

Washbourne Consulting

urban + rural town planning and property advice

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By email only

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Dear Polly,

BROADLANDS NURSING HOME, 51 BURDON LANE, CHEAM, SUTTON SM2 7PP FULL PLANNING APPLICATION SUBMISSION ON BEHALF OF AIMS CARE GROUP LTD

We write on behalf of our client, Aims Care Group Ltd (Aims Care), for whom we are today submitting a full planning application for minor works at Broadlands Nursing Home (Broadlands), an existing care home property accessed from Burdon Lane. Our client seeks full planning permission for the following form of development:

“Erection of a single storey rear extension following the demolition of the conservatory; and external alterations”.

Our application has been submitted via the Planning Portal (ref: PP-12954981) and comprises the following documents:

- this planning cover letter;
- planning application form;
- CIL form;
- drawings produced by our client’s architects, Architected Design, as follows:

| Drawing reference | Drawing Title | Scale and Size |
|-------------------|--|------------------------------|
| 23-504-300 | Proposed Site, Block & Location Plans | 1:200, 1:500 and 1:1250 @ A1 |
| 23-504-301 | Existing Site Plan and Existing Ground Floor Plan | 1:200 and 1:100 @ A1 |
| 23-504-302 | Existing First Floor Plan, Existing Roof Plan and Existing Second Floor / Attic Plan | 1:100 @ A1 |
| 23-504-303 | Existing Elevations | 1:100 @ A1 |
| 23-504-304 | Existing Site, Block & Location Plans | 1:200, 1:500 and 1:1250 @ A1 |

| Drawing reference | Drawing Title | Scale and Size |
|-------------------|------------------------------|----------------|
| 23-504-305, RevC | Proposed Ground Floor Plan | 1:50 @ A1 |
| 23-504-306, RevB | Proposed First Floor Plan | 1:50 @ A1 |
| 23-504-307, RevB | Proposed Second Floor Plan | 1:50 @ A1 |
| 23-504-308, RevA | Proposed Roof Plan | 1:50 @ A1 |
| 23-504-309, RevB | Proposed Rear Elevations - 1 | 1:50 @ A1 |
| 23-504-310, RevB | Proposed Rear Elevations - 2 | 1:50 @ A1 |
| 23-504-311, RevC | Proposed Rear Elevations - 3 | 1:50 @ A1 |
| 23-504-312, RevB | Proposed Context Elevations | 1:100 @ A1 |

1) Application Proposal

As you will be aware from our site visit on 26th January, the care home has been permanently closed down since April 2022. Since then, Aims Care have endeavored to bring the property into a viable use again, although have not yet presented a scheme acceptable to the Council. The property was subject to a dismissed appeal (ref: APP/P5870/W/23/3320331) in 2023, and a pre-application meeting earlier this year with yourself (ref: PRE2023/00182) – both of which sought more large-scale redevelopment of the site than the proposal enclosed.

In light of the pre-application written response, we herein present a significantly smaller-scale proposal to redevelop the rear extension to facilitate the main 3-storey building, i.e. the property excluding the annexe wing, becoming operational again as a modern, high-quality care home. Internal works are currently being carried out to modernise and better re-configure the property. No development works are proposed for the annexe wing, albeit the two elements of the property will be separated, and the annexe wing will continue to house Aims Care's healthcare staff who work solely for the company. The separation will lead to the removal of the chimney stacks on the right-hand side. The chimney stacks on the left-hand side are proposed to be removed due to structural concerns.

Car parking and all highways-related matters remain unaffected by the scheme proposal.

2) Site Description and Context

The application site has a site area of 1,712sqm (0.17ha or 0.42 acres) and comprises a three-storey detached property bordered to the east and west by Manor Road and Burdon Lane, respectively. The site is situated within the Burtons Estate Area of Special Local Character (ASLC). The property was originally an Edwardian family home that was converted some years ago (seemingly the 1980's) into a nursing home for the elderly.

