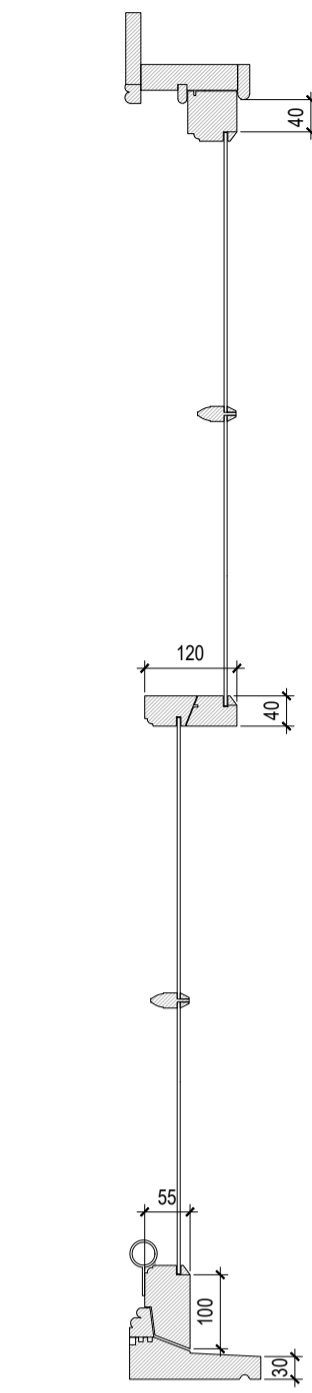
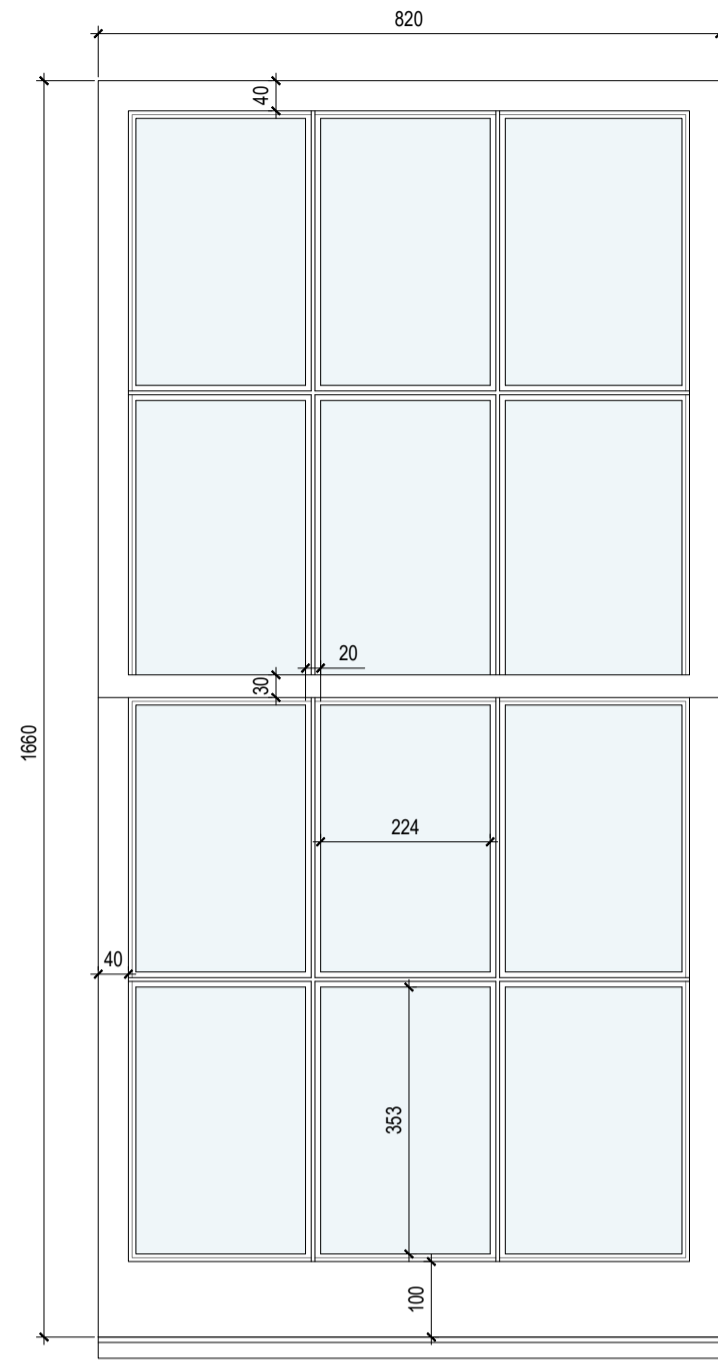


