load bearing wall to be filled with concrete upto a level equal to the distance from the foundation less 150mm.
6. Where pipes pass through external cavity walls both walls shall be supported with a PPC lintel bedded in sulphate resistant cement mortar.
7. All gully pots, rest bends, inspection chambers to be bedded on 150mm of wet concrete.
8. All septic tanks if required shall be "CONDOR" 2800 litre high grade polyethylene installed in conjunction with manufacturers recommendations and a minimum of 15m from any dwelling.
9. All soakways to be formed using only clean aerated hardcore to a depth agreed by the building inspector following a soil penetration test to BS: 6597.
10. All necessary connections to existing main sewers / water courses including discharge from new septic tanks to be in accordance with local authority / water authority regulations and shall be achieved by introduction of NAYLOR band seal coupling or similar approved connection methods.

LOG BURNING STOVE / FLUE:

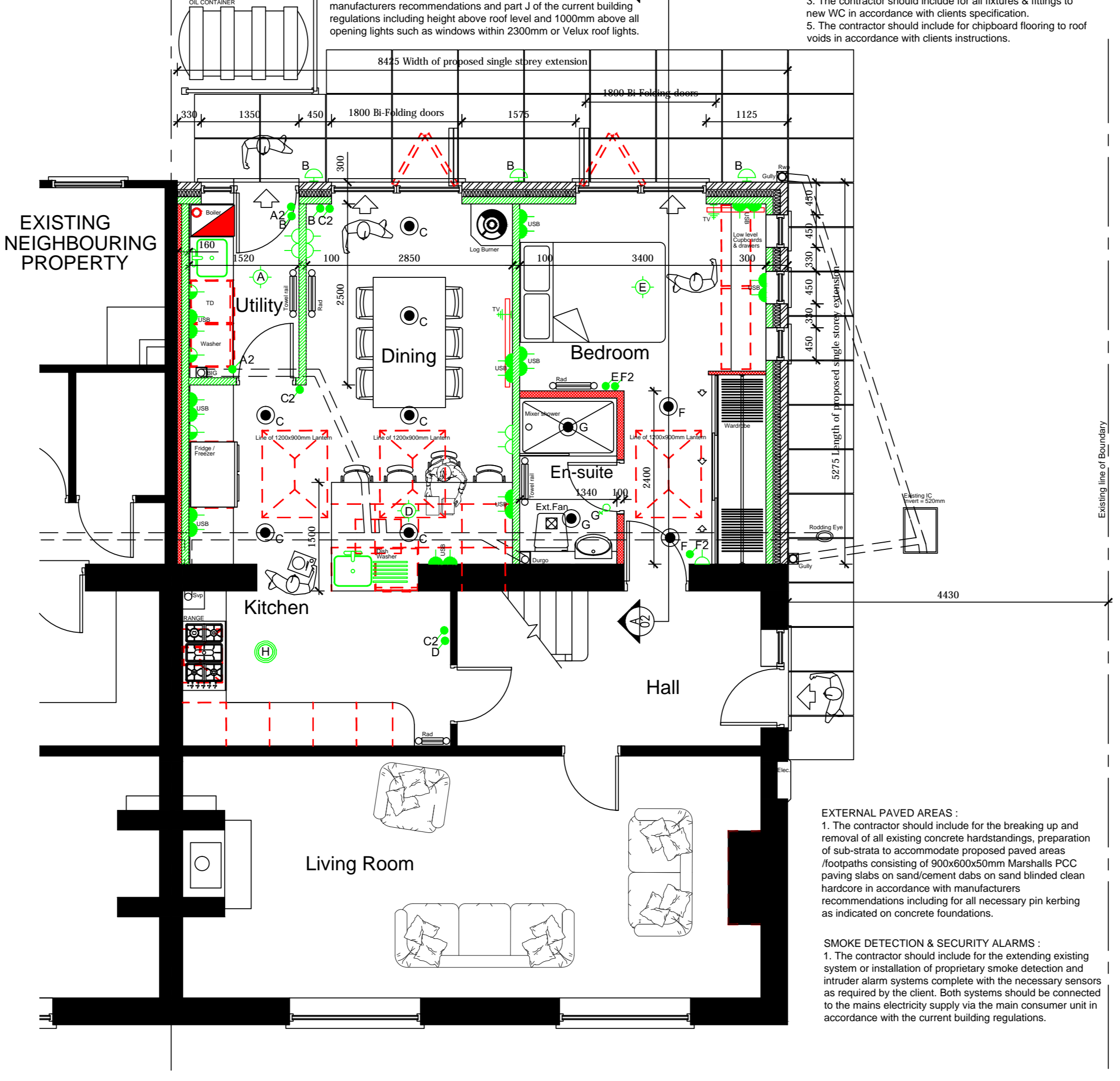
1. Proposed log burning stove to clients specification to be installed in accordance with manufacturers recommendations and part J of the current building regulations.
2. All proposed flue linings to be installed in accordance with manufacturers recommendations and part J of the current building regulations including height above roof level and 1000mm above all opening lights such as windows within 2000mm of valve roof lights.

