

**Flood Risk Assessment**

**Address:**

252 High Street, Croydon, CR0 1PG

**Description of Development:**

Alteration and Conversion of Ground Floor to provide 2 units (1x1 bed and 1x2 bed) C1 apartments utilising associated integrated refuse area and cycle storage.

**Applicant:**

STERLING ROSE HOMES c/o MM6 Investments Ltd

**PLANNING APPLICATION:**

LB Croydon and REF: 24/01381/FUL

April 2024

**Author Background**

## STERLING ROSE HOMES

Mr Miheer Mehta is an award winning Property Entrepreneur with over 20 years of Town Planning and Development experience within Greater London. He was a former Local Authority Planner with around 8 years of Local Government experience as a Development Management Senior Principal Planner with delegated authority at various London Boroughs, which include the London Boroughs of Lewisham, Camden and Ealing from 2006 to 2014. During his time within Local Authority, he has approved in excess of 2,000 homes across London and therefore holds a very expert understanding of Local Government matters.

Subsequent to his experience in Local Authority, he went on to create a planning gain company which sought to unlock primarily, brownfield development within Town Centres and Suburban Area within Greater London and to provide faster planning solutions across sites to provide mixed-use housing and a range of new housing for first time buyers. In 2015, he created Sterling Rose Homes and has led the business to gain planning consent for in excess of 2,500 homes since 2015 and has built more than 1000 new homes for first time buyers, young professionals and families during this time. He has also created a significant build to rent portfolio for working professionals within high PTAL locations around London and fully understands the needs of all aspects of the planning, construction and development process to also include the demands of occupiers too. He currently houses in excess of 500 tenants.

With his wealth of knowledge and expertise, he continues to understand and seek positive outcomes, working with all required stakeholders to gain new housing outcomes across Greater London at pace. He personally is involved in every element of the design process and pays meticulous care and attention to the appearance and layout of each new development.

# STERLING ROSE HOMES

This Flood Risk Assessment (FRA) Statement has been prepared by Sterling Rose Surveyors in support of the Planning Application. This FRA should be considered in conjunction with the accompanying plans and documents.

The FRA will consider the impact of the proposal on three main areas potential flood risk:

- 1) Flood risk from rivers or the sea,
- 2) Flood risk from reservoirs and
- 3) Flood risk from surface water

