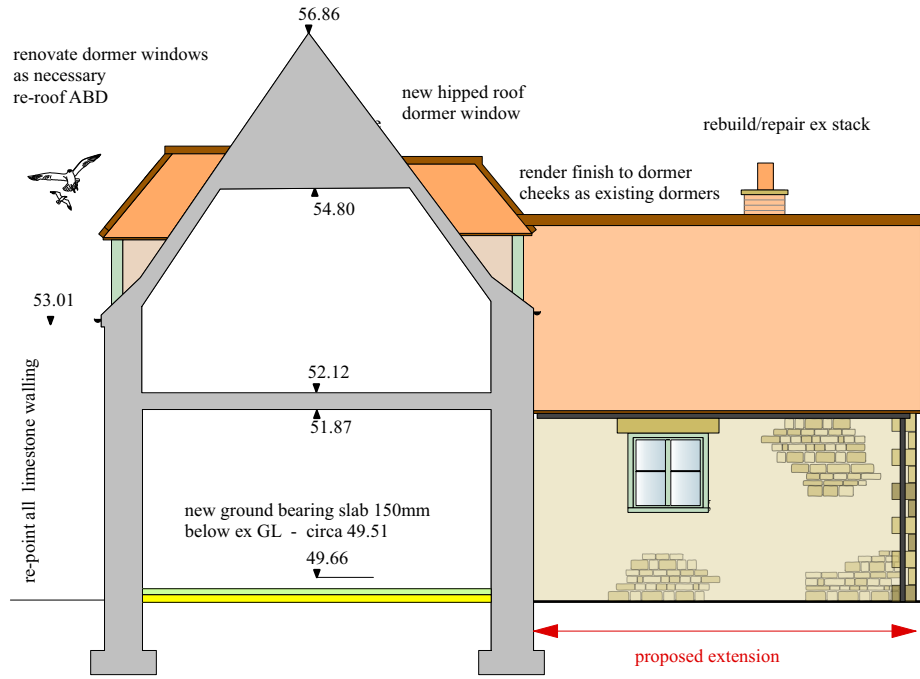


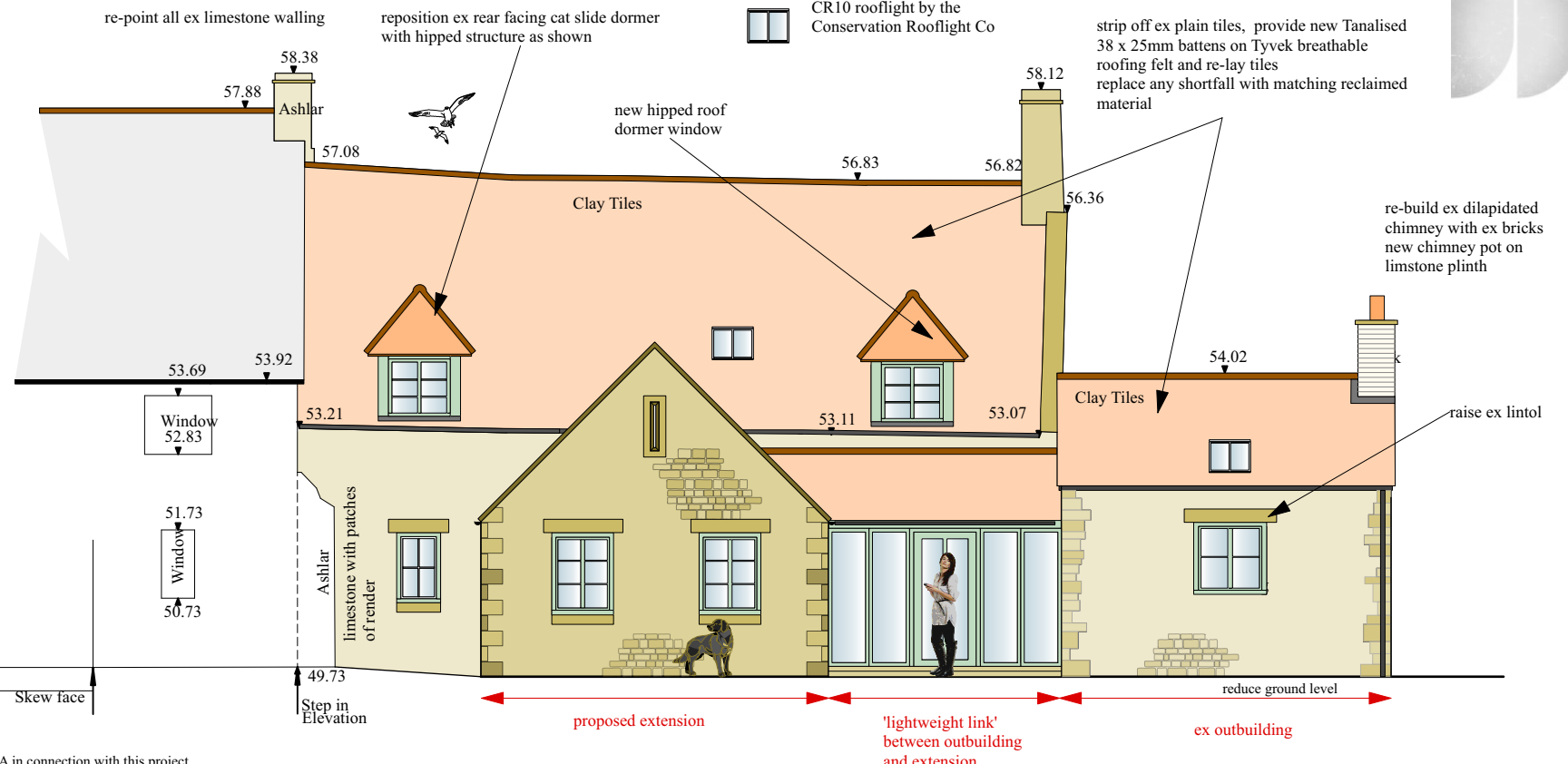
New Floor to Cottage and Outbuilding
 Limecrete 'slabless' system is specified. Following excavation (hand dig only allowed) to formation level, lay 100mm of RFG (Recycled Foam Glass aggregate) on a geotextile membrane on firm subsoil. DPM is not allowable. Install a geotextile membrane below and above the RFG layer. Finish with an 80mm Limecrete (or Secil NHL5 2/1 mix) Screed. Insert cork board perimeter insulation at abutment wall masonry walling.