EXISTING PLAN SECTION  
scale 1:10



EXISTING THROUGH SECTION  
scale 1:10



W4-W9 - TYPICAL EXISTING EXTERNAL WINDOW ELEVATION  
scale 1:10

**EXISTING WINDOW CONDITION NOTES:**

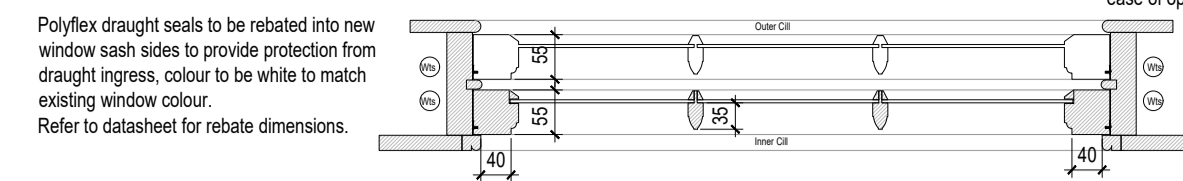
Front windows are in poor condition. Timbers are rotten beyond repair, gaps are evident throughout all windows causing major draught and water ingress problems.

6 over 6 configuration, evidence of crown glazing, as shown, suggests window arrangements are as per the original design, although timber integrity is noted not to withstand repair or refurbishment for re use of glazing. 2no. panes to front elevation W09 are noted to be boarded up.

All front windows are identical in dimension and profile. Astragals appear to be original in profile and dimension.

Please refer to photo sheets which show windows in context.

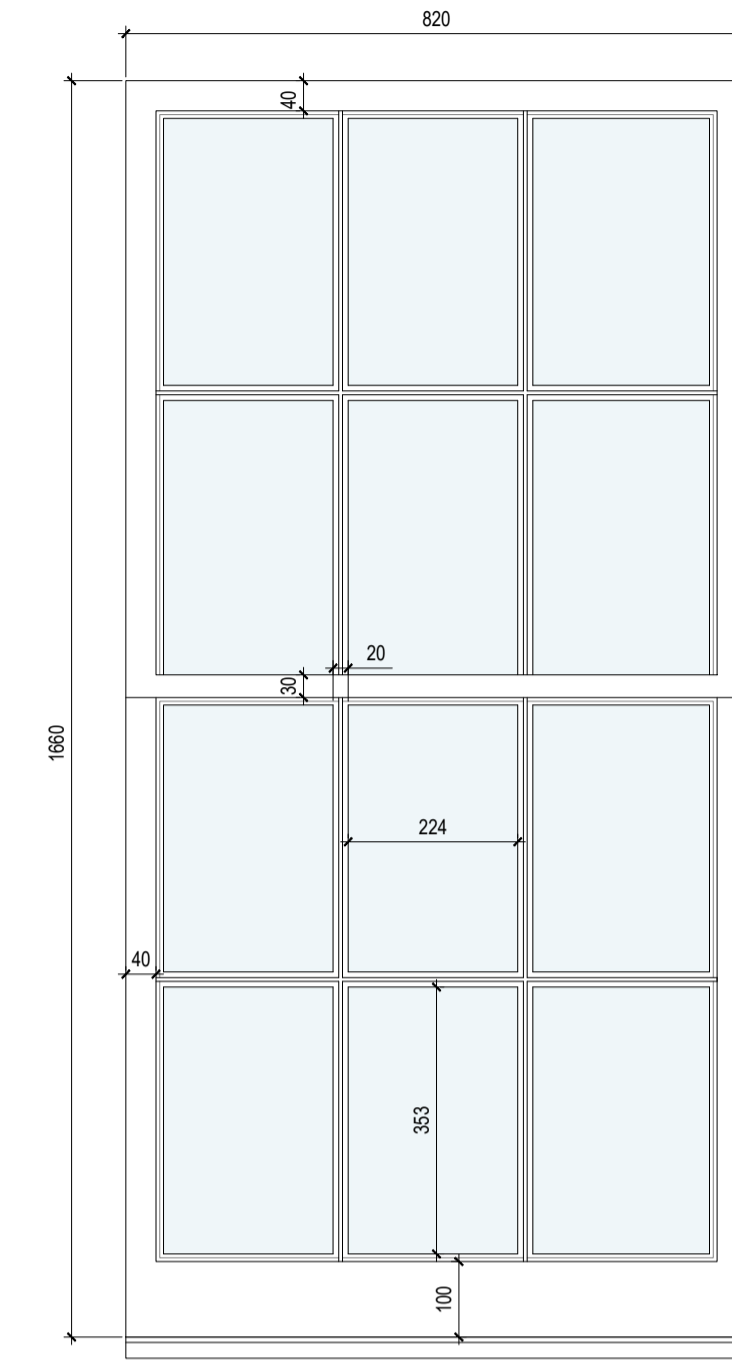
Glazing Type: Single Glazing  
GLASS MAKE UP: 6-7mm



