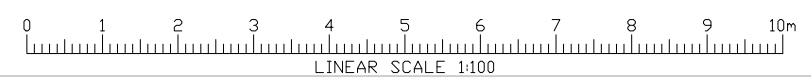
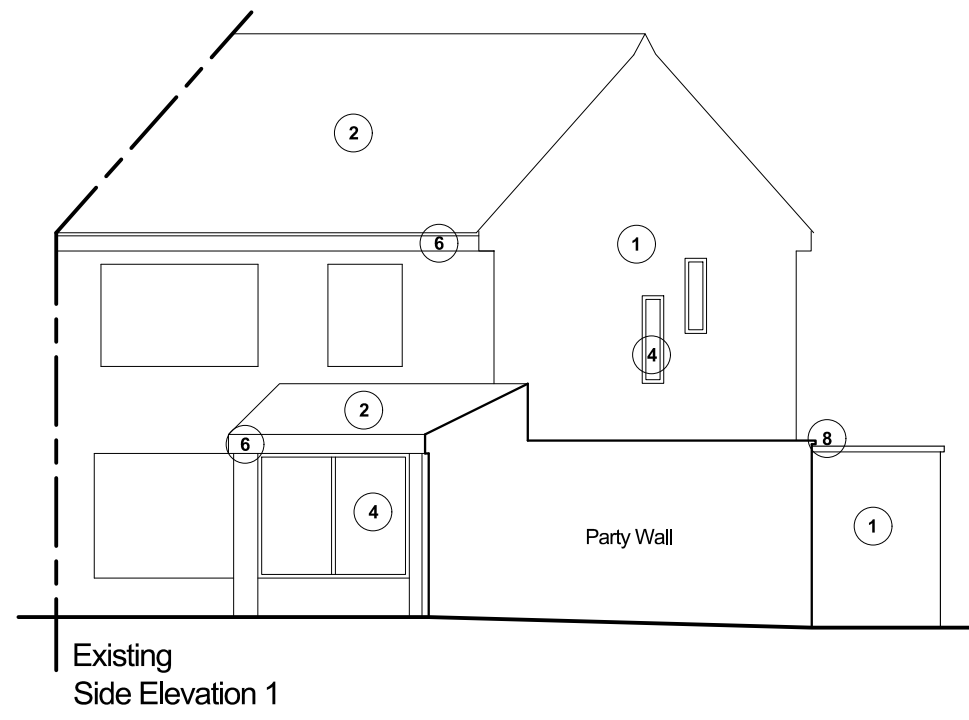
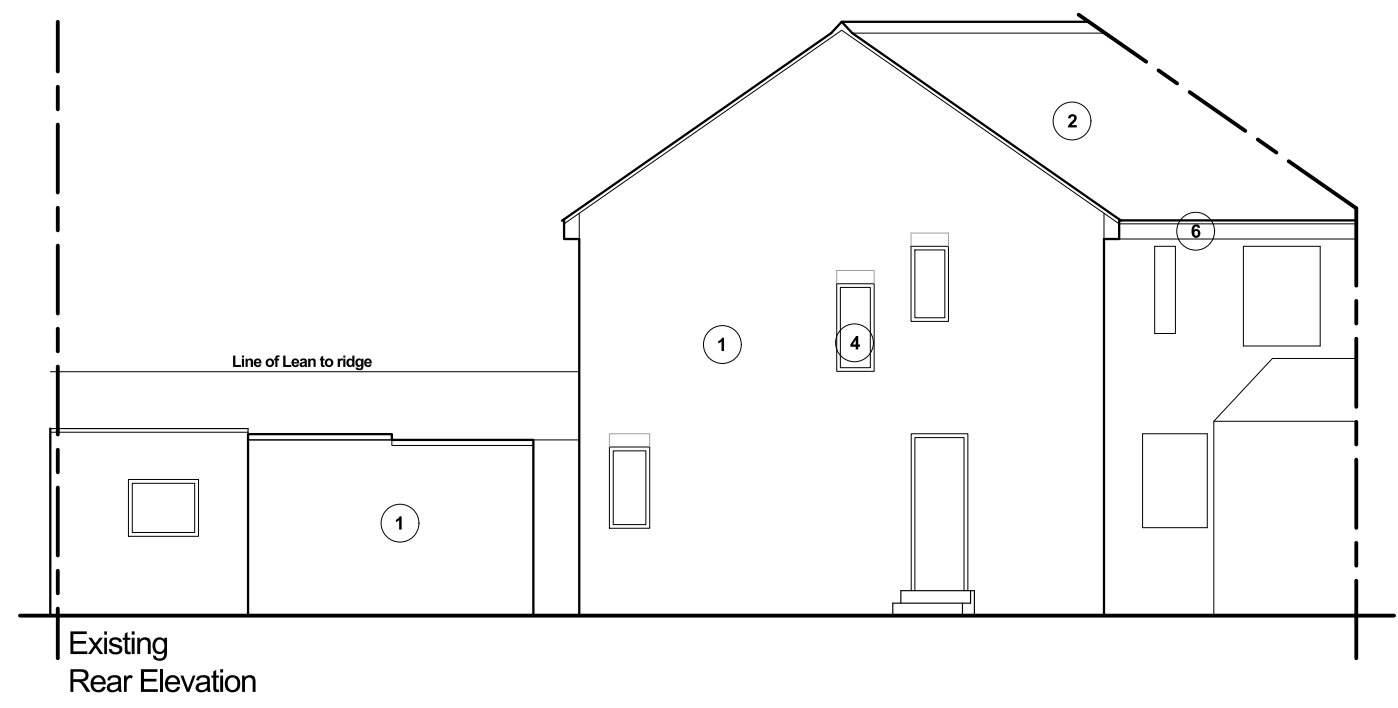
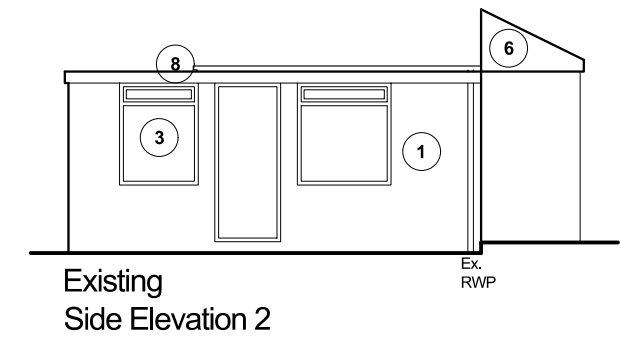
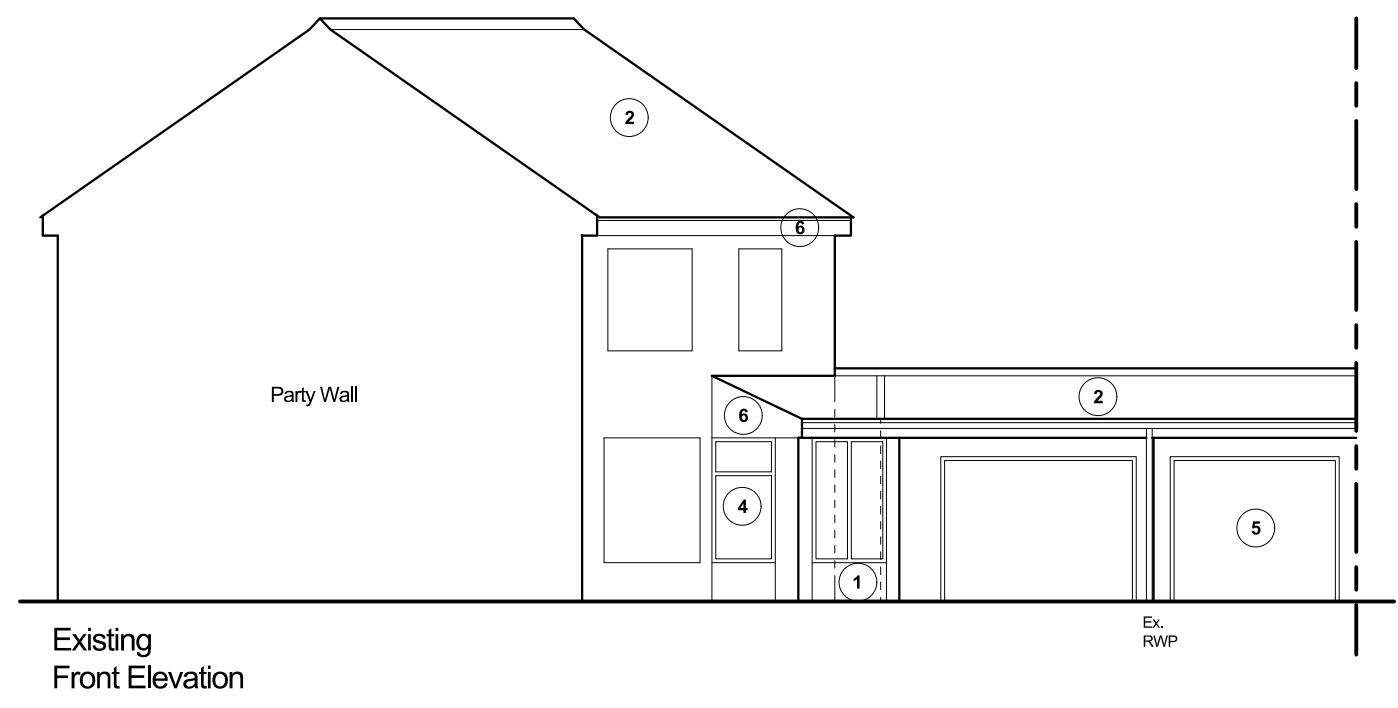


