



THE
EIGHT
GARDENS

Watford

BERKELEY HOLMES

WAYFINDING RATIONALE

REV5 - 30.01.24

Berkeley
Designed for life

 **Reade**signs

PROJECT OVERVIEW

INTRODUCTION

Eight Gardens is the redevelopment of 94-98 St Albans Road. The site is 6.2 acres, located within the M25 and has excellent road and rail connections. It is a 5 minute walk to the train station and 10 minute walk to Watford Town Centre.

Eight Gardens is predominantly a residential scheme for 1,266 new homes, with supporting public realm, including a new public square, commercial floorspace, parking and primary school.

The buildings have two levels; at the 9th/10th floor there are open roof gardens with taller elements looking down from between 13 to 28 floors up.

The proposal seeks to create an exemplary public realm, linked using landscaped gardens, public square's and a Green Promenade.



THE BRIEF

Design wayfinding and place marking signage for The Eight Gardens that improves visitor experience by efficiently navigating people through external and internal spaces whilst adding a sense of place.

Wayfinding must link residences and amenities with sign design that reflects a feeling of quality. Careful consideration must be given to ensure messaging is clear, consistent and fully inclusive.



WHAT WE AIM TO ACHIEVE

Wayfinding that provides a connected and consistent voice across external and internal spaces.

Signage that compliments public and private realms whilst contributing to the character, culture and spirit of The Eight Gardens.



WAYFINDING STRATEGY

DESTINATION HIERARCHY - EXTERNAL SIGN CONTENT

TIER 1 - Site Identification	TIER 2 - Totem / Fingerpost	TIER 3 - Road Names	TIER 4 - Projecting / Entrances Map Content
<p>The Eight Gardens</p> <p>NOTE - * indicates reference term only, not included in sign content</p> <p>NOTE - * highlighted location names to be confirmed</p>	Aspect House (Block S1)* HSBCP Logo	St Albans Road	Business Lounge Concierge Customer Care Suite Cycle Store Gym Entrances Letting Office Commercial Units Roof Garden Security Office S1 / S2 Amenity Spaces
	Page† House (Block S2)* HSBCP Logo	Penn Road	
	Dart House (Block S3)*	Dapple Grove	
	Garden Heights (Block S4)*	Dickinson Mews	
	Avem House (Block S5)*	Fauna Walk	
	Union Court (Block S6)*		
	House Name * (Block N1)*		
	Cedrus House (Block N2)*		
	House Name * (Block N3)*		
	Tine House (Block N4)*		
	School Name *		
	Penn Square		
	Commercial Unit (Logos)		
	Car Parks		
	Deliveries		
	Refuse Collection		
Station			
Town Centre			

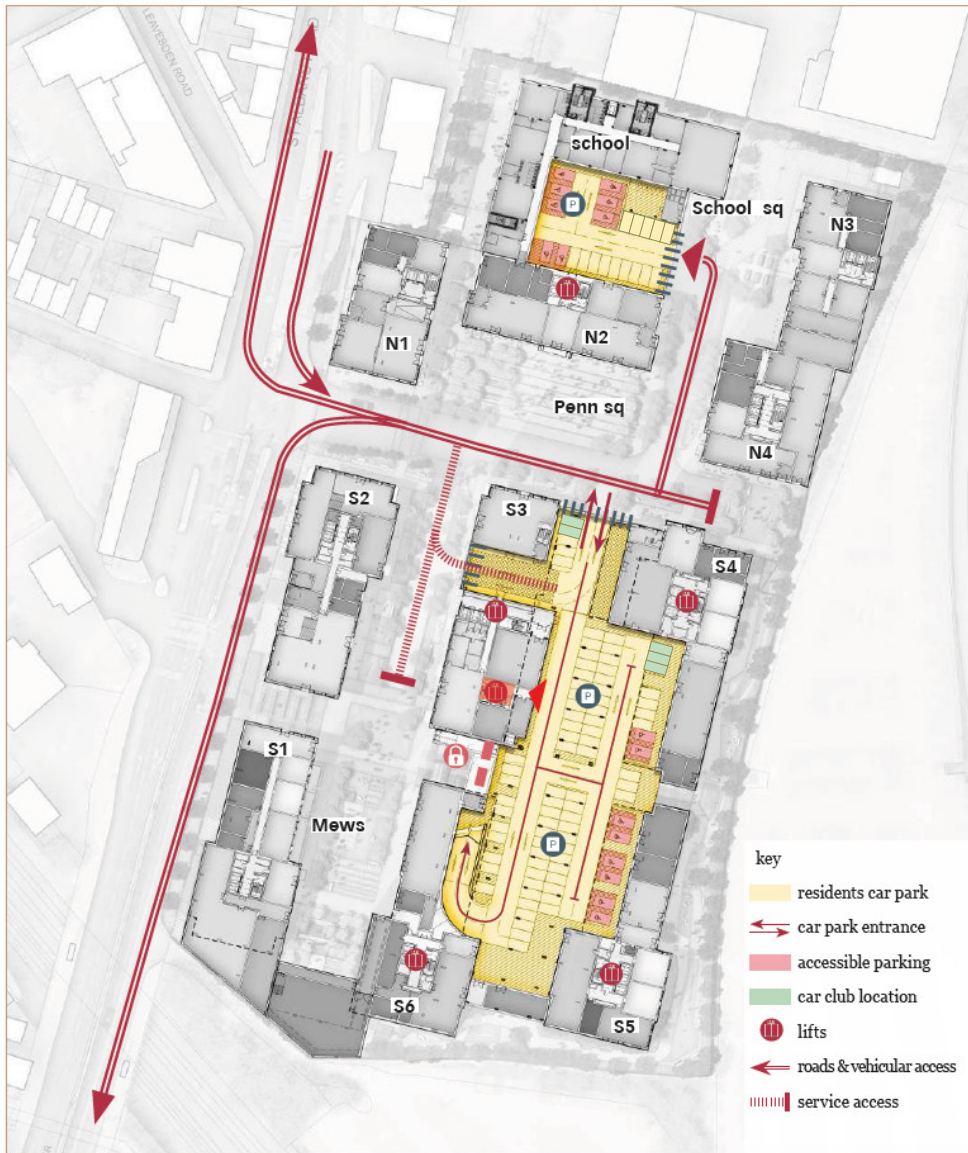
DESTINATION HIERARCHY - INTERNAL - PHASE 1

Aspect House (Block S1)			117			Paget House (Block S2)			132			Dart House (Block S3)			150			Garden Heights (Block S4)			225			Avem House (Block S5)			187			Union Court (Block S6)			141		
12	1201 - 1206	6	16	1601	1	10	1001 - 1006 to 1901 - 1906	60	27	2701 - 2704	4	21	2101 - 2103	3	13	1301 - 1306	6																		
11	1101 - 1106	6	15	1501 - 1506	5	9	901 - 906 Roof Garden	6	26	2601 - 2604	4	20	2001 - 2003	3	12	1201 - 1206	6																		
10	1001 - 1006	6	14	1401 - 1406	6	8	801 - 812	12	11	1101 - 1106 to 2501 - 2506	90	11	1101 - 1106 to 1901 - 1906	54	11	1101 - 1106	6																		
9	901 - 906 Roof Garden	6	13	1301 - 1306	6	7	701 - 712	12	10	1001 - 1006 Roof Garden	6	10	1001 - 1006 Roof Garden	6	10	1001 - 1006	6																		
8	801 - 812	12	12	1201 - 1206	6	6	601 - 612	12	9	901 - 914	14	9	901 - 914	14	9	901 - 906 Roof Garden	6																		
7	701 - 712	12	11	1101 - 1104	4	5	501 - 512	12	8	801 - 814	14	8	801 - 814	14	8	801 - 815	15																		
6	601 - 612	12	10	1001 - 1004	4	4	401 - 412	12	7	701 - 714	14	7	701 - 714	14	7	701 - 715	15																		
5	501 - 512	12	9	901 - 904 Roof Garden	4	3	301 - 312	12	6	601 - 614	14	6	601 - 614	14	6	601 - 615	15																		
4	401 - 412	12	8	801 - 812	12	2	201 - 210 Business Lounge Podium Garden Screening Room	10	5	501 - 514	14	5	501 - 514	14	5	501 - 515	15																		
3	301 - 312	12	7	701 - 712	12	1	101 - 102 Car Park Cycle Store Gym	2	4	401 - 414	14	4	401 - 414	14	4	401 - 415	15																		
2	201 - 212	12	6	601 - 612	12	0	Concierge (BH logo) Cycle Store Refuse Store	-	3	301 - 314	14	3	301 - 314	14	3	301 - 315	15																		
1	101 - 107 Gym Co-Working	7	5	501 - 512	12				2	201 - 213 Podium Garden	13	2	201 - 213 Podium Garden	13	2	201 - 214 Podium Garden	14																		
0	001 - 002 Cycle Store Event Space Refuse Store	2	4	401 - 412	12				1	101 - 108 Car Park Cycle Store	8	1	101 - 107 Car Park Cycle Store	7	1	101 - 107 Car Park Cycle Store	7																		
			3	301 - 312	12				0	001 - 002 Cycle Store Refuse Store Security Office	2	0	001 - 003 Cycle Store Refuse Store	3	0	Cycle Store Refuse Store	0																		
			2	201 - 212	12																														
			1	101 - 112	12																														
			0	Concierge (HSBCP logo) Refuse Store	-																														

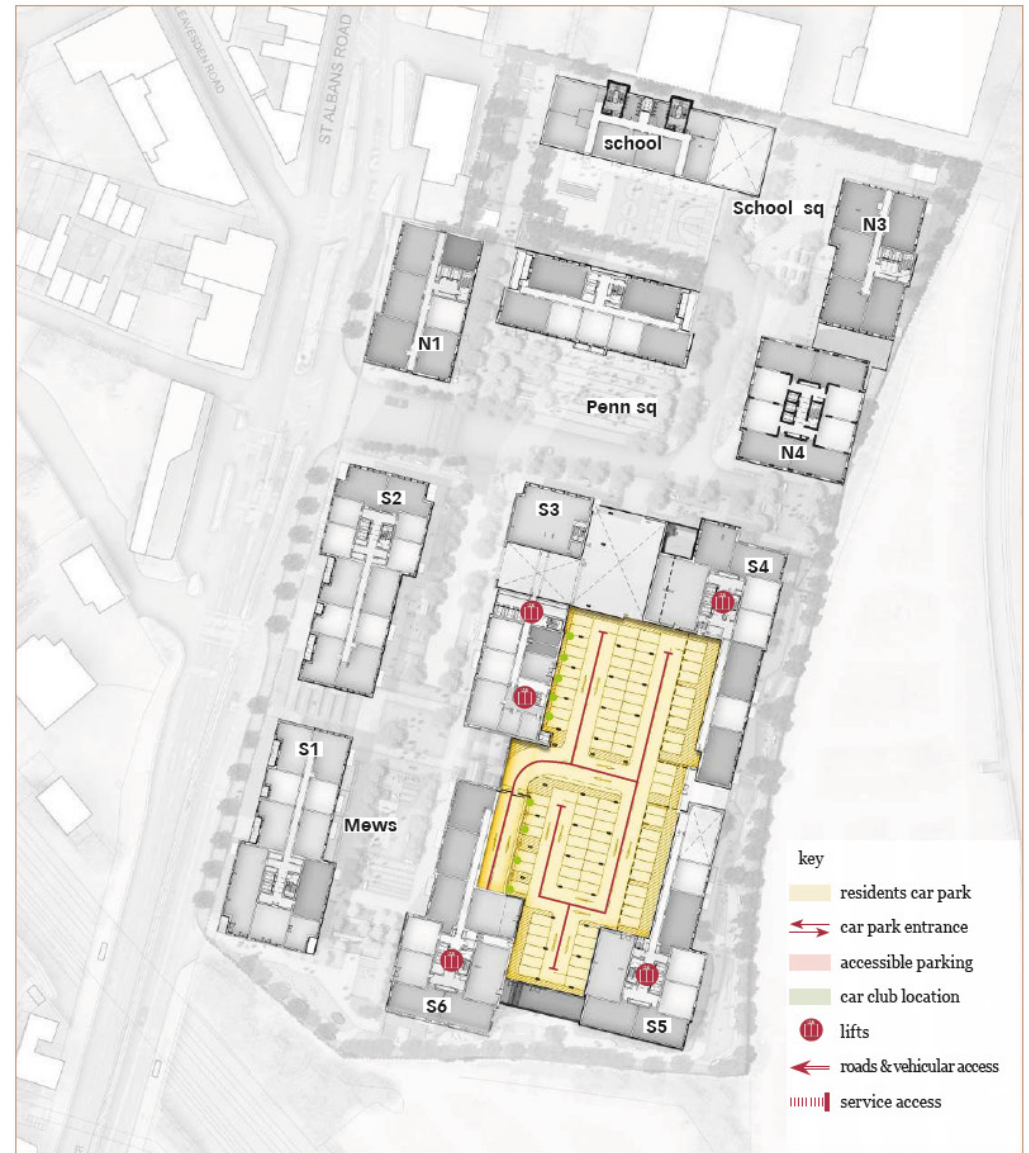
* Red text indicates where name TBC

PHASE 1 = 952 apartments

VEHICULAR CIRCULATION



Ground floor

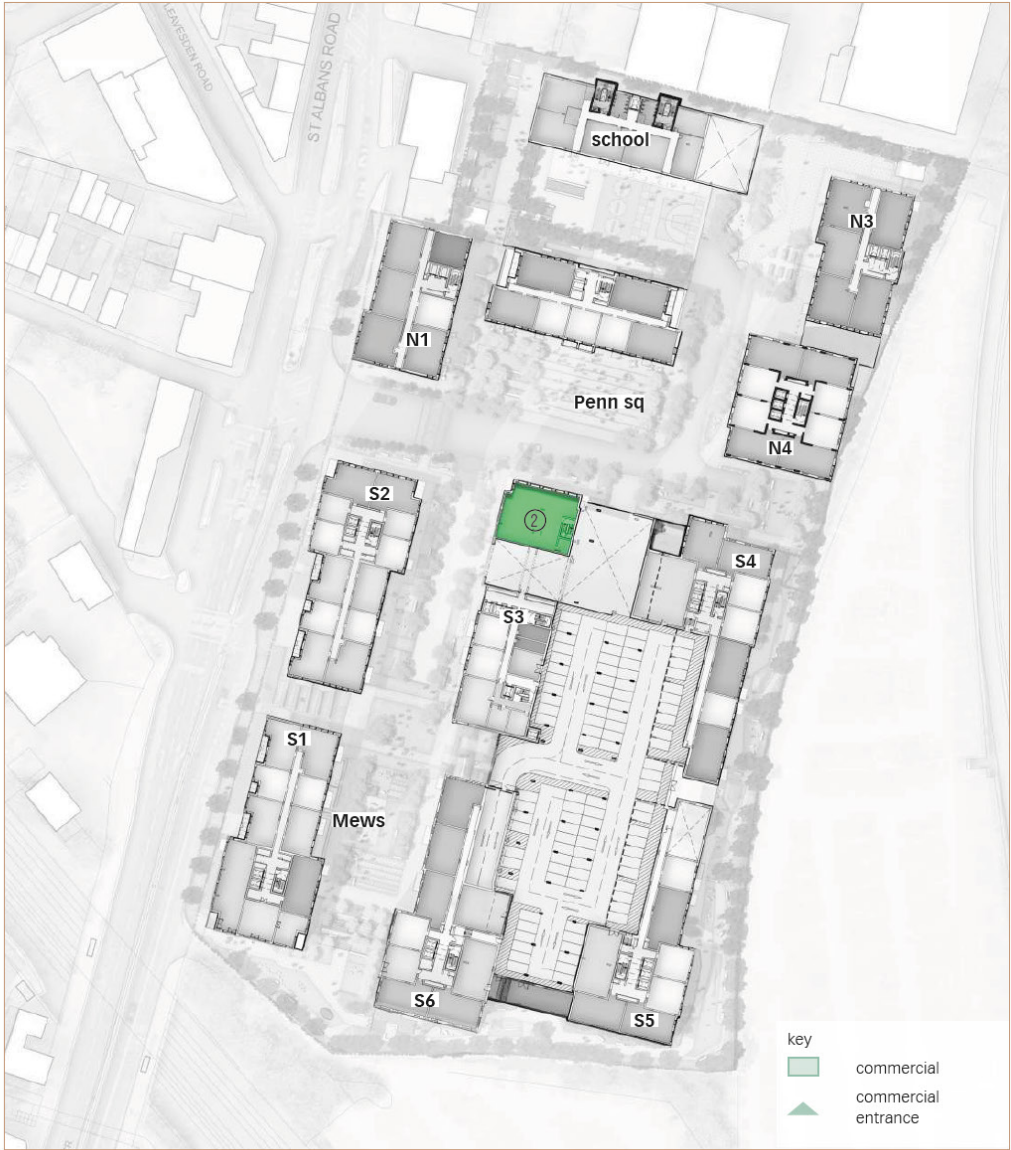


First floor

COMMERCIAL DELIVERIES

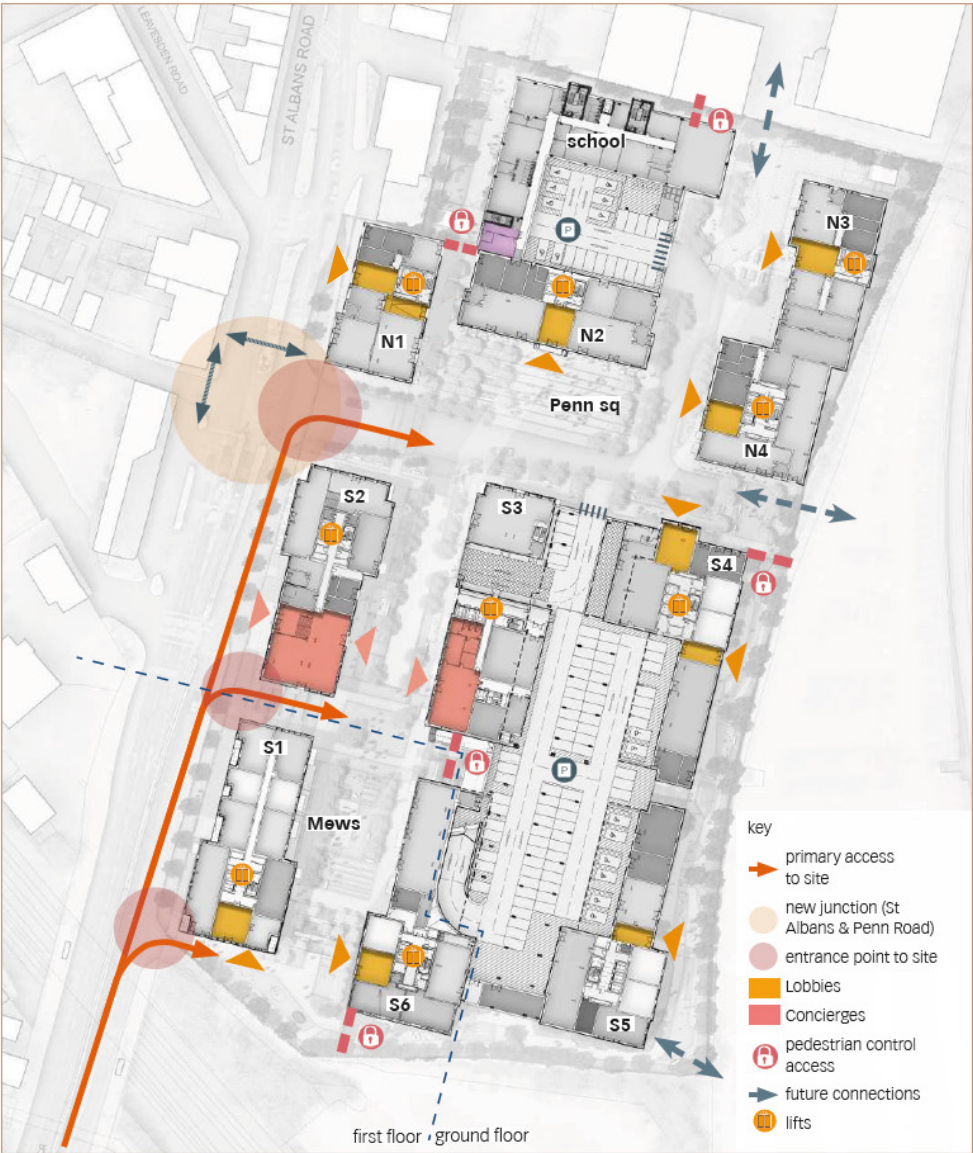


Ground floor (+first floor S1)

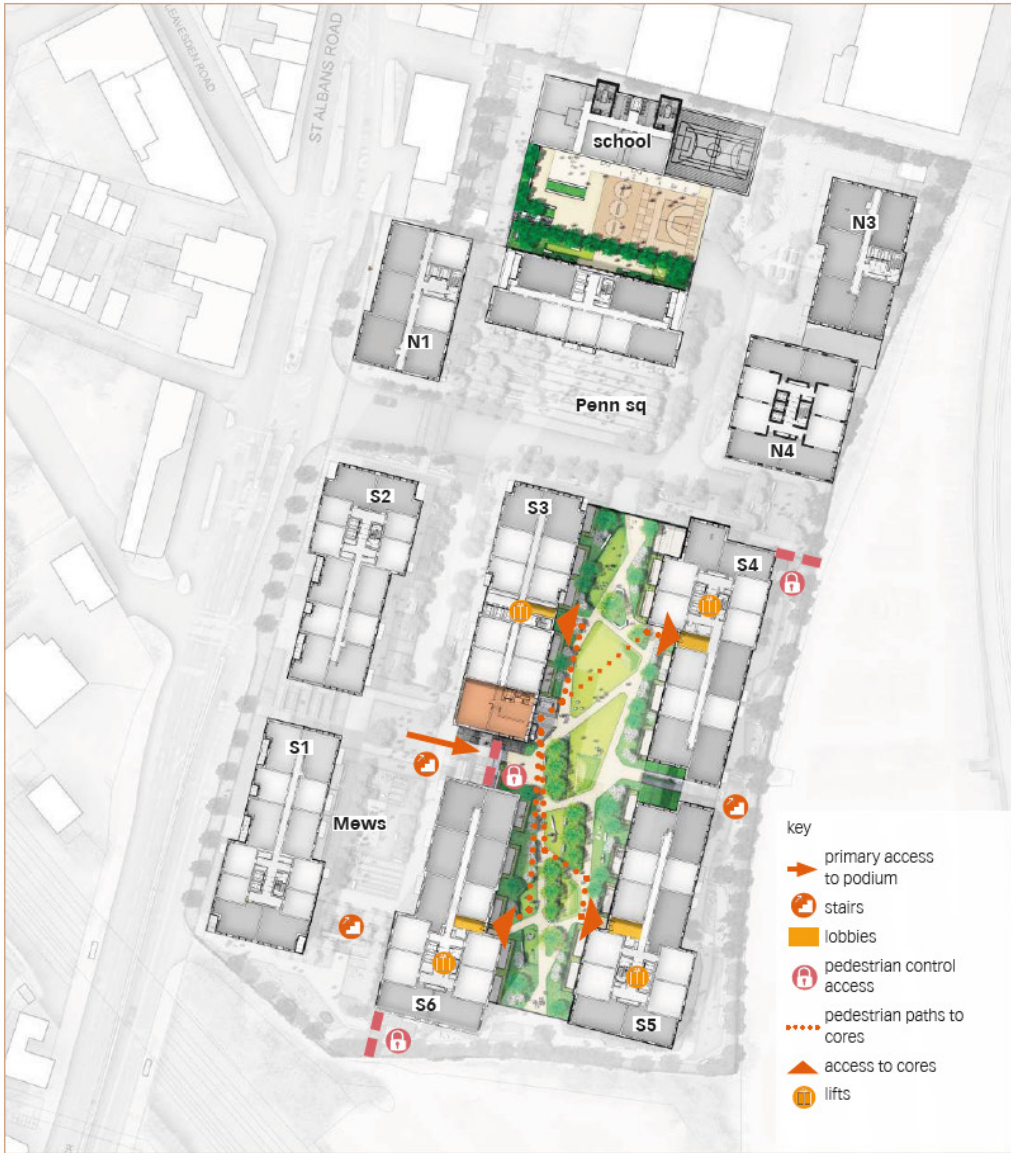


First floor

PEDESTRIAN CIRCULATION & ENTRANCES

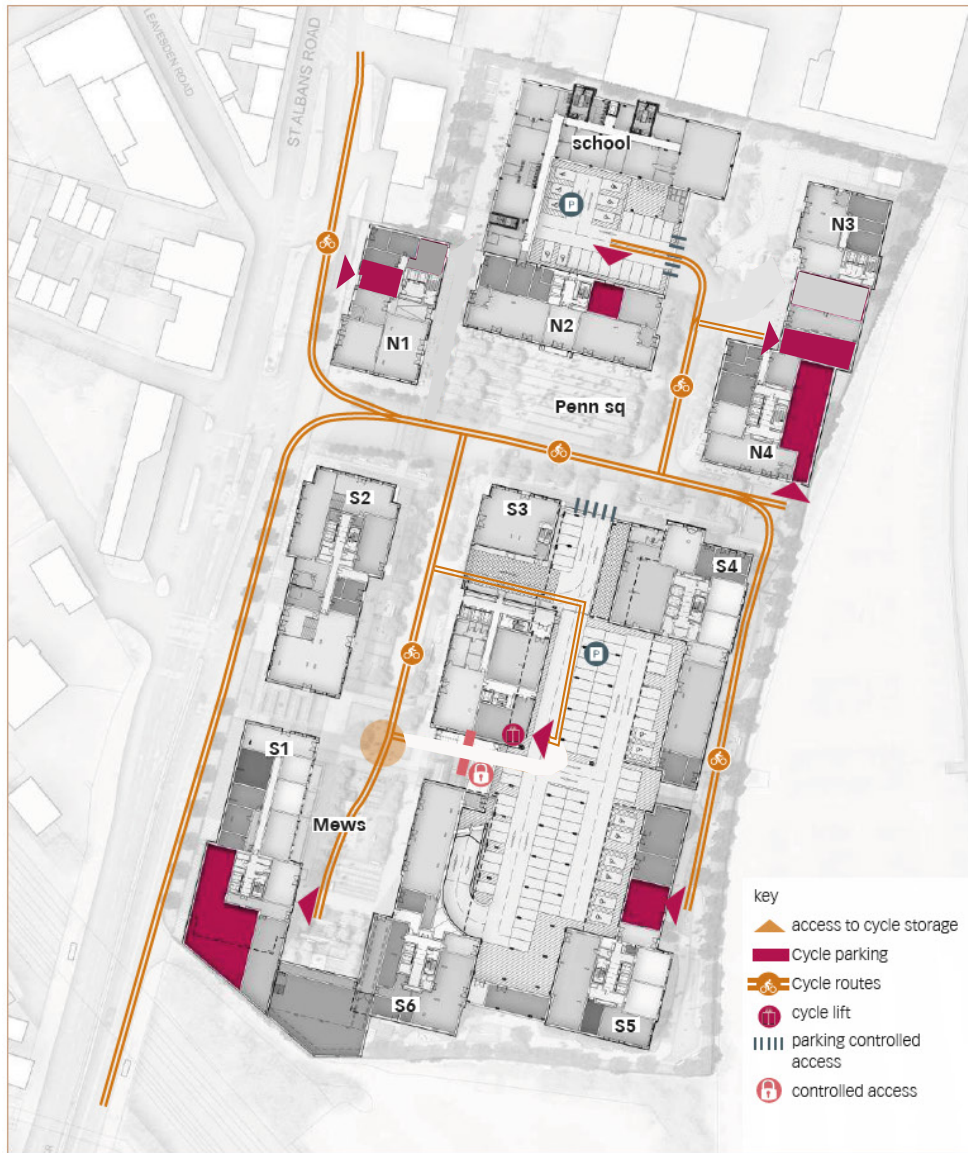


Ground floor (first floor shown for S1 / S6)

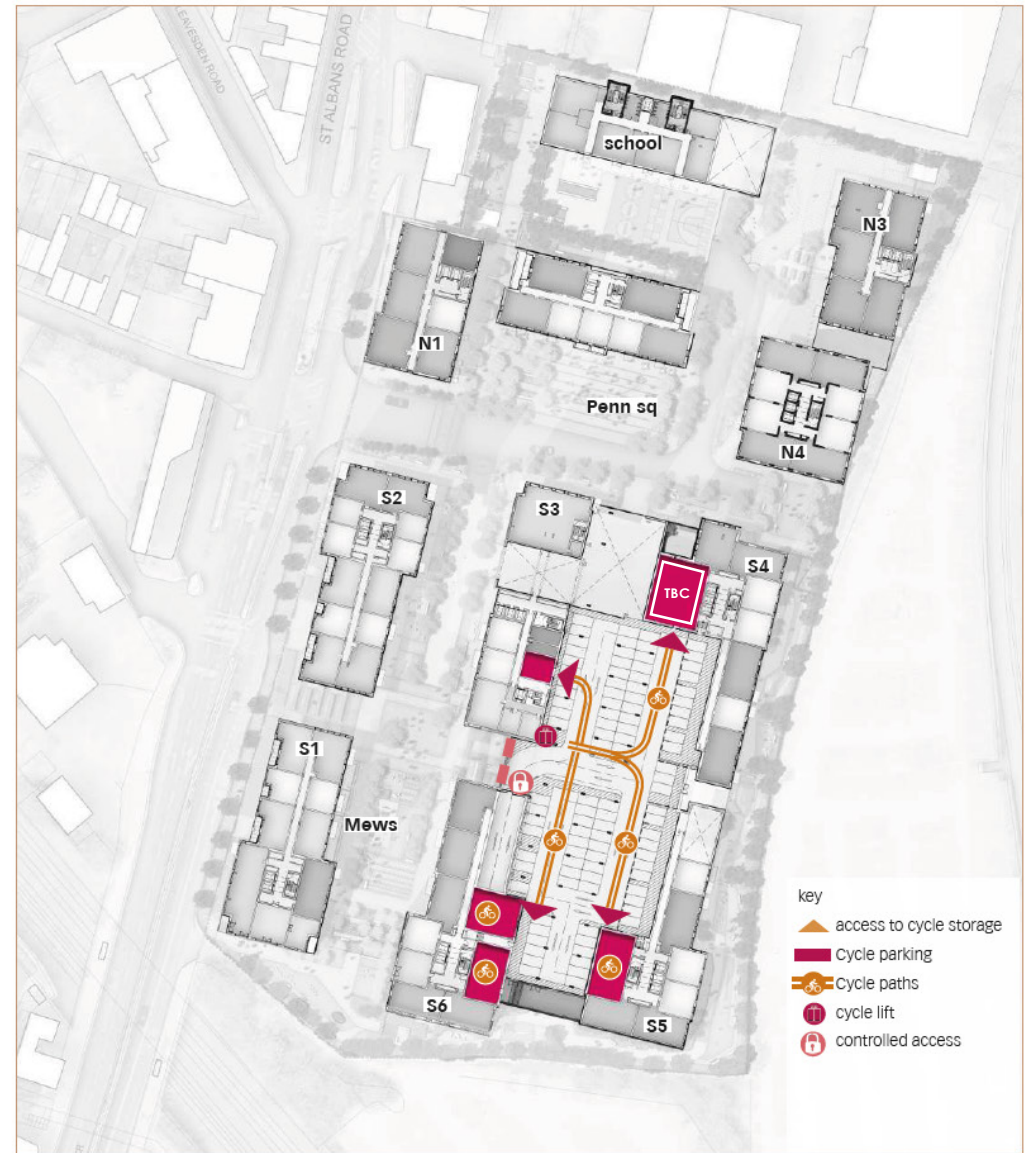


2nd floor

CYCLE ROUTES



Ground floor

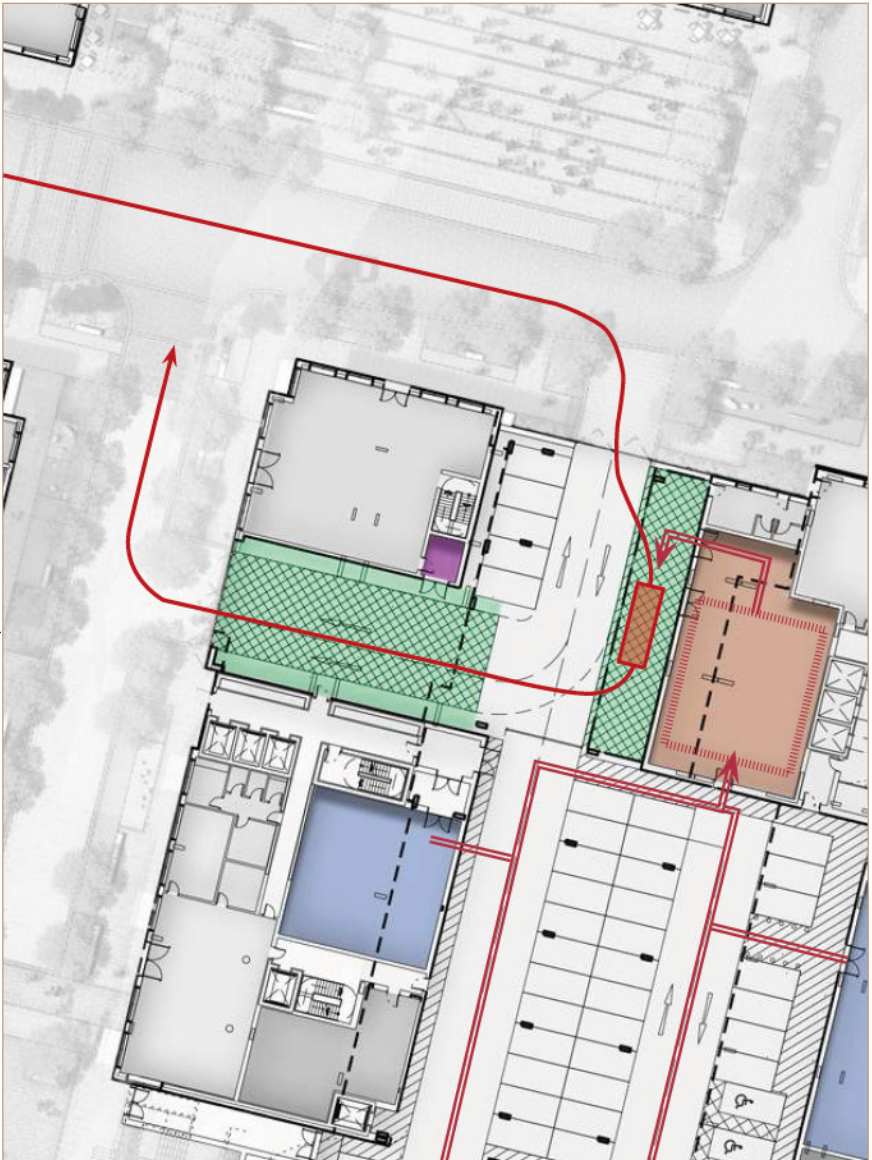


First floor

REFUSE

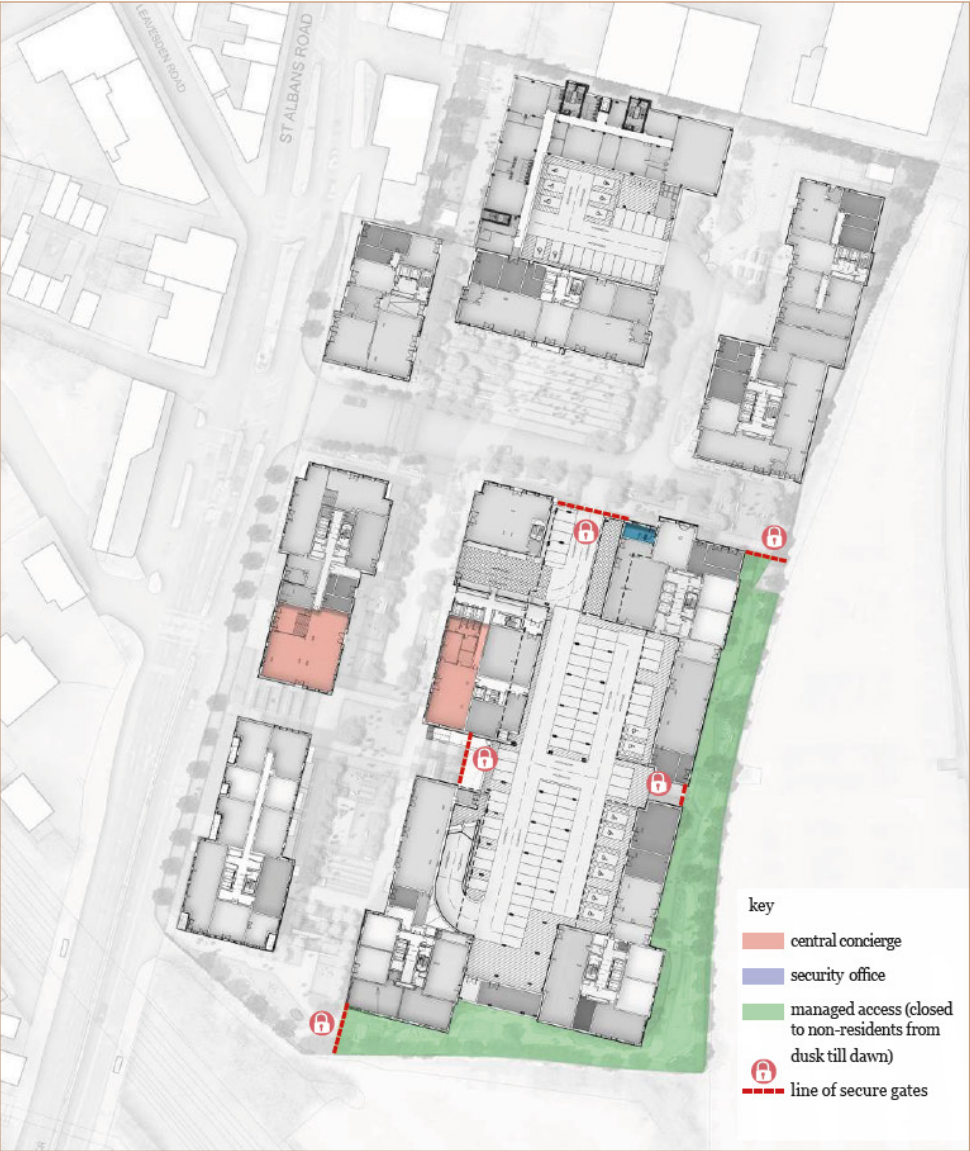


Ground floor



Ground floor - loading bay

RESTRICTED ACCESS




































Ground floor (+first floor S1)

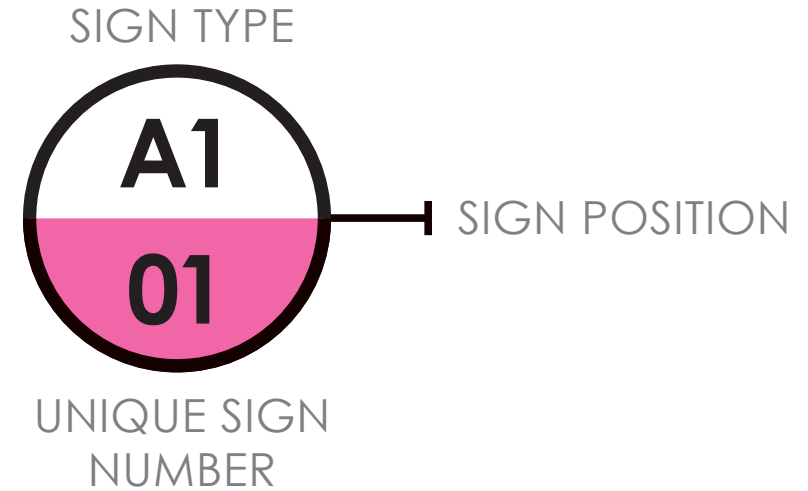


2nd floor level

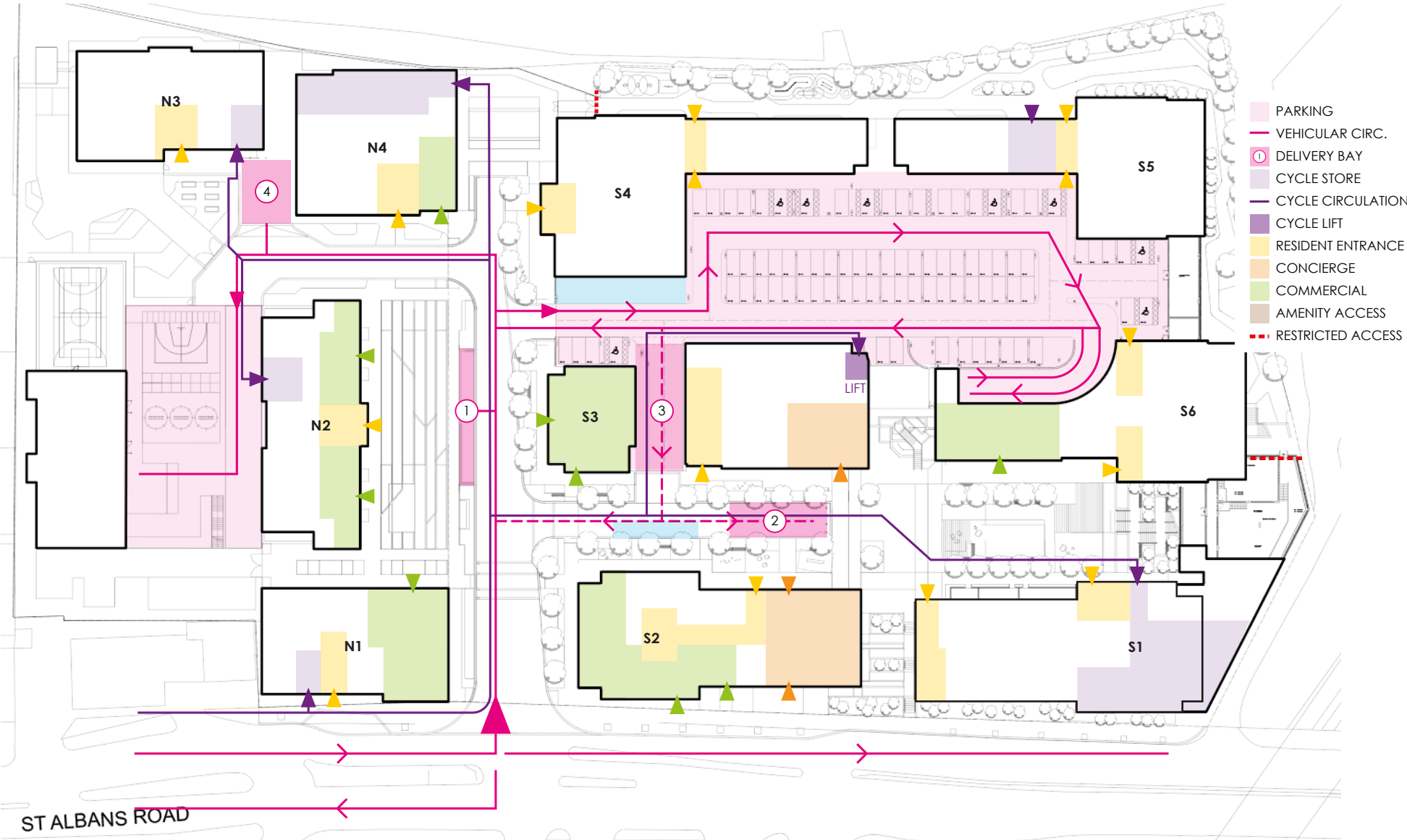
SIGN CODES

EXTERNAL	
 A1 01	GATEWAY
 B1 01	DELIVERIES DIRECTIONAL
 B2 01	COMMERCIAL DIRECTIONAL
 C1 01	DELIVERIES IDENTIFICATION
 C2 01	SECURITY IDENTIFICATION
 C3 01	DELIVERIES INFORMATION
 C4 01	REFUSE COLLECTION
 D1 01	FINGERPOST
 E1 01	WAYFINDING TOTEM (NON LIT)
 E1 01	WAYFINDING TOTEM (ILLUMINATED)
 E2 01	DIRECTIONAL WALL SIGN
 F1 01	BLOCK ENTRANCE (HIGH)
 F2 01	BLOCK ENTRANCE (LOW)
 F3 01	BLOCK ENTRANCE (CP)
 G1 01	CONCIERGE LETTERING
 G2 01	CONCIERGE PROJECTING
 H2 01	RETAIL PROJECTING
 J1 01	CAR PARK PEDESTRIAN LETTERS
 J2 01	CYCLE STORE PANEL
 K1 01	CAR PARK ENTRANCE
 K2 01	CAR PARK DIRECTIONAL
 K3 01	CAR PARK DISCLAIMER
 L1 01	RESTRICTED ACCESS
 M1 01	ROAD NAME
 N1 01	CAR PARK SUPER GRAPHIC
-----	MANIFESTATION

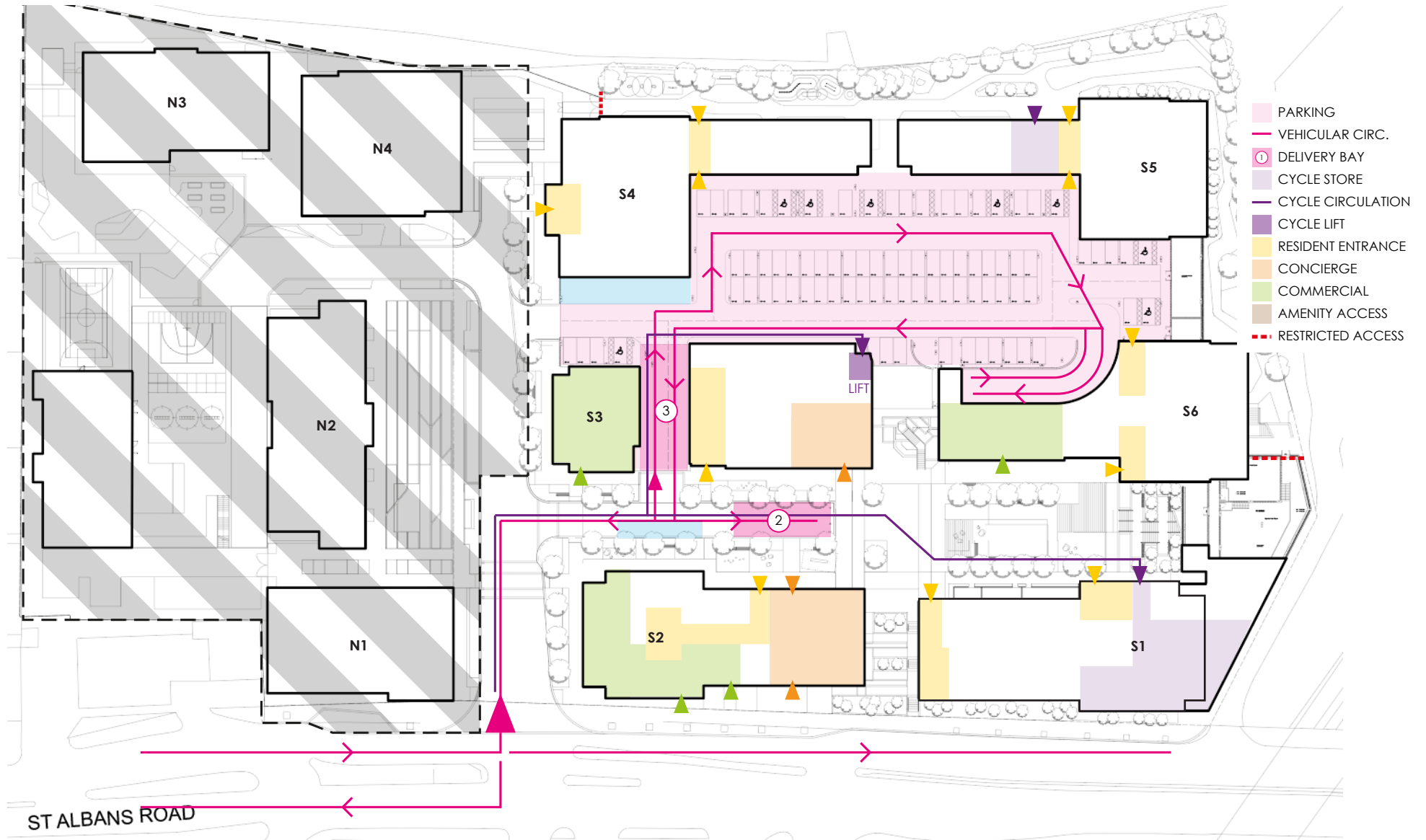
INTERNAL	
 Z1 01	BLOCK IDENTIFICATION
 Y1 01	ENTRANCE DIRECTORIES
 X1 01	LIFT DIRECTORIES
 W1 01	STAIR DIRECTORIES
 V1 01	DIRECTIONAL - AMENITY
 U1 01	DIRECTIONAL - RESIDENTIAL
 T1 01	ABOVE DOOR
 S1 01	AMENITY DOOR
 R1 01	STAIR DOOR
 Q1 01	BOH DOOR
 Q2 01	BOH DOOR - NO ACCESS
 P1 01	PICTOGRAM DOOR



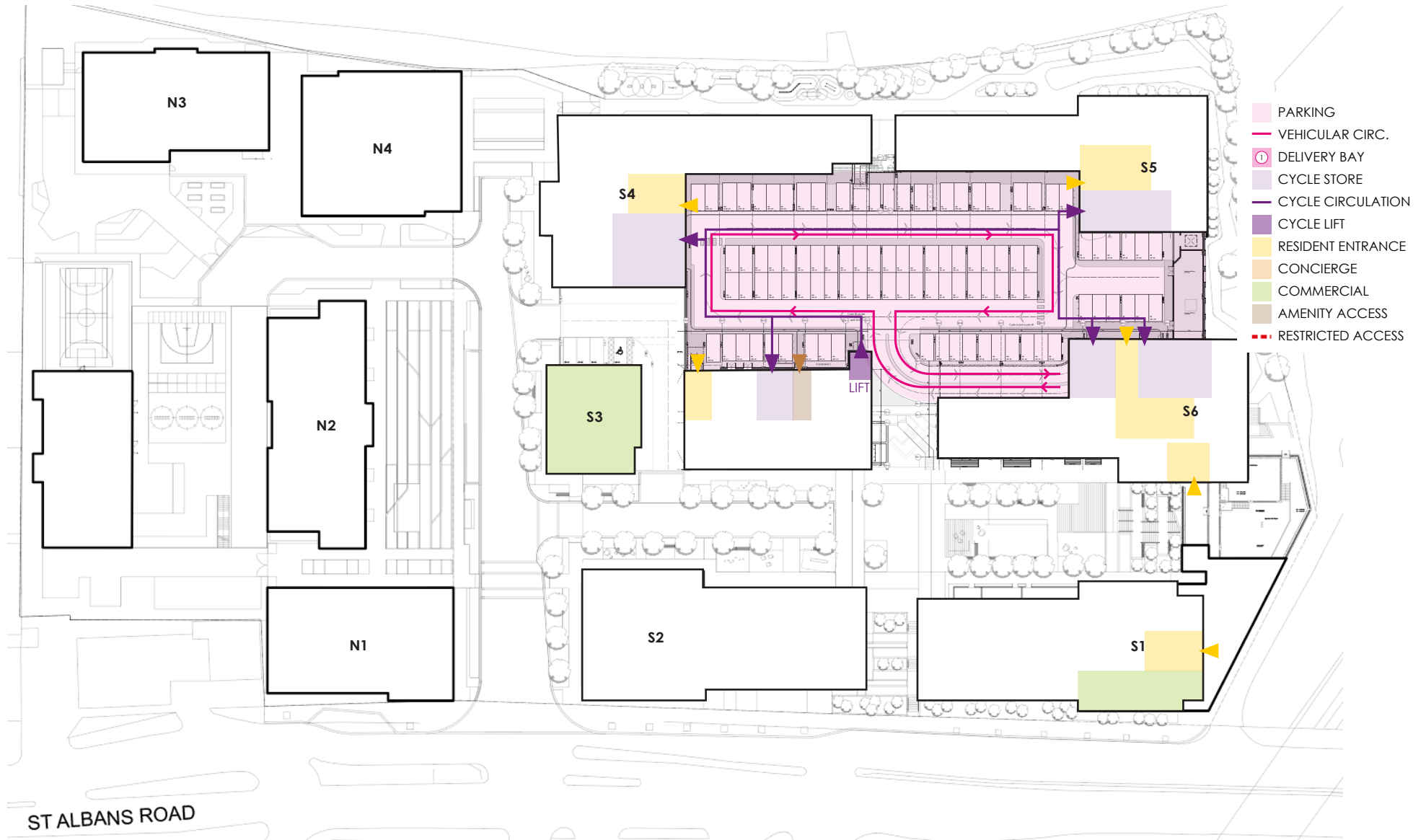
COMBINED MAPS - GROUND



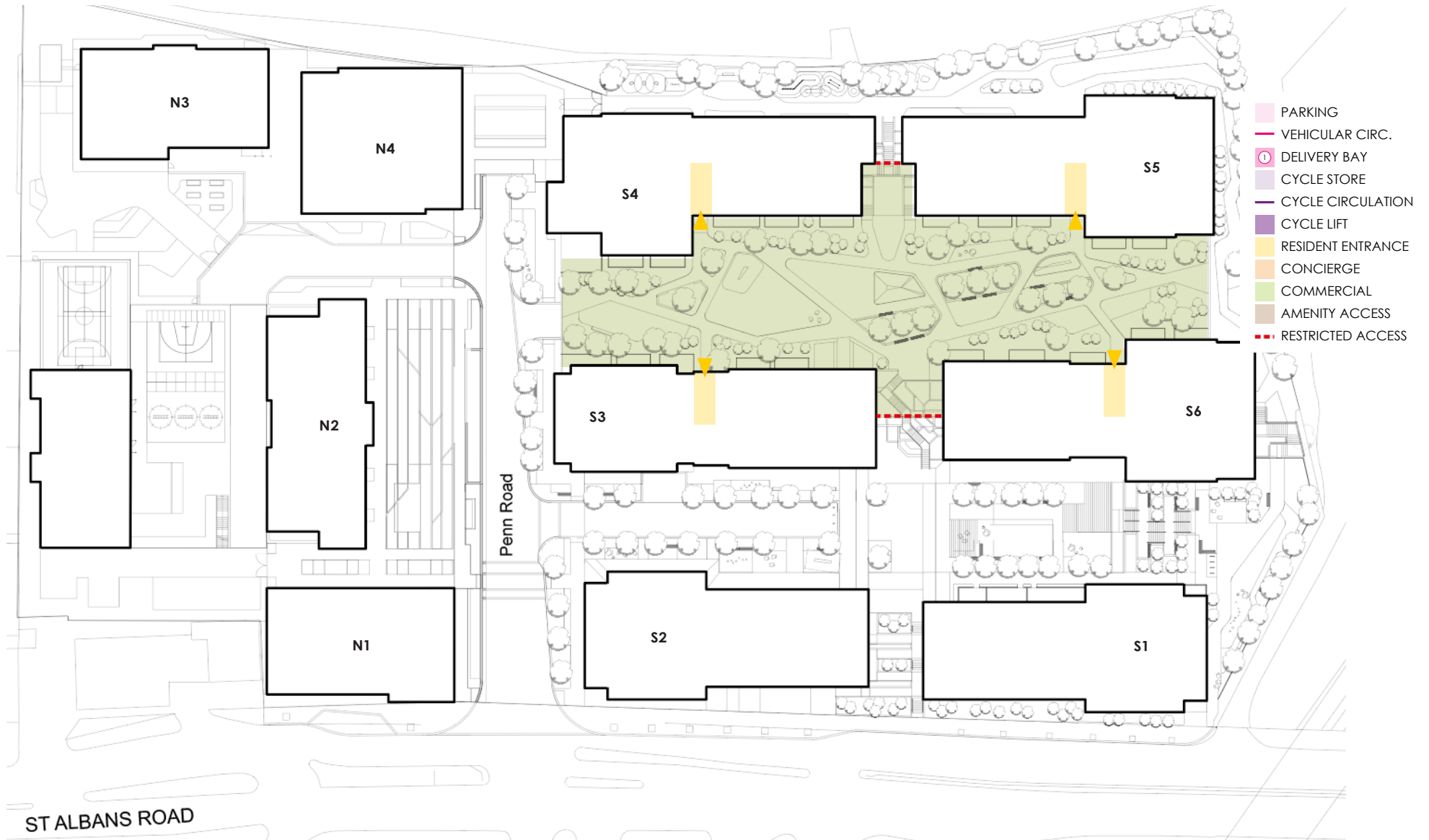
COMBINED MAPS - PARTIAL OCCUPANCY



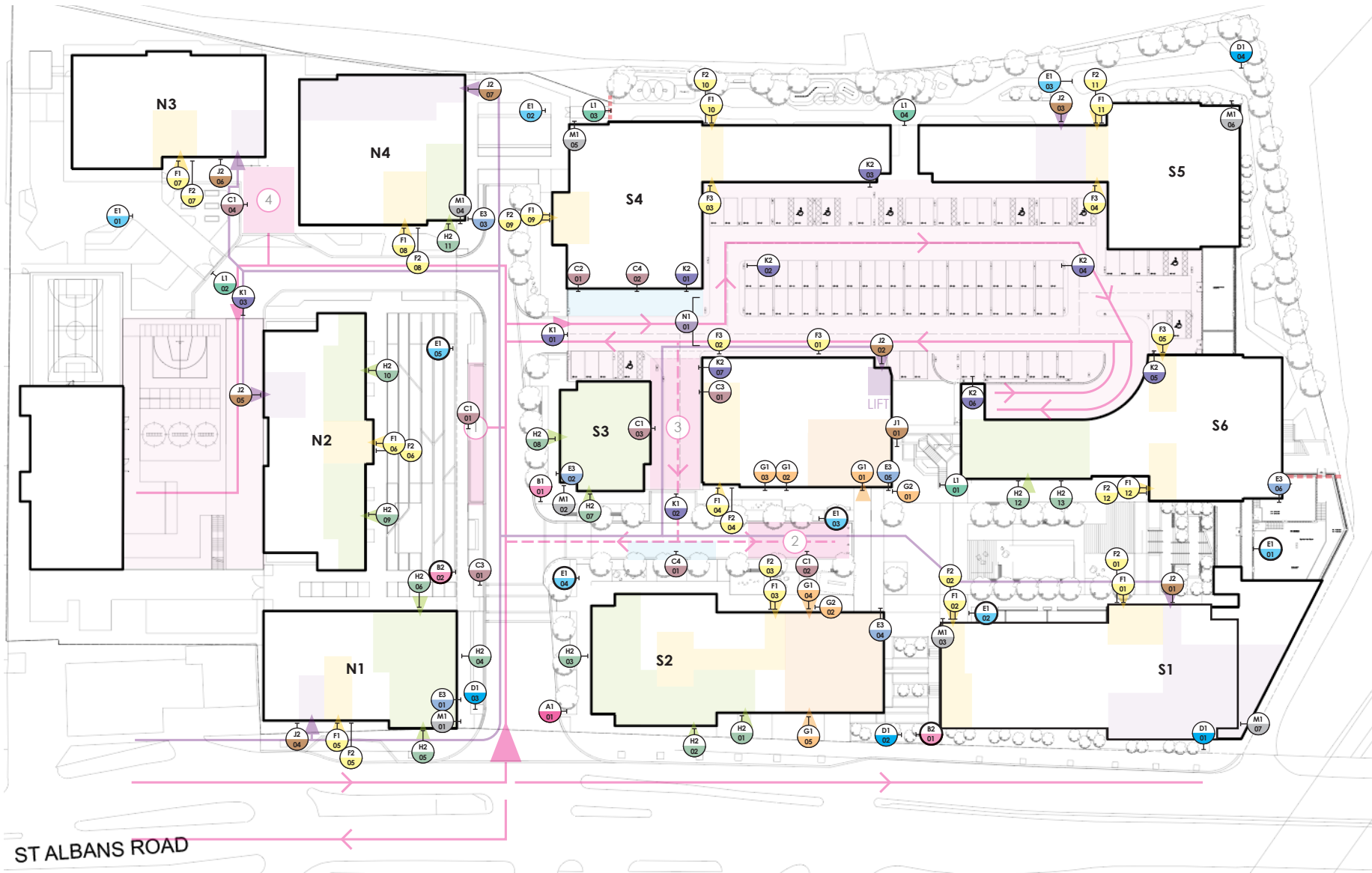
COMBINED MAPS - FIRST



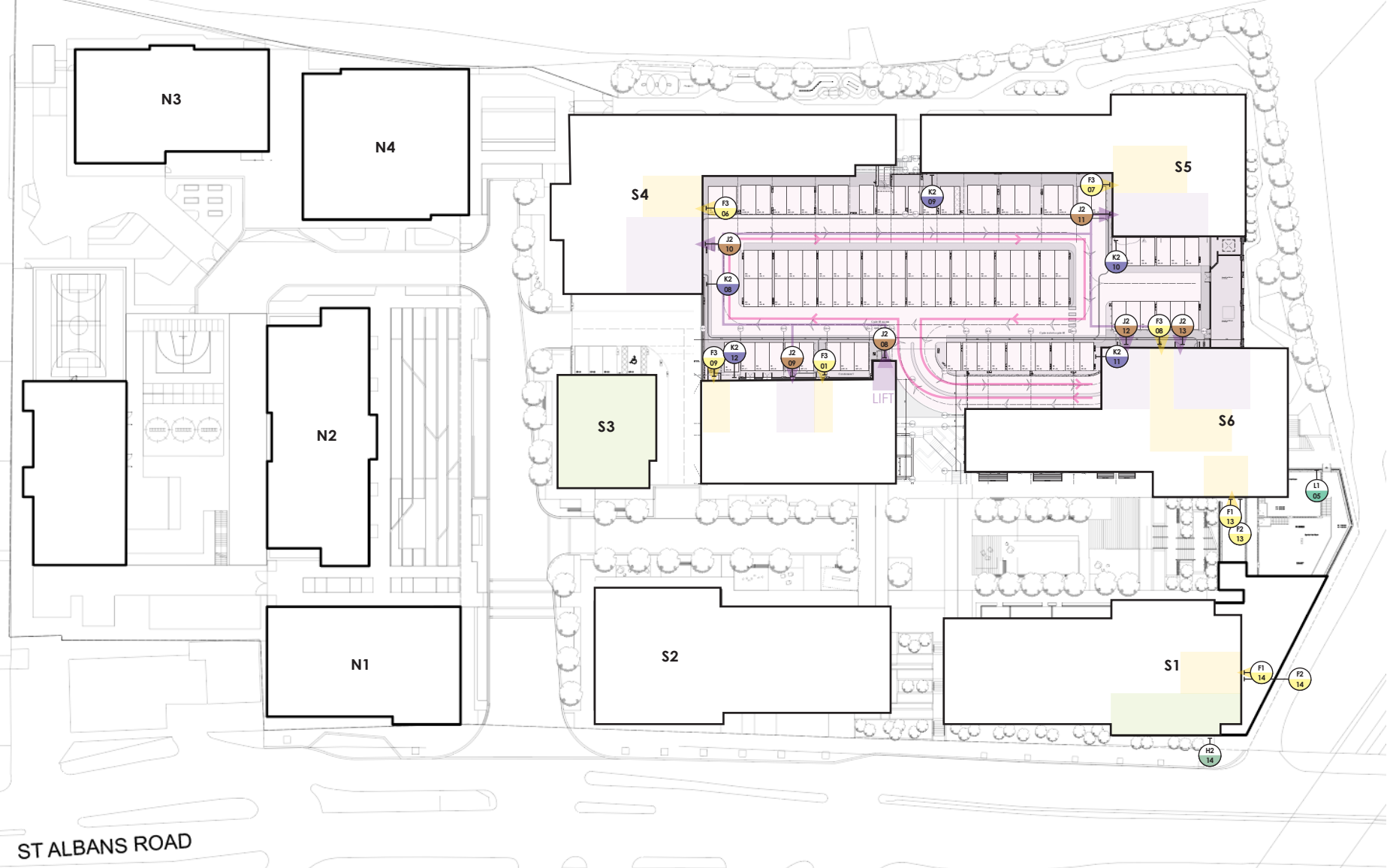
COMBINED MAPS - SECOND



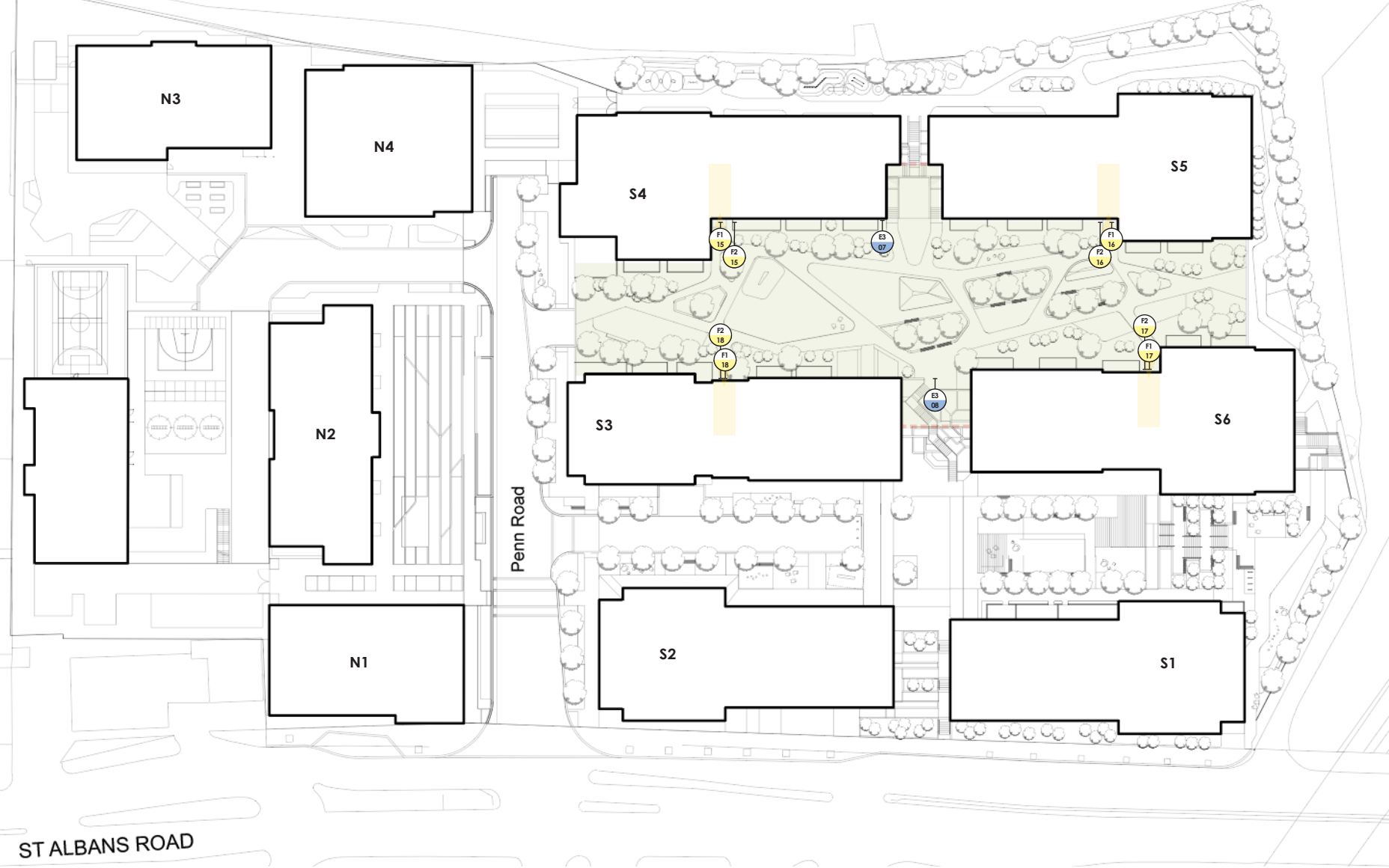
LOCATION MAPS - GROUND



LOCATION MAPS - FIRST



LOCATION MAPS - SECOND



DESIGN INTENT

LOGO USE

Branding will be carefully used to ensure site is easily identifiable, especially at the perimeter entrances

Consistent use of materials and graphical style should be used to reinforce the brand at all times.



COLOUR PALETTE

Painted and printed colours should always reflect the brand and built environment.

The colour palette opposite identifies the main brand colour references.

Combinations of colours should always ensure maximum legibility of primary information in line with Equality Act Best Practice.

EXTERNAL



EG DARK BRONZE

CMYK:
17/36/47/38

PANTONE:
8005 C

RAL:
1035



EG UMBRA GREY

CMYK:
68/64/68/65

RAL:
7022



EG GREEN

CMYK:
80/18/53/56

PANTONE:
626 C

RAL:
6036



EG LIGHT BRONZE

CMYK:
22/33/45/10

PANTONE:
4255 C

RAL:
1001



EG LIGHT GREY

CMYK:
5/3/5/11

PANTONE:
Cool Gray 2C

RAL:
9002

INTERNAL



DARK GREY

CMYK
20/15/5/85

RAL
7024



GOLD

CMYK
23/26/40/9

RAL
1035

TYPOGRAPHY

To ensure our signage is fully inclusive, all content should be displayed using BrownPro Light, which is a secondary brand font that is sans serif and highly legible when used for signage.

We suggest BrownPro Regular to add impact and interest when more than font is required.

Didot Regular is the headline font for Eight Gardens. We propose using this for Road Names only to help differentiate it from Building Name content.

Brown Pro Light

ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz
0123456879

Brown Pro Regular

ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz
0123456879

Didot Regular

ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz
0123456879

ICONS

A suite of icons have been developed which compliment the elegant, yet modern brand identity.

Breaks in form with mostly square corners reflect the eight offset lines of the logo.

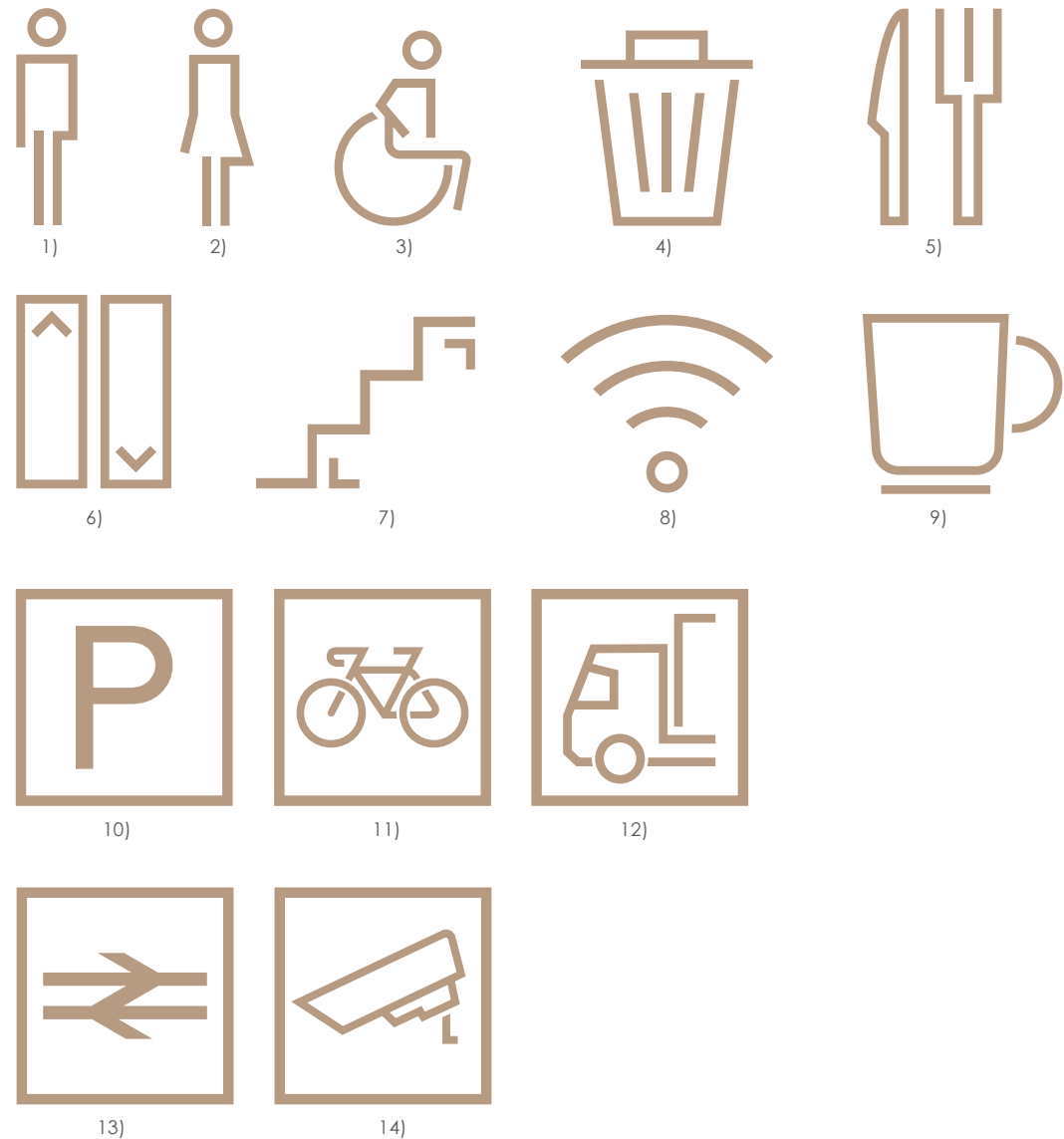
Symbols can be used to identify key amenities, either on their own or to reinforce written messaging.

INTERNAL

- 1) Male
- 2) Female
- 3) Accessible
- 4) Refuse
- 5) Restaurant
- 6) Lift
- 7) Stairs
- 8) Wifi
- 9) Café

EXTERNAL

- 10) Parking
- 11) Cycles
- 12) Deliveries
- 13) Station
- 14) CCTV



ARROW HIERARCHY

We are proposing an arrow design that reflects the Eight Gardens brand whilst following best practice design principles as set out in The Sign Design Guide by JMU Access Partnership & Sign Design Society.

Information on directional signs will follow a consistent hierarchy which improves legibility.

No downward arrows will be used as they can cause confusion.

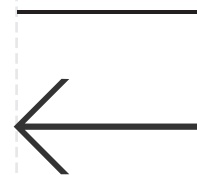
ARROW HIERARCHY

1. Up (left aligned)
2. Up and left
3. Left
4. Down and left
5. Up (left aligned)
6. Up and right
7. Right
8. Down and Right



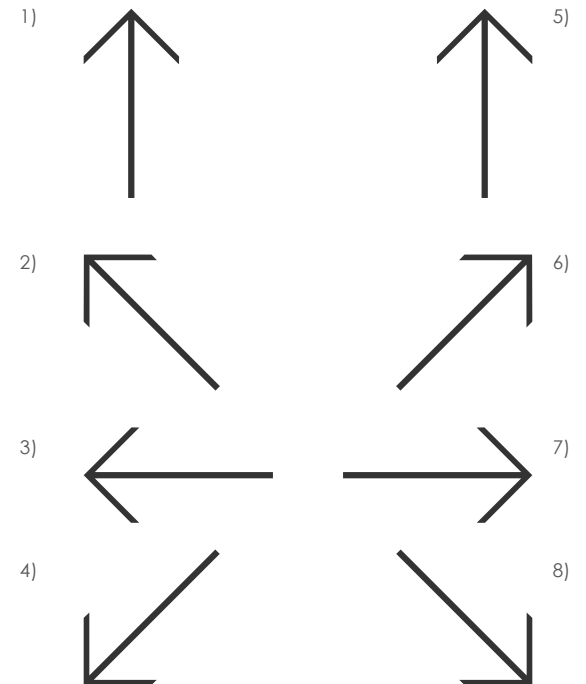
THE
EIGHT
GARDENS

Watford



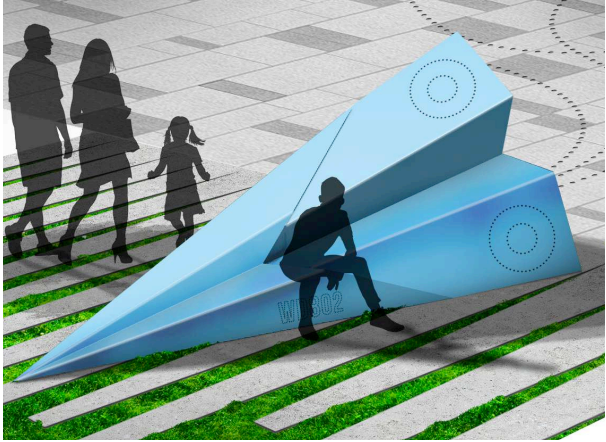
RATIONALE

Arrow length is intended to be proportionate to the logo, with a thin line weight to balance the brand and BrownPro Light font. Text content should be aligned to arrow direction to maximise legibility and provide consistency.



EXTERNAL CONCEPTS

CONTEXT



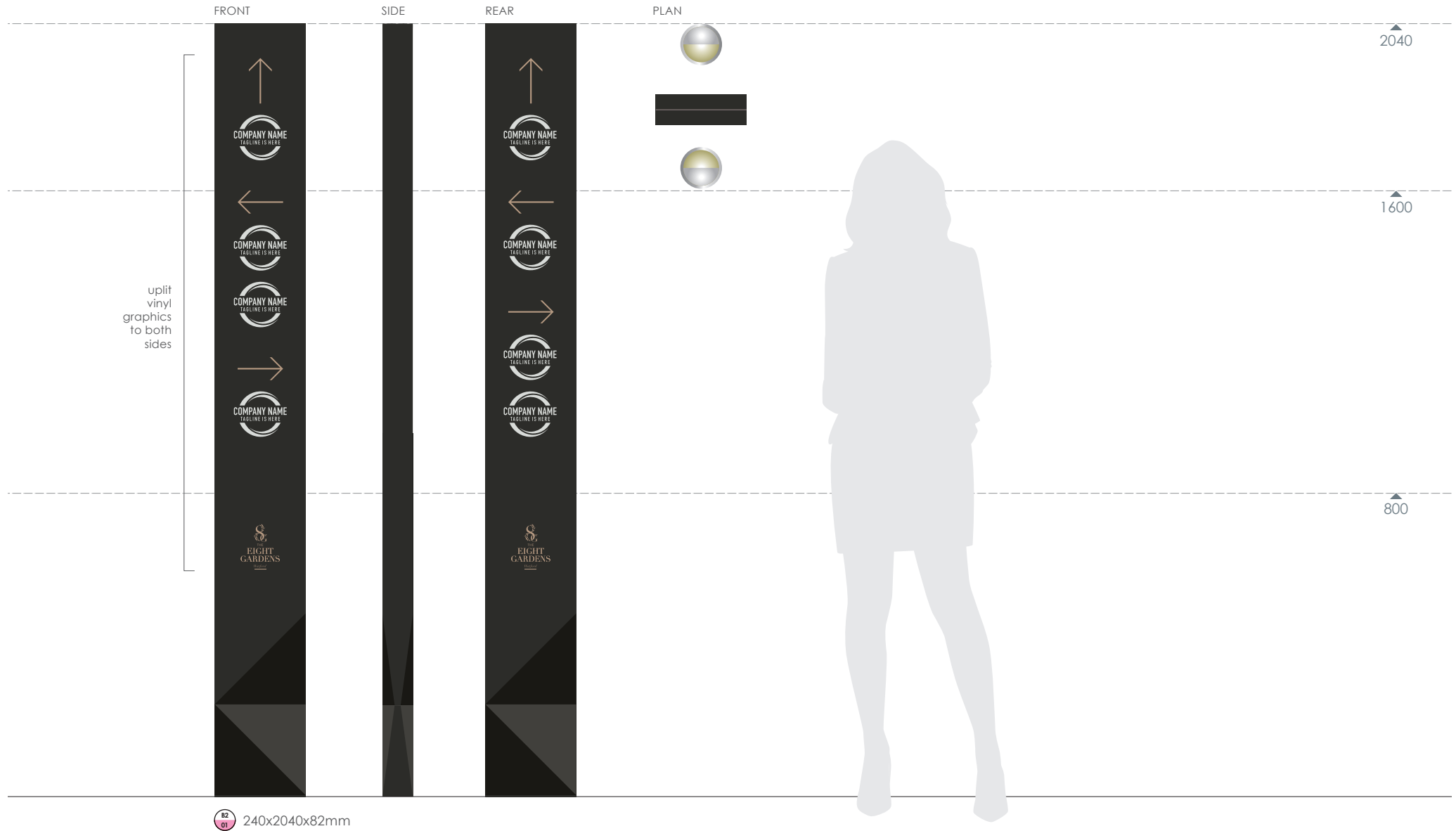
VEHICULAR ENTRANCE_RAL 7022



DELIVERY DIRECTIONAL



COMMERCIAL DIRECTIONAL



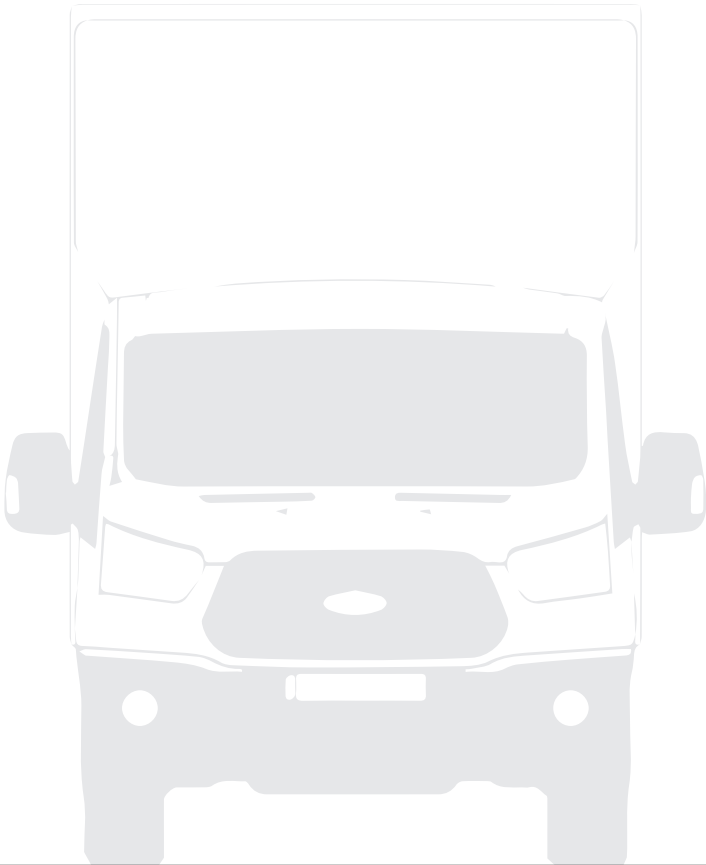
DELIVERY IDENTIFICATION

Lamp column mounted

Wall mounted near intercom



480x960mm, 480x480mm



DELIVERIES INFORMATION

Deliveries

Bay Number

1	Cedrus House Tine House N1 Name
2	Aspect House Paget House
3	Avem House Dart House Garden Heights Union Court
4	N3 Name

For concierge call:
020 3993 2886

 600x1200mm



Deliveries

Bay Number

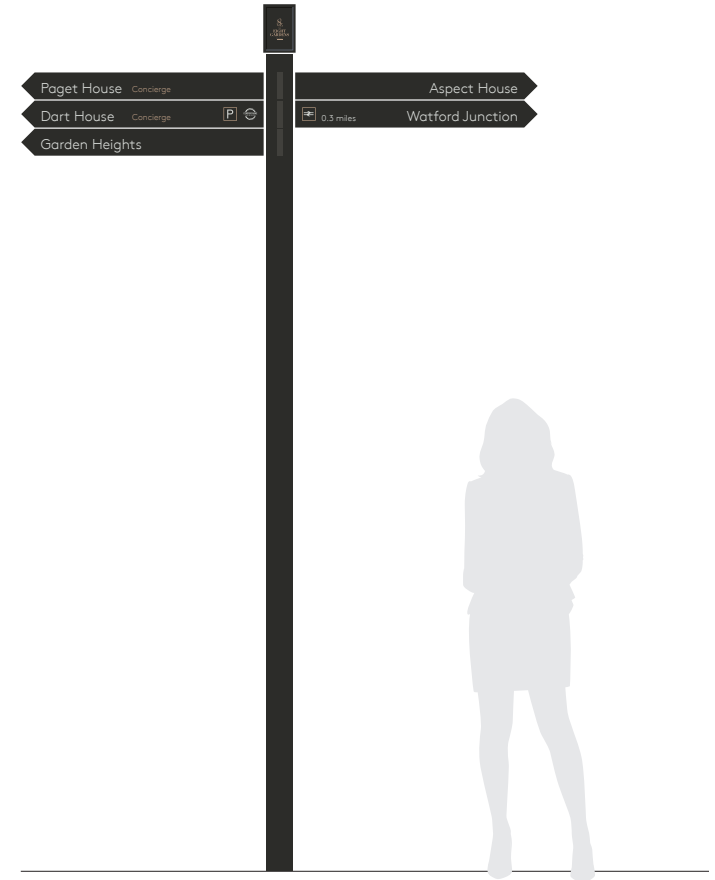
1	Cedrus House Tine House N1 Name
2	Aspect House Paget House
3	Avem House Dart House Garden Heights Union Court
4	N3 Name

For concierge call:
020 3993 2886

PEDESTRIAN FINGERPOST



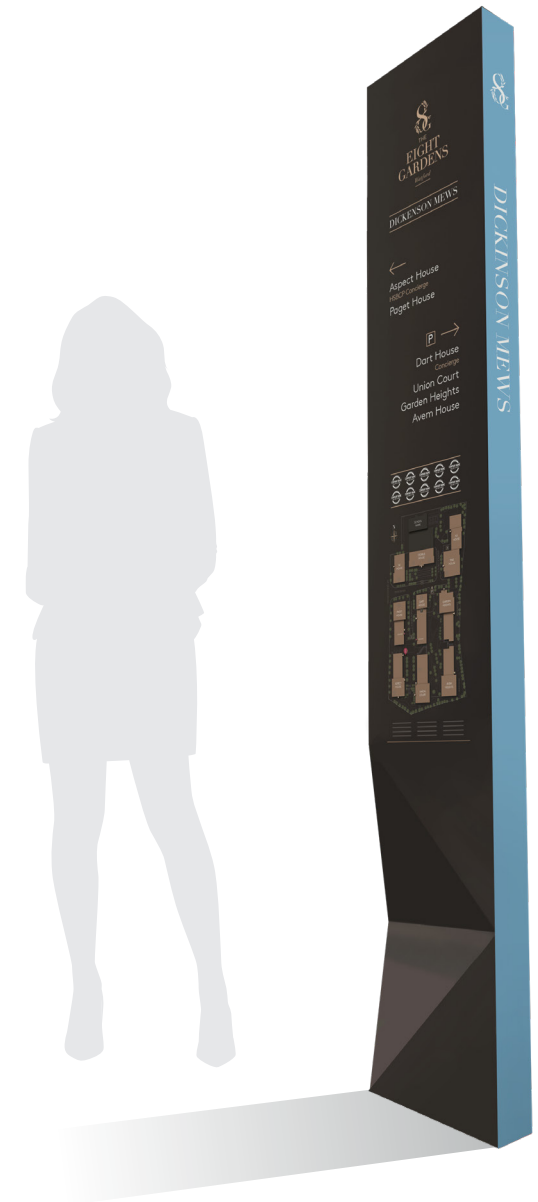
1900x3200mm



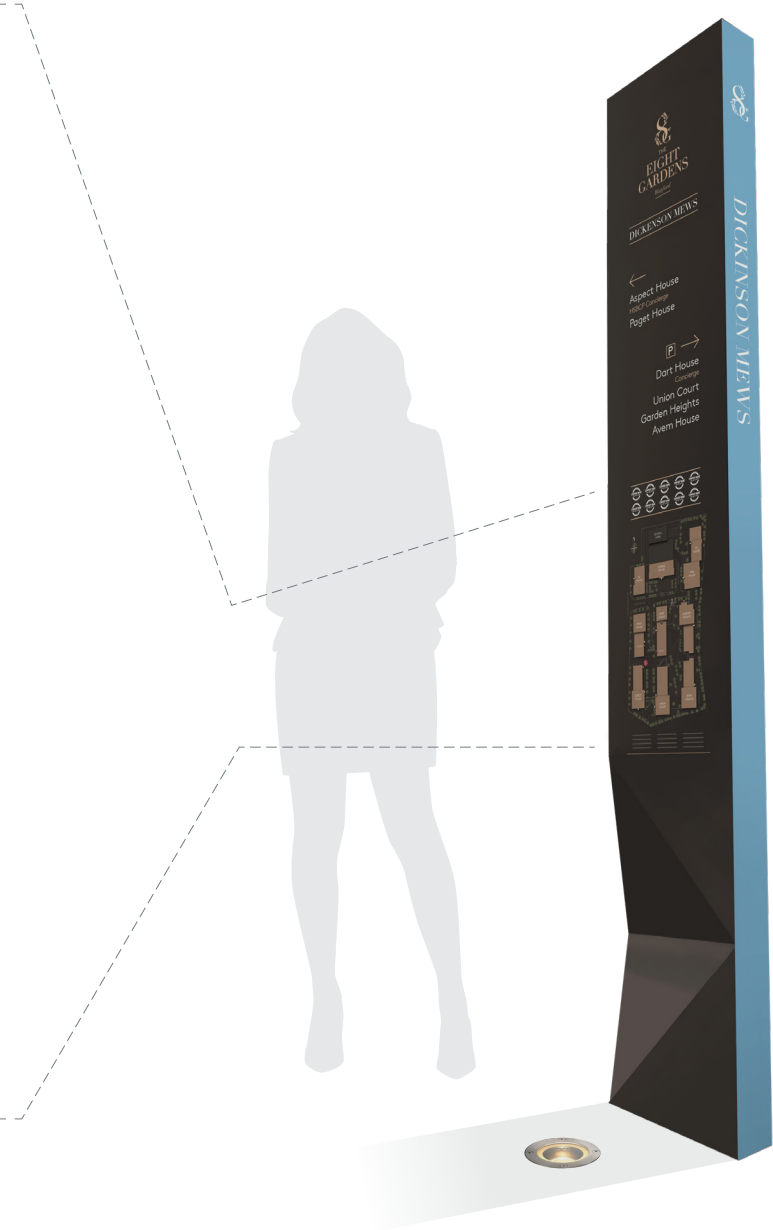
WAYFINDING TOTEM



3D VISUAL_TOTEM - WITH COLOURED SIDE PANEL



EXTERNAL MAP & ILLUMINATION



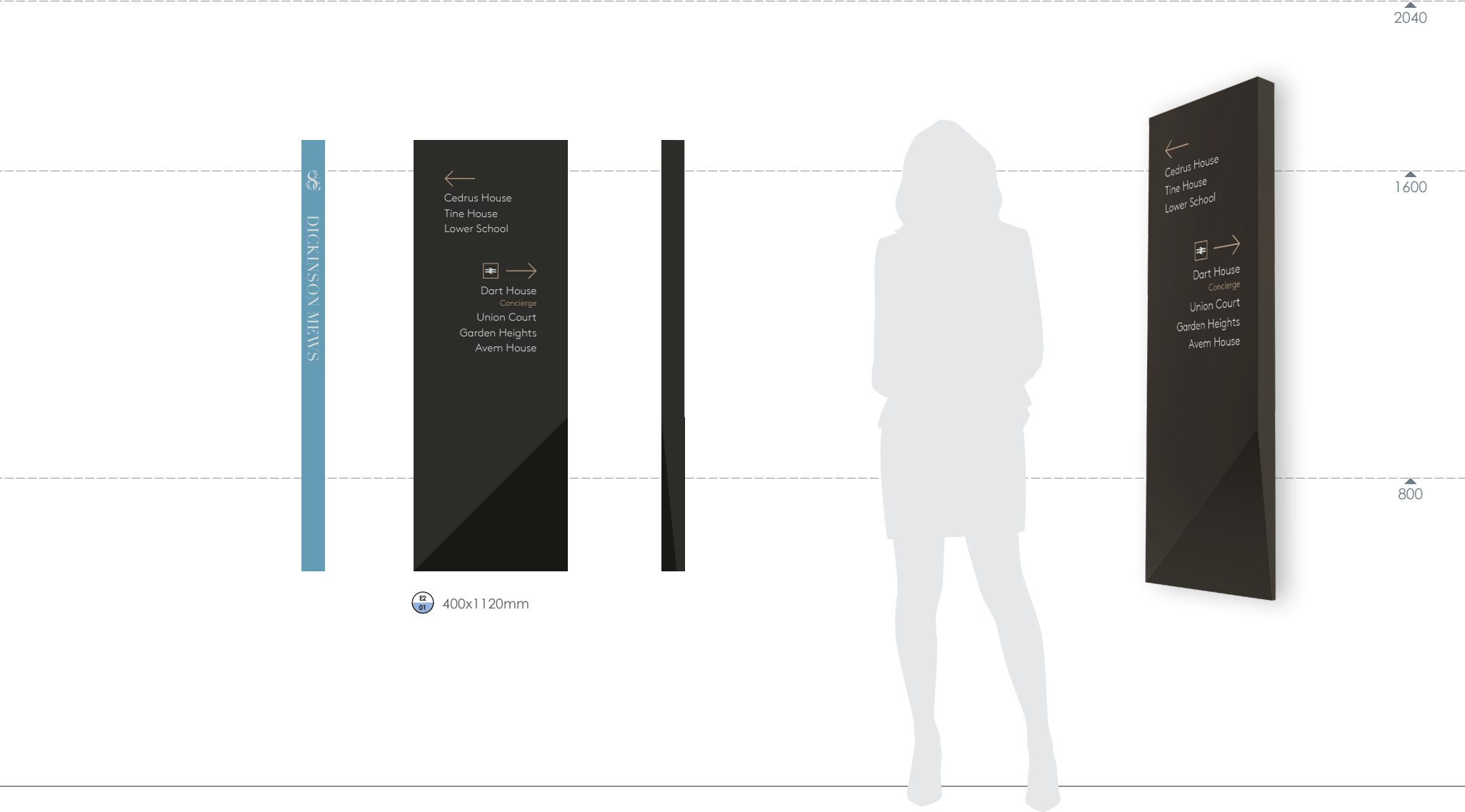
GROUND FIXED UPLIGHTER

FEATURES:

- Power supply 230v
- Flush to ground
- IP67 rated
- Stainless steel bezel
- Cool touch glass lens
- 2 ton drive over weight limit
- Angled reflector
- Choice of lamp colour



DIRECTIONAL WALL SIGNS



BLOCK ENTRANCE - IDENTIFICATION

ASPECT HOUSE

130mm CAP HT



BLOCK ENTRANCE - INSTRUCTION



F2 01 200x360mm



BLOCK ENTRANCE - FROM INSIDE CAR PARK

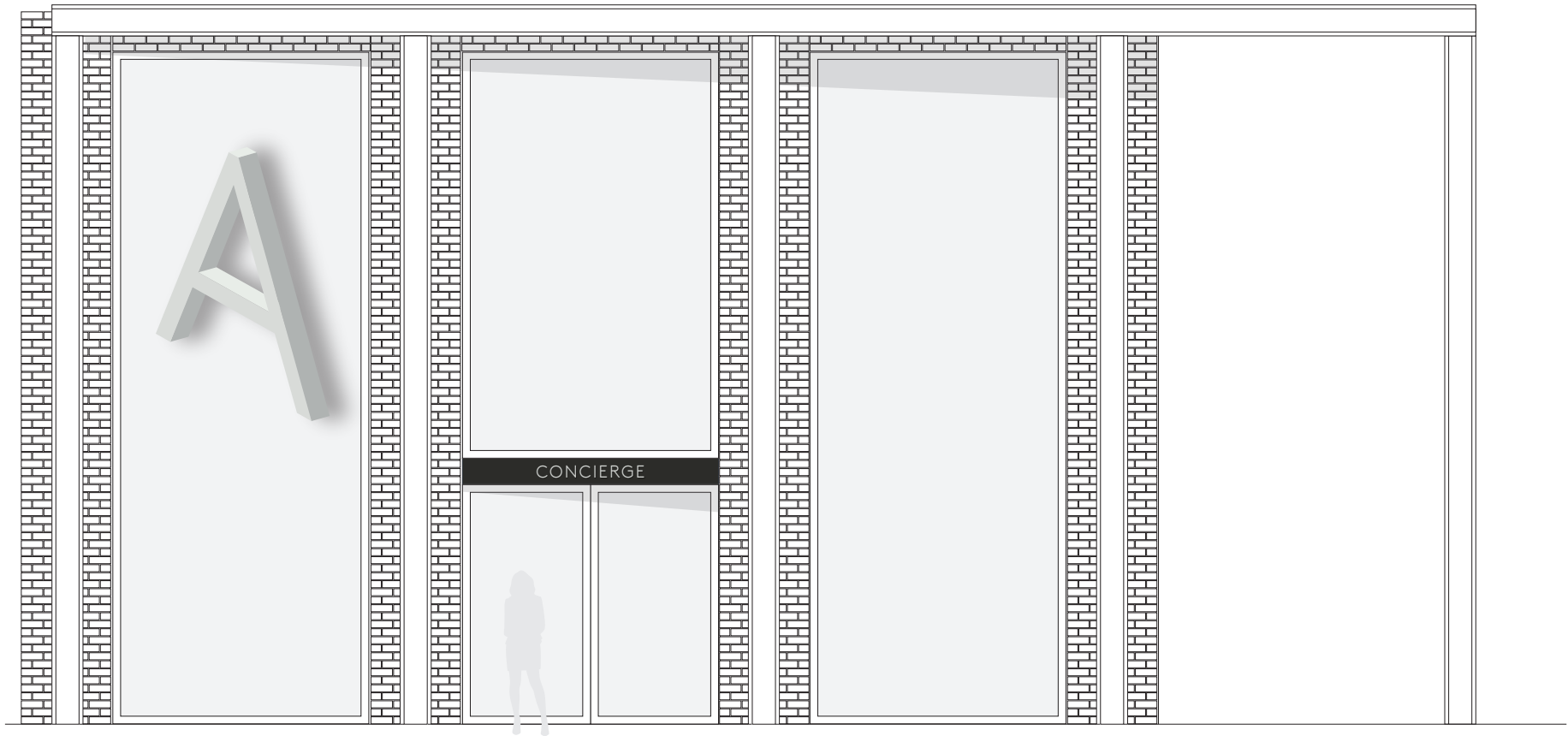
200x2000mm



CONCIERGE ENTRANCE - LETTERING

CONCIERGE

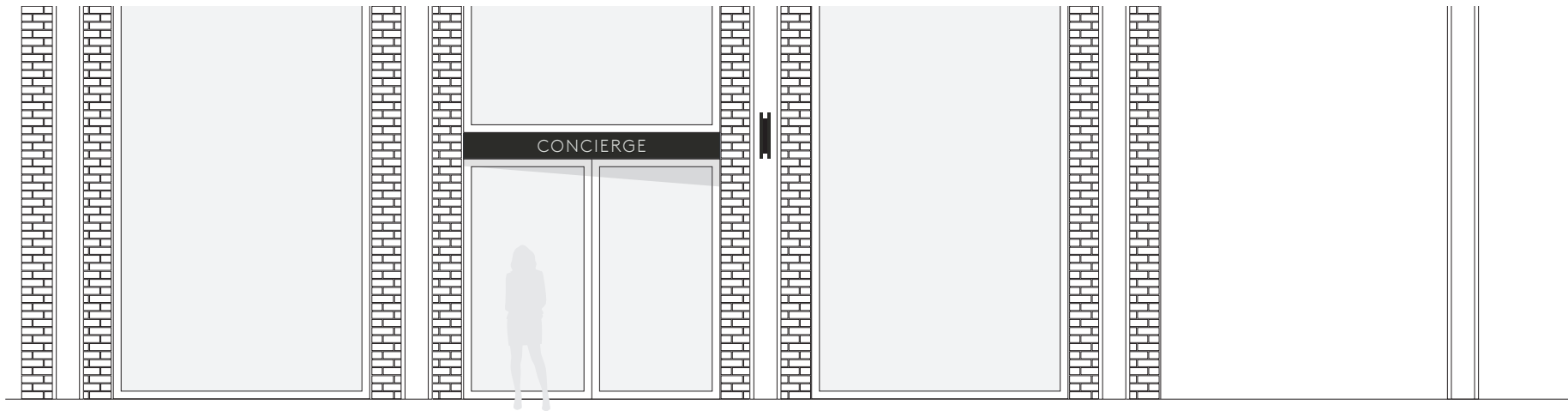
G1
01 130mm CAP HT



CONCIERGE ENTRANCE - PROJECTING



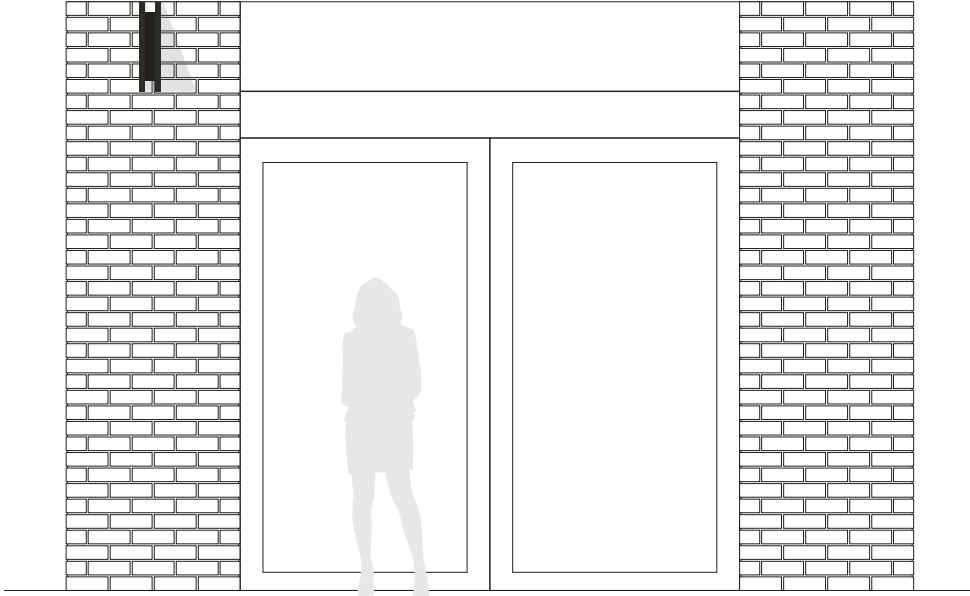
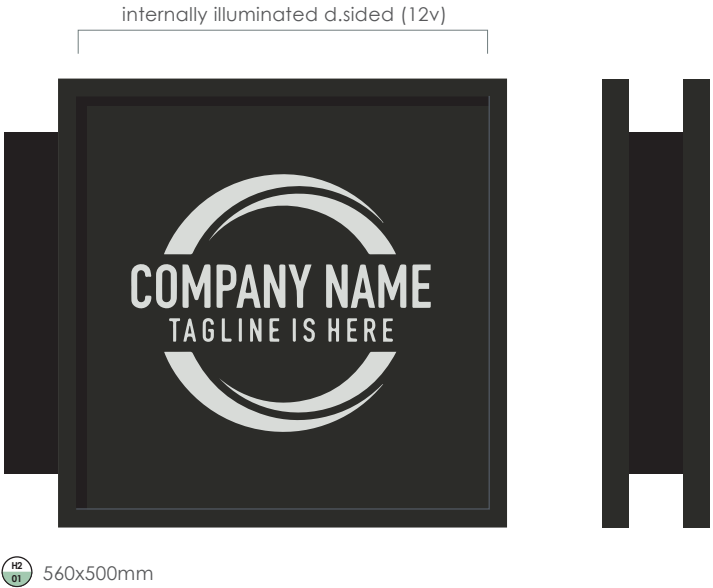
52 51 560x500mm



3D VISUAL_PROJECTING



RETAIL ENTRANCE - PROJECTING

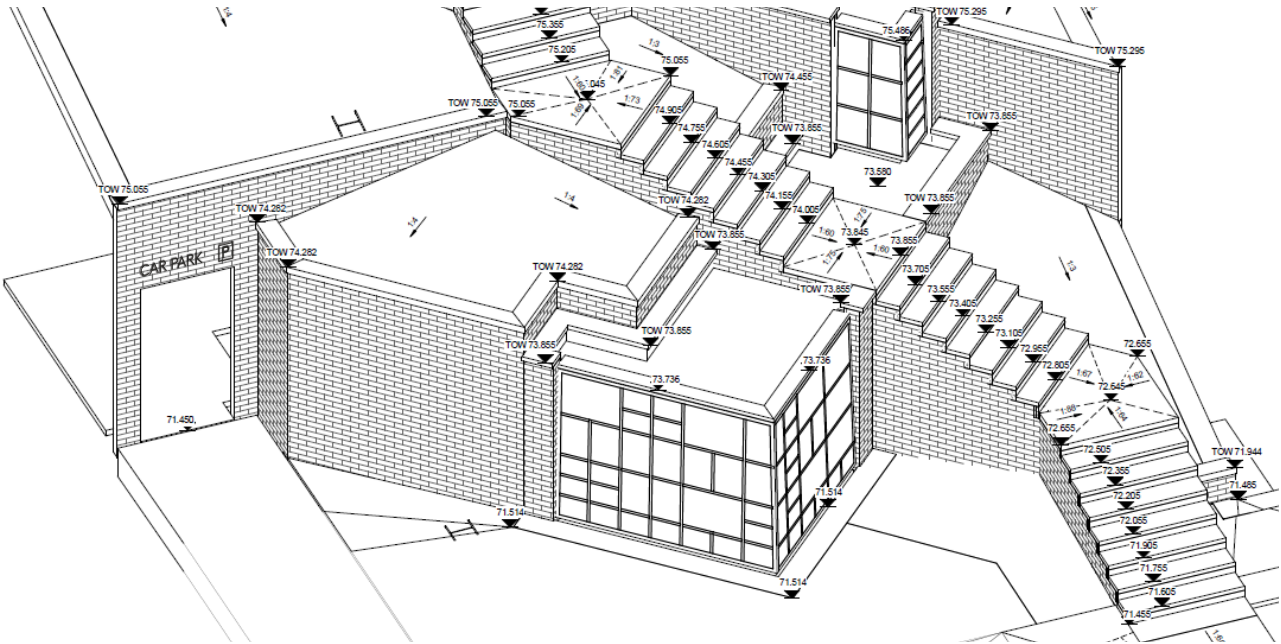


CYCLE LIFT APPROACH

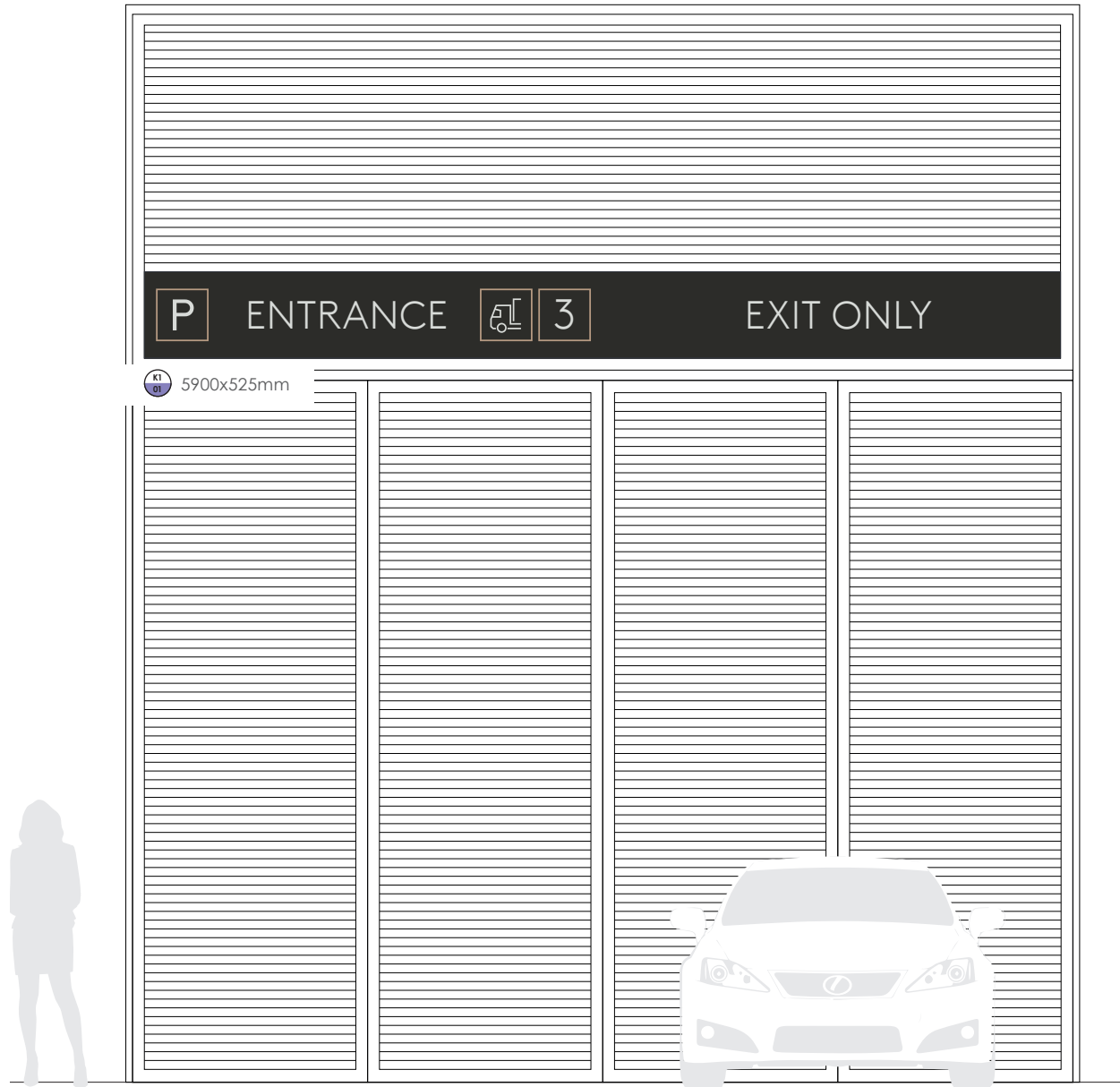
CAR PARK



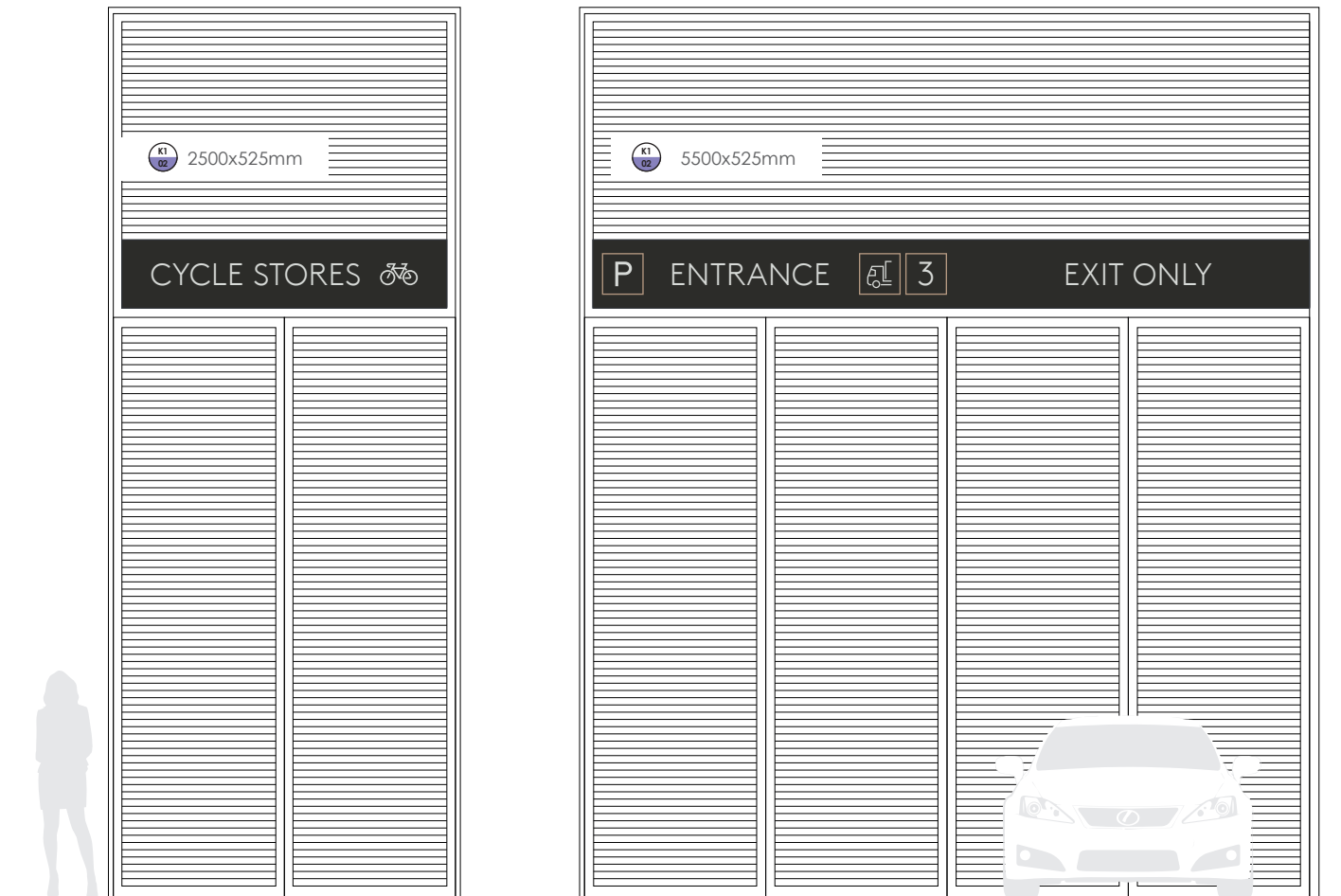
J1 01 105mm CAP HT



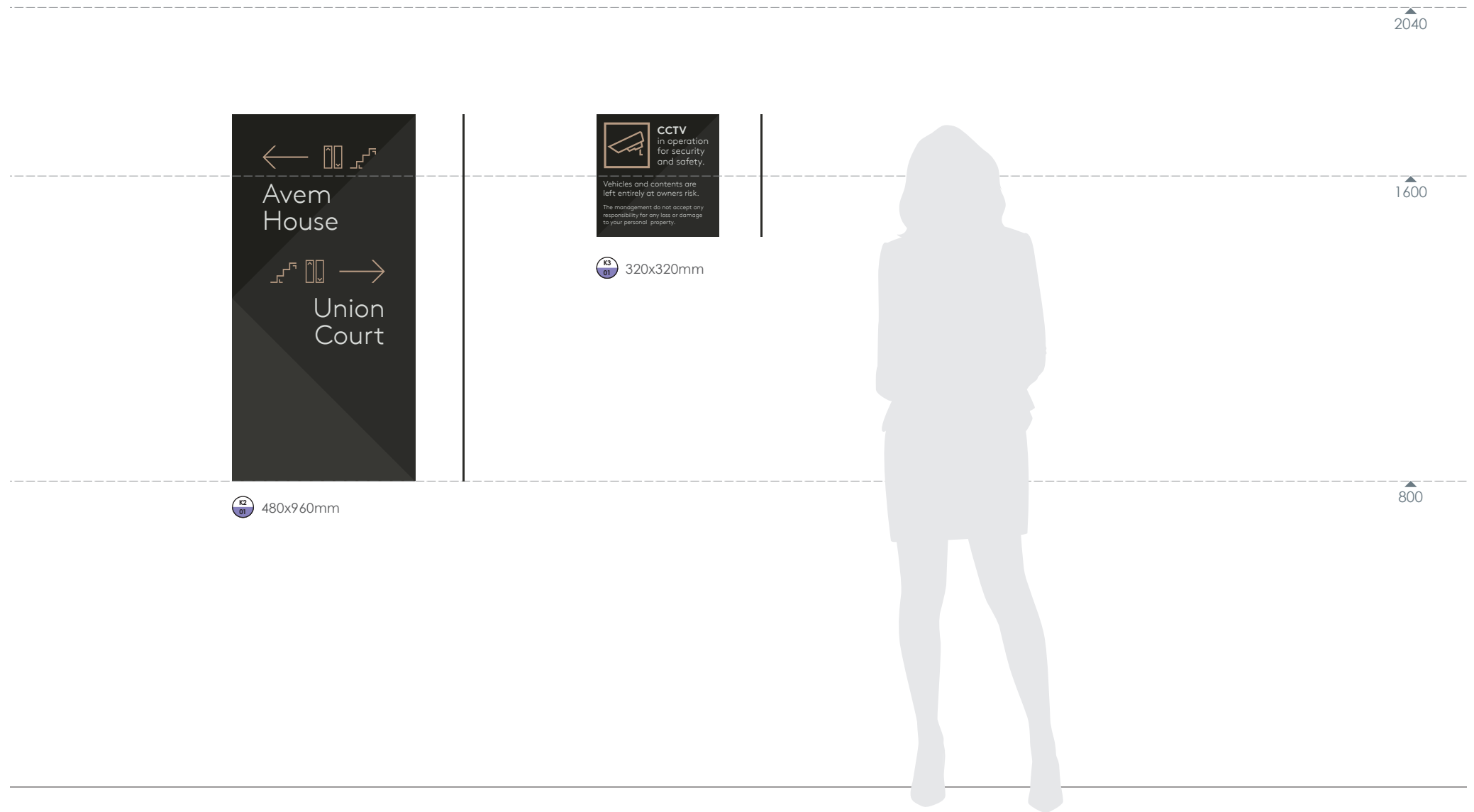
CAR PARK ENTRANCE - FULL SCHEME



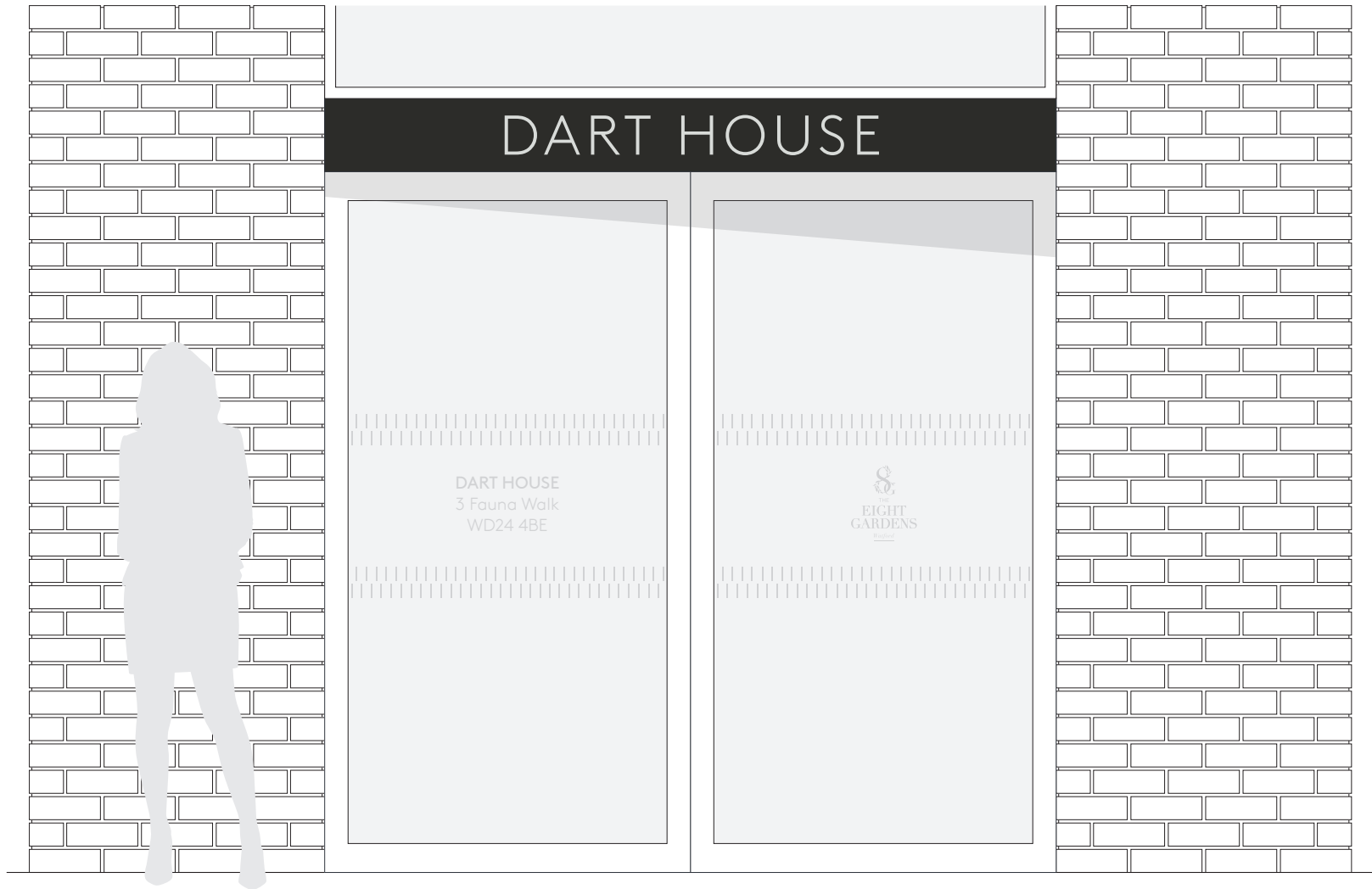
CAR PARK ENTRANCE - PARTIAL SCHEME



CAR PARK ENTRANCE DIRECTIONAL & DISCLAIMER



MANIFESTATION



ROAD SIGNS



RAL 9002 background



CLEANING INSTRUCTIONS



BRASS, PAINTED ALUMINIUM, PLASTIC & PAINTED WOODEN SURFACES MUST BE CLEANED CAREFULLY USING WARM WATER ONLY



NEVER USE METHYLATED SPIRIT, POLISH, WHITE TURPS OR ANY OTHER CLEANER NOT RECOMMENDED BY READE SIGNS



ALWAYS USE A CLEAN, SOFT, LINT-FREE CLOTH

MAINTENANCE INSTRUCTIONS

ALL SIGNS THAT REQUIRE STRUCTURAL CALCULATIONS SHOULD HAVE A FIXING CHECK EVERY 4-6 MONTHS