PROPOSED PLAN SECTION  
scale 1:10



PROPOSED THROUGH SECTION  
scale 1:10



W4-W9 - TYPICAL PROPOSED EXTERNAL WINDOW ELEVATION  
scale 1:10

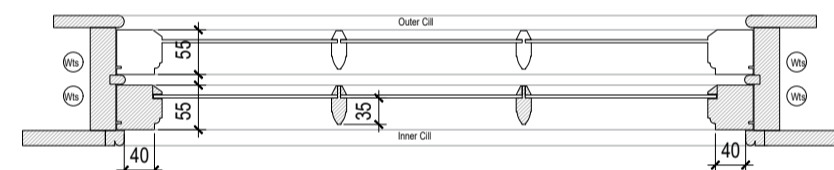
**PROPOSED WINDOW SCOPE:**

Front elevation Single Glazed timber framed sash and case windows, W4-W9, to be removed and replaced as follows:

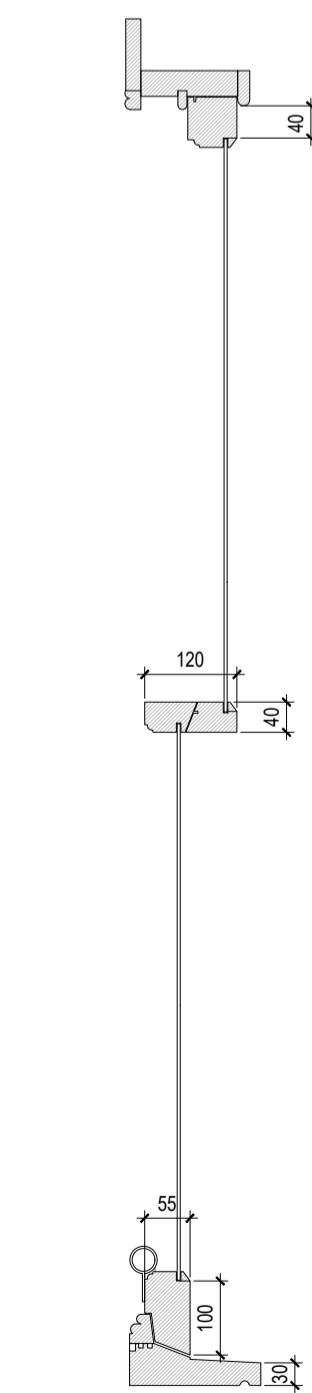
- Existing window timbers are in poor condition. All timber windows have rotten/defective timber sections for all elements of the window as demonstrated in Supporting Statement.
- W4-W9 Single Glazed existing timber sash and case windows to be replaced with new hardwood timber framed sash and case windows on a like for like basis.
- New 6 over 6 window layout, astragals to match existing astragal profiles.
- New single glazed safety glass to be fitted into new windows.
- Windows to be fitted with new waxed cotton ropes and weight distribution to all windows to be checked to ensure ease of opening.
- Schlegel draught seals to be rebated into new window sashes, top/bottom. Polyflex draughts seals rebated into sides of sashes. Draught brush to be rebated into mid transom.
- New sash weights to be balanced along with install of new pulley wheels to allow for ease of opening.

Timber windows to undergo full redecoration as follows:

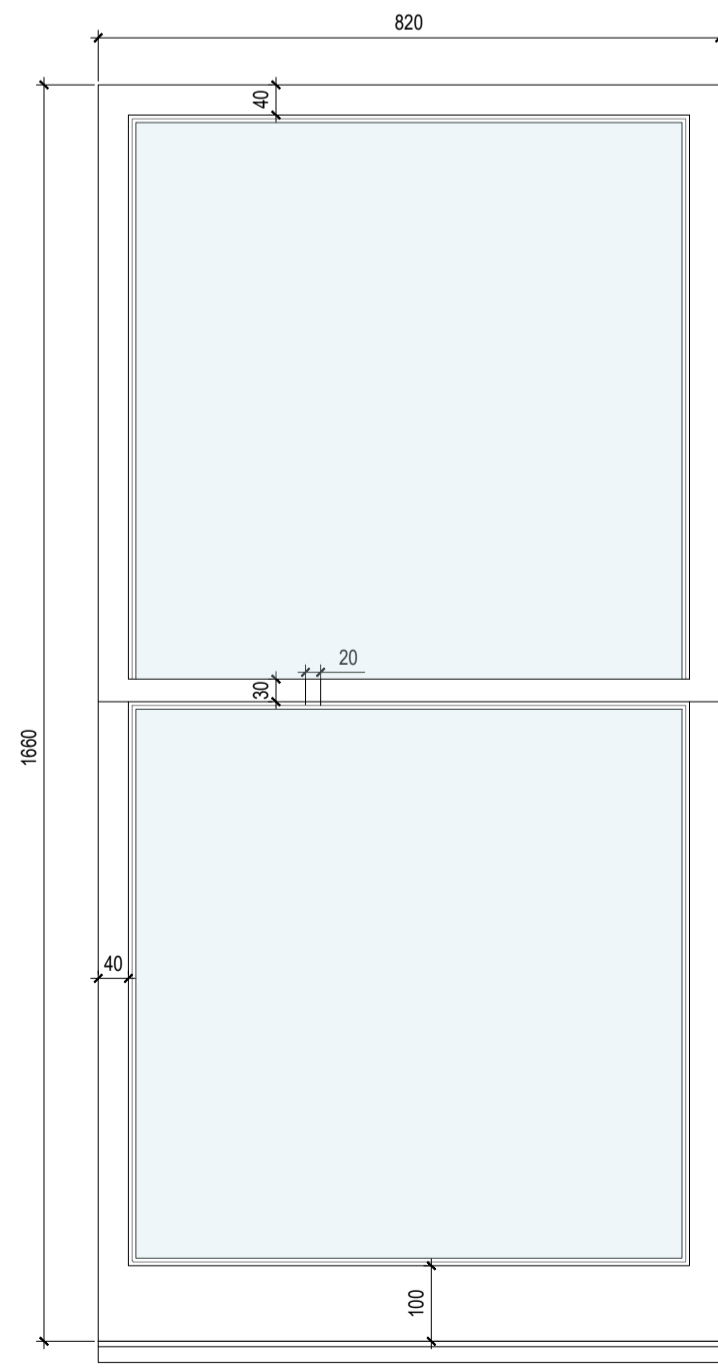
- New windows to be painted in white gloss to match existing. External and internal of window, to be primed with 2no coated of Acrylic water based undercoat and finished with 1no coat of brilliant white gloss paint.
- Window pane putty to be replaced on a like for like basis allowing 28 days to fully cure prior to being painted white to match existing, painting of putty should be carried out soonest after 28 days curing period to minimise the putty becoming brittle.
- Existing, failing exterior sand mastic to be removed and joints re pointed with lime mortar.



EXISTING PLAN SECTION  
scale 1:10



EXISTING THROUGH SECTION  
scale 1:10



W1-W3 - TYPICAL EXISTING EXTERNAL WINDOW ELEVATION  
scale 1:10

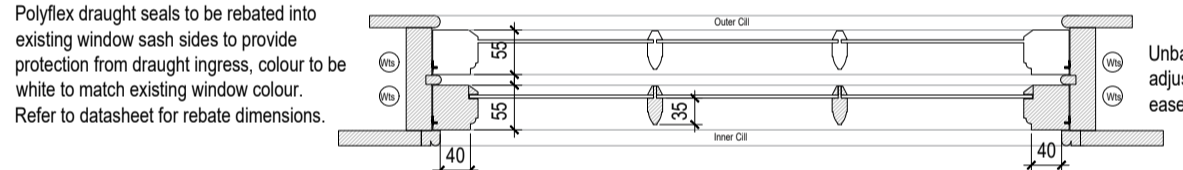
**EXISTING WINDOW CONDITION NOTES:**

Sashes are not in full working condition and cannot open, pulleys, ropes and weights require immediate replacement to allow ease of opening. No evidence of existing draught brushes installed to face of inner frame, bottom rail and mid transom have gaps and as a result the windows are very draughty.

All front windows are identical in dimension and profile. Astragals appear to be original in profile and dimension.

Please refer to photo sheets which show windows in context.