FIXTURES & FITTINGS:

1. The contractor should include for the installation of the proposed fitted kitchen including all integrated appliances in: washer, dish washer, tumble dryer, fridge/freezer/cooker & hob or range as specified by client and in accordance with manufacturers design.
2. The contractor should include for fitting shaving where shown in accordance with clients specification.
3. The contractor should include for all fixtures & fittings to new WC in accordance with clients specification.
5. The contractor should include for chipboard flooring to roof voids in accordance with clients instructions.

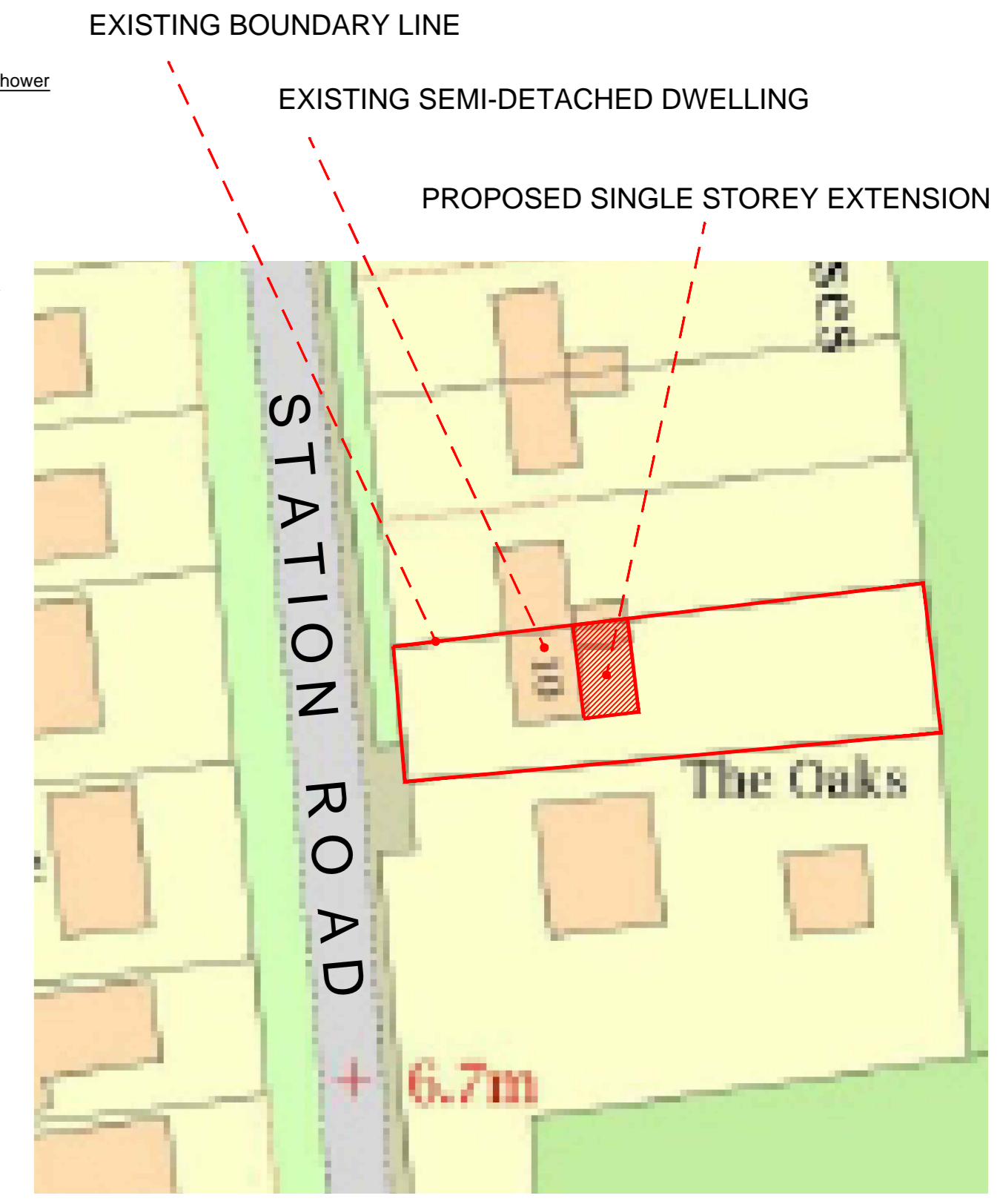


EXISTING GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

0m 5m 10m 15m
SCALE BAR > 0-15m @ 1:50



BLOCK / ROOF PLAN 1:500
SCALE BAR > 0-50m @ 1:500

LOCATION OF PROPOSED SINGLE STOREY EXTENSION



LOCATION PLAN 1:1250

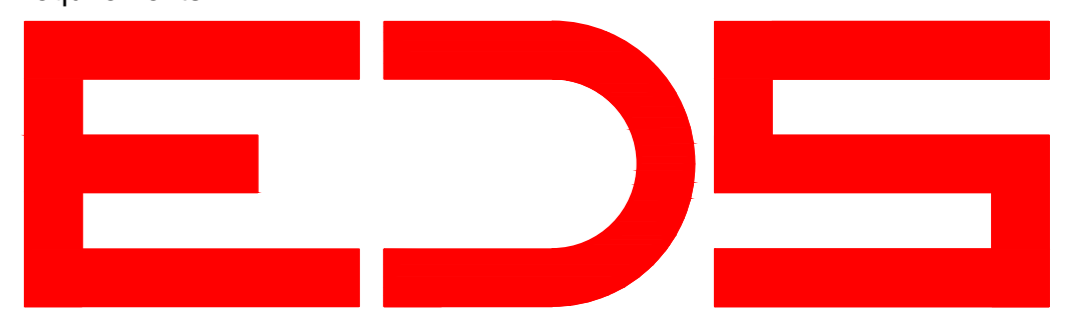
SERVICES KEY:

- HEATING KEY:
 - Gas or Oil fired boiler
 - Radiator
 - Towel Rail
 - Heating control
- ELECTRICS:
 - Single socket low level
 - Double socket low level
 - Single socket high level
 - Double socket high level
 - Double socket high level (with USB)
 - Single socket low level with HI switch
 - Electrical Vehicle High level charging socket
 - Single external high level socket with cover
 - Light switch (one gang)
 - Light switch (two gang)
 - Light switch pull cord (one gang)
 - Dimmer switch
 - Push button time switch
 - Pendant light fitting
 - Recessed down light
 - Wall mounted light fitting
 - Shaving single socket
 - Wall mounted light movement sensor
 - Fluorescent tube lighting
 - Consumer Unit
- VENTILATION:
 - Ceiling mounted extract fan
 - Wall mounted extract fan
 - Cooker hood extract fan
- OTHER SERVICES:
 - Instantaneous Electric Shower
 - Telecom
 - Television Aerial socket
 - Smoke Detector
 - Carbon monoxide alarm
 - Heat sensor
 - Bell chime
 - External water tap
 - Sun-Tunnel

GENERAL NOTES:

1. The contractor shall make arrangements with the client to visit the site prior to preparation of the Tender to ascertain existing ground conditions. He shall undertake an exploratory excavation to expose existing foundations, and if necessary instruct a licensed geotechnical engineer or registered civil engineer to conduct a soil investigation report. He shall consider the existing water table and the possible requirement for concrete piles. He shall also take the proximity of existing services (water / gas / electricity / drainage) into account and make provision with regard to local conditions and the full extent and character of the works in the context of the proposed development. He shall be deemed to have satisfied himself as regards existing conditions and generally to have obtained his own information on all matters affecting the works and if necessary make provision for engaging specialist consultants or sub-contractors to complete a thorough investigation of the proposed site.
2. All sizes shown on this drawing are in millimeters and should be checked on site to verify prior to ordering and fabrication of materials. Do not scale dimensions from this drawing. Work to figured dimensions in all cases.
3. All materials to be of a suitable nature and quality.
4. The contractor must establish the position of all existing services and include for any modifications and or renewal of services affected by the alterations and include for all costs involved. Any work to be carried out in strict accordance with Statutory Authority requirements.
5. All work is to be in accordance with the current Building Regulations and Approved Documents and to be to the satisfaction and approval of the Local Authority. A Building Notice should be submitted to the Local Authority Building Control Dept. with relevant fees no less than 48 hours prior to starting work on site.
6. All structural timber used to be C16 stress graded.
7. All electrical works to conform to N.I.C.E.I. regulations and to meet the requirements of Part P (Electrical Safety). All work to be designed, installed, inspected and tested by a member of the competent person scheme or a registered electrician who can issue a Certificate of Compliance to the client. Positions and number of fittings to be agreed with the client prior to the installation.
8. If new heating system is installed, new installation is to be of condensing boiler type class A or B and have a minimum efficiency (SEDBUK rating) of 86% for mains natural gas. Installations are to be carried out by approved and registered engineers. Comp Registrars for gas installations or OTEC for oil installations. New installations are to conform to Part J of the Building Regulations and should also meet BS5410 and be in accordance with Part L5 of the Building Regulations. Full specification for heating system to be provided to the Building Inspector if required.
9. All new windows to be purpose made UPVC casement type, style to match existing house with a top hung opening light on security cam opening sash to be agreed with the client. All glazing in windows to be 240mm double glazed sealed units (416x4) with a 16mm air filled gap and Low E coating having a U value of max. 1.8 w/m² K and to comply with Part L of the Building Regulations. All rooms to have a min. 1.00m² of the floor area in operable windows. Trickle ventilation is to be provided to give background ventilation of 8000mm³ to habitable rooms and 4000mm³ to non-habitable rooms. All glazing to critical locations (less than 800mm above floor level) is to be toughened safety glass and satisfy the requirements of Class C of BS6266.
10. The contractor shall accept all liability in using any information from this drawing which has been produced to obtain planning permission if required and/or in tendering the proposed works.
11. The contractor shall accept all liability when working on and adjacent to the neighbouring property, preparing for and ensuring that all necessary work shall be completed in a safe and secure manner and taking all appropriate measures to maintain a clean and weather tight environment. Any damage to the clients property or to neighbouring properties caused by the contractor or as a result of the contractors neglect shall be rectified immediately by the contractor to a standard acceptable to the client / neighbour. Any disturbance to the client or the neighbours caused by the contractor shall also be rectified immediately.

REVISION 'E' (APRIL 2024)
Drawing revised to "CONSTRUCTION" status in accordance with clients requirements.



Client:
MR & MRS M.SAVAGE

Site Address :
**10, STATION ROAD,
FOGARTHORPE
NR SELBY,
YO8 6PU.**

Project:
**PROPOSED SINGLE STOREY REAR
EXTENSION & INTERNAL ALTERATIONS.**

Drawing Title:
**CONSTRUCTION STATUS : SCHEME "B"
GENERAL ARRANGEMENT OF EXISTING &
PROPOSED FLOOR LAYOUT PLANS &
ELEVATIONS.**

Drawing Scale : Date :
1:50 / 1:500 / 1:1250 MARCH 2024

Drawing Number: Rev:
H.CON.03.24.01 B