The Officer's Report of the 2022 outline scheme described the site and surroundings as follows:

“The application site is located on the North Eastern side of Burdon Lane, close to the junction with Manor Road, which runs across the rear of the site. The site is a broadly rectangular plot which fronts Burdon Lane. The site comprises a detached building which has been extended over the years and currently has lawful use as a 24 bed care home (C3 use).

The immediate surrounding area is predominately residential in nature and is characterised by detached dwellings set within large plots of land, set back from the public highway.”



Figure 1: Aerial view of the site, outlined approx. in yellow

There are no trees on site; nor any priority habitats or ecology designations within close proximity. Shrubbery hedging separates the two rows of garages and is not believed to be of any particular ecological value.

The site is not located within a conservation area – and there are no designated or non-designated heritage assets nearby. The site is within Flood Zone 1 and has a PTAL of 2.

2. Planning History

There have been a number of planning applications relating to this site since 1968, the majority of which are for various extensions to the building. The Site's key planning history is summarised in the table below.

| App ref | Description | Decision |
|--------------|--|---|
| DM2022/01041 | Demolition of the existing detached care home and erection of 2x two storey detached care homes, both with a basement and staff areas in second floor/roof space (Outline) | Refused (05/12/22) Appeal dismissed (25/10/23) |
| A2016/74231 | Reconstruction and enlargement of a rear single storey extension, first floor rear extension, demolition of part of a rear single storey extension, demolition of a single storey side extension and reconstruction and enlargement of a two storey extension and removal of side dormer and provision of 2 rear dormers. Creation of a basement to provide additional accommodation, demolition of existing chimney stack and provision of new stack and alteration to elevations | Non-determination Appeal allowed (19/10/16) |

| App ref | Description | Decision |
|-------------|---|--|
| A2008/59465 | Redevelopment to provide two 6-bedroomed detached houses with integral garage and access onto Burdon Lane and Manor Road | Granted (10/06/08) |
| A2002/49735 | Erection of two detached 6-bedroomed houses each with roof accommodation and integral double garage (one fronting Burdon Lane and one fronting Manor Road) | Granted (07/04/03) |
| 85/28282 | Erection of single storey rear extension a first floor flank extension and use of 2nd floor of premises for staff & office accommodation in connection with existing Nursing Home | Granted (20/11/85) Renewed (05/12/90) |
| 81/23133 | Conversion of ground floor of premises into a nursing home & erection of single storey rear extension | Granted (25/08/81) |

In summary, the first (publicly available) planning application that relates to the site's use a care home in its description of development was approved in 1981 (app ref: 81/23133): *"Conversion of ground floor of premises into a nursing home & erection of single storey rear extension"*.

3. Planning Considerations and Assessment

The development plan consists of the London Plan (March 2021) and the Local Plan (February 2018). Also of relevance are the Design of Residential Extensions SPD (2006) and Urban Design Guide SPD (2008).

The Council are currently reviewing its Local Plan. The first stage of consultation on the Issues and Preferred Options document, initially scheduled for 2023, has been delayed. Given the early stage, there are no emerging policies published which would materially impact the assessment of this appeal scheme.

There are no significant site constraints or designations affecting Broadlands and the rear works development proposal submitted for planning permission.

A summary of the key policies relevant to this application are set out below:

Key London Plan (2021) Policies

- Policy D1 (London's form, character and capacity for growth)
- Policy D3 (Optimising site capacity through design-led approach)
- Policy D4 (Delivery good design)
- Policy D5 (Inclusive design)
- Policy D7 (Accessible Housing)
- Policy D12 (Fire Safety)
- Policy D14 (Noise)
- Policy H12 (Supported and specialist accommodation)
- Policy S2 (Health and social care facilities)
- Policy HC1 (Heritage and conservation growth)

Key Sutton Local Plan (2018) Policies

- Policy 1 (Sustainable Growth)
- Policy 11 (Communal Accommodation and Specialist Housing)
- Policy 28 (Character and Design)
- Policy 29 (Protecting Amenity)
- Policy 30 (Heritage)

a) Principle of Development

The *principle* of development is not in question, and our client's application wholly accords with prevailing planning policy and guidance. Fundamentally, demolition of the unsightly conservatory, which serves little functional purpose, and its replacement with the proposed rear extension will serve a significantly better configured property, by providing an activities room and a larger main lounge / dining room.

Whilst not insubstantial in terms of size, the proposed extension is nevertheless significantly smaller than the existing conservatory and will ultimately result in a downsize. The proposed extension makes good use of the rear of the site following a design-led approach that optimises the capacity of the site. As such, we consider the scheme to be an appropriate form of development.

b) Design

Local Plan Policy 28 states the Council will only grant planning permission for extensions if the new development respects the local context and responds to the local character of an area. New extensions must be of a suitable scale, massing and height to the setting of the site.

The 'Design of Residential Extensions' SPD and 'Urban Design Guide' SPD seek to ensure that developments respect or reinforce the character and identity of the area and avoid developments which do not integrate well into the surroundings. The 'Design of Residential Extensions' SPD advises that the design of any extension should always be sympathetic to the appearance of the original dwellings. Therefore, existing characteristics should be retained and respected. It adds that single storey rear and side extensions should normally read as a subordinate addition to the main dwelling.

Broadlands has been subject to a number of poorly built extensions over the years (prior to Aims Care's purchase of the site). These lacked any type of 'functional element' in favour of adding additional bedrooms. Combined with a lack of maintenance over the years, this resulted in the existing building reaching the end of its functional life. The building has lost any historic or architectural features and appears very unbalanced in size and shape, abutting its neighbouring properties almost completely and not matching any of the neighbouring buildings in any way, shape or form. The existing conservatory is very much one of these low-quality, poorly maintained, unoriginal elements of the property.

Having explored, unsuccessfully, more large-scale redevelopment options for the scheme, as discussed in section (1) above, Aims Care's enclosed application is now the most appropriate development option, in terms of viability and policy compliance.

The proposed extensions will be of a lesser height, depth and width than the existing conservatory and is therefore in full compliance with the above. The proposed development measures approx. 4.3m deep (at its deepest section), 7.6m wide and 3.3m high. It is a flat roof extension designed to provide space for an activities room and an enlarged main lounge and dining room. The existing conservatory to be demolished is 48sqm, compared to the rear extension of 14sqm (both GIA). Combined with the area to be demolished due to the separation of the main proposal and annexe (31sqm), the development proposal would result in a total net loss of 74sqm floorspace (GIA).

Further, the proposed form and materials, rendered to match existing, will also be more sympathetic to the host building and ASLC.

Overall, the design, nature and depth of the proposed development would be proportionate and sub-ordinate to the existing host building and would mark a significant improvement from the current situation by blending in well with the context of the character and appearance of the host building and the special characteristics of the surrounding ASLC area, in line with Policy 28 and the SPD guidance. The scheme is therefore wholly acceptable in design terms.

c) Residential Amenity

The matter of harm to neighbouring amenity was raised as a significant concern in the pre-app written response, and a key benefit of the enclosed design solution is that such concerns fall away.

The extension will be single-storey and a significant distance from the neighbouring properties. As such, the new extension will not give rise to ill-effects insofar as privacy, overlooking, outlook, general neighbourliness or impacts on daylight or sunlight. Consequently, the application proposal complies with Local Plan Policy 29 and the scheme is wholly acceptable in residential amenity terms.

We trust you have all the documents and information required to validate and determine our client's application as expeditiously as possible. In the event you require anything further from us at this stage, or if additional information would be helpful, please do not hesitate to contact either my colleague, Chris Constanti, or myself.

Lastly, we trust that our client's application will be supported by the Council – and we look forward to discussing the application with you shortly.

Yours sincerely,



M D Washbourne MRICS
Director

Enc. As described above.

Appendix 1: Internal photos of High View Care Centre, 286 Fir Tree Road, Epsom