Prior to the hand dig excavation for the new floor, trial holes are to be dug to expose the existing footings (and fdns) to the external stone walls to ensure that the overall floor excavation does not compromise the substructure.



Replace all guttering with black cast aluminium RW goods by Alumasc
 Use same RW goods for extension and cart hovel

NOTES
 Do NOT scale from this drawing or any other prepared by JDA in connection with this project
 This drawing is copyright and may not be altered, traced, copied, photographed or used for any purpose other than for which it has been issued without written permission of the copyright holder.
 The Contractor is to check all dimensions on site and report any discrepancies PRIOR TO commencing work.
 All details shown on this drawing are based upon typical site conditions related to the area. No responsibility can be accepted for abnormal conditions unless they have been reported in detail so that design amendments may be considered.
 All works and materials are to be in full accordance with current British Standards, Building Regulations, Agreement Certificates and Manufacturers printed instructions.
 All Building Regulations inspections are to be carried out at the appropriate stages of work.

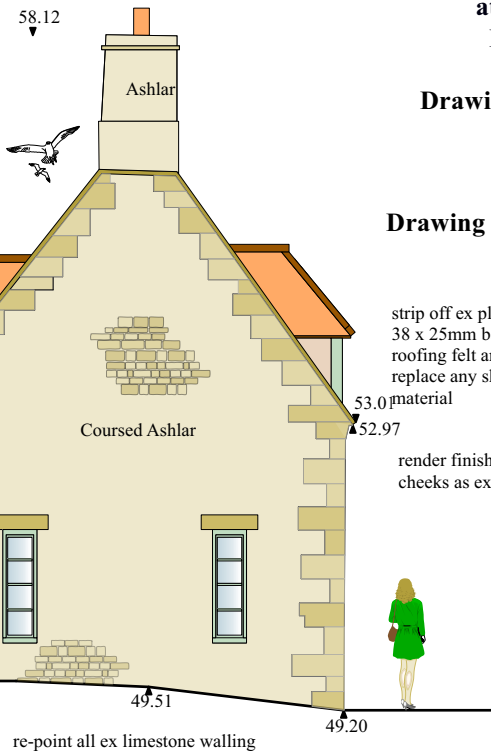


PROPOSED REAR ELEVATION

SECTION A-A AND SIDE ELEVATION



repair ex dilapidated chimney new chimney pot on ex limestone plinth



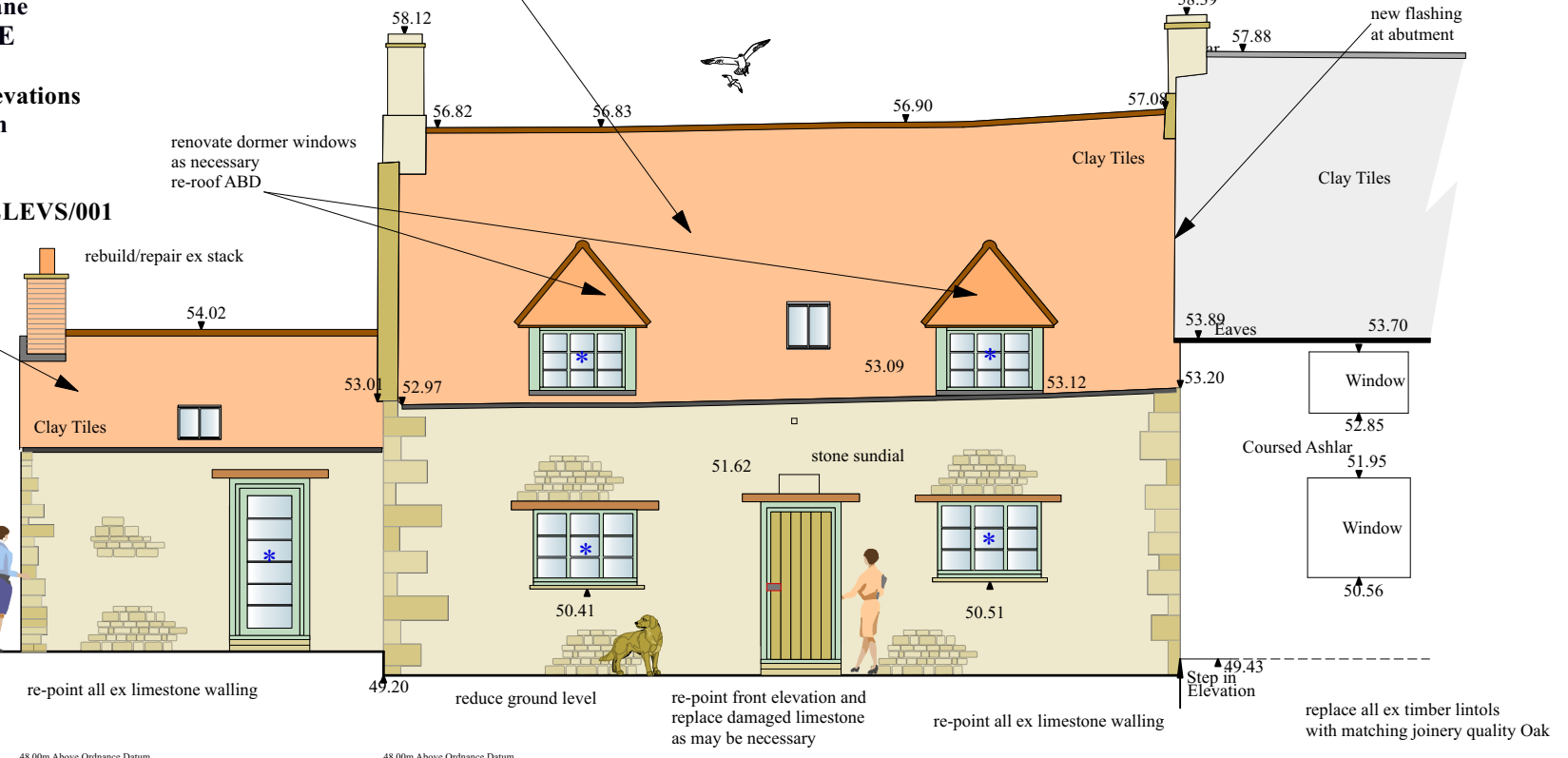
**Proposed Alterations and Extensions
 at Mill Cottages, Mill Lane
 Empingham LE15 8QE**

**Drawing Title : Proposed Elevations
 Client : Mrs. R. Griffin
 Date APRIL 2024
 Scale 1 to 100 at A3
 Drawing No JDA/2018/20.2100.ELEVS/001**

strip off ex plain tiles, provide new Tanalised 38 x 25mm battens on Tyvek breathable roofing felt and re-lay tiles replace any shortfall with matching reclaimed material

render finish to dormer cheeks as existing dormers

strip off ex plain tiles, provide new Tanalised 38 x 25mm battens on Tyvek breathable roofing felt and re-lay tiles replace any shortfall with matching reclaimed material



PROPOSED FRONT ELEVATION

PROPOSED SIDE ELEVATION

* replace all windows and doors - refer to joinery detail drawings

**John Dickie Associates
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 Bourne, Lincs PE10 9PT
 Tel 07778 297733 jda@ndirect.co.uk**