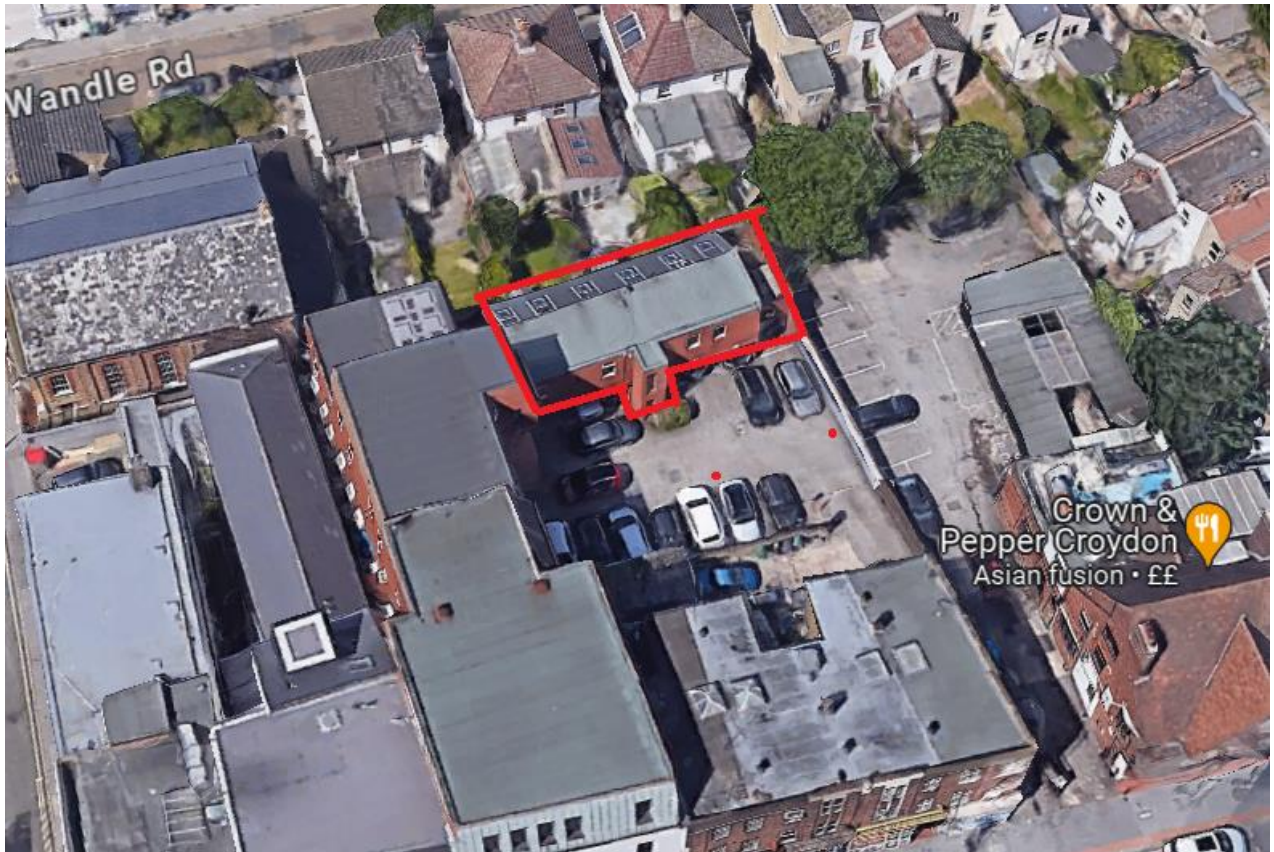


Figure 1: Site Location – specific area of proposal in red

## Site Description

The application site comprises a 'two-storey' building of which has residential at upper floor and an undercroft area at ground level which currently stores cars but is not used by the occupiers of the residential units. It is just an area of hardstanding and therefore an area where users are parking cars. This is not established parking.

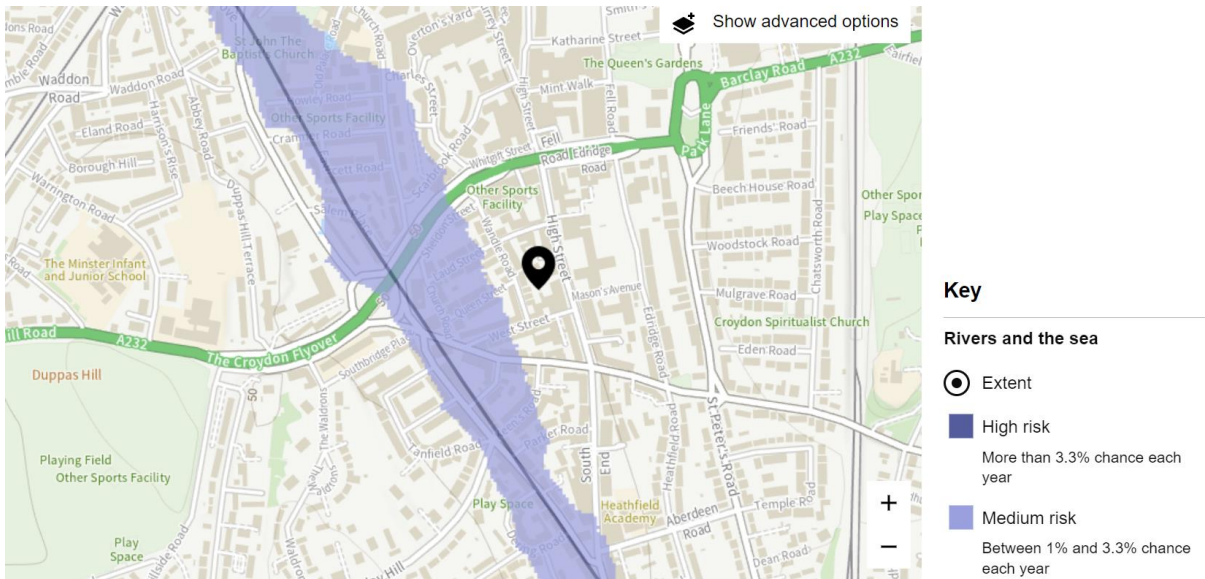
The site has a very high PTAI rating.

The area is mix in commercial and residential.

# STERLING ROSE HOMES



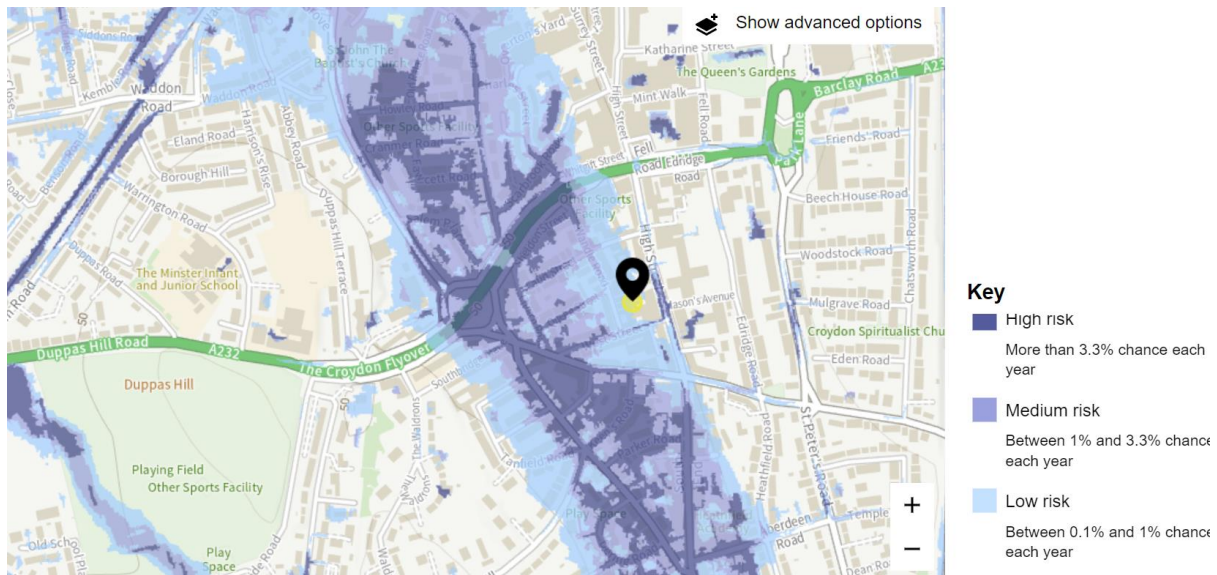
## Flood Risk from Rivers or Sea or Reservoirs



The host site does not sit within or in close proximity to an area of flood risk from rivers and the sea or reservoirs.

It is therefore considered that flooding from rivers and the sea or reservoirs is not a concern in relation to the overall flood risk of the proposal.

## Flood Risk from Surface Water



The site does sit within an area of “low” risk in relation to flooding from surface water.

This has been carefully considered throughout the proposal so as to not have a long-term impact on the site and surrounding sites.

## Flood Mitigation

It should be noted first that the proposal is just for conversion and alterations to the ground floor area. There is no substantial built form and there are already ground floor consented residential units within the wider site area.

As stated, the site does sit within an area of “low” flood risk in relation to flooding from surface water. The measures have been implemented to mitigate the potential increase in surface water flood risk.

- 1) Any additional surface water will be directed into the wider drainage system on site which is not required but will be included within the site.
  - 2) All specified paving and surfaces are to be permeable.
  - 3) The proposal will also include vegetation on site such as the Photinia Red Robin, this will help to aid with surface water drainage.
  - 4) Water butts will be installed with effective use of sustainable guttering
- It is believed that this proposal will be both functional and sustainable in the long run in relation to potential issues from flooding.

For a simple proposal of this type, it is excessive to include a mitigation strategy although the applicant will ensure flood risk management and maintenance.