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 We cannot guarantee any information supplied by third parties and as such their accuracy cannot be guaranteed. All features are approximate and subject to clarification by a detailed topographical survey, statutory service enquiries and confirmation of the legal boundaries.
 Do not scale the drawing.
 Use figured dimensions in all cases.
 Contractors/Sub-contractors/Manufacturers to check all dimensions on site prior to commencement of the works.
 Report any discrepancies in writing to PJC ARCHITECTURE LTD before proceeding.

Materials Schedule

- 1. Existing Brick (Red)
- 2. Existing Roof Tiles (Grey)
- 3. Existing uPVC Windows and Doors (White)
- 4. Existing uPVC Windows and Doors (Anthracite)
- 5. Existing Garage Doors (White)
- 6. Existing uPVC Fascias (White)
- 7. Existing uPVC Rainwater Goods (Anthracite)
- 8. Existing Flat Roof



PJC ARCHITECTURE LTD
 The Old Post Office
 31 Main Road
 Kenton Bank Foot
 Newcastle upon Tyne
 NE13 6AA
 T: 0191 2140022
 F: 0191 2140060
 E: enquiries@pjc-architecture.co.uk
 W: www.pjc-architecture.co.uk

Status	Planning	
Project	Mr. Paul Dobson Proposed Garage Conversion at 38 Woodhorn Gardens, Wideopen, Newcastle Upon Tyne NE13 6AG	
Drawing	Existing Elevations	
Date	Drawing No.	Revision
22.04.24	PL_1102_202	-
Scale	Drawn By	Checked By
1:100 @A3	AR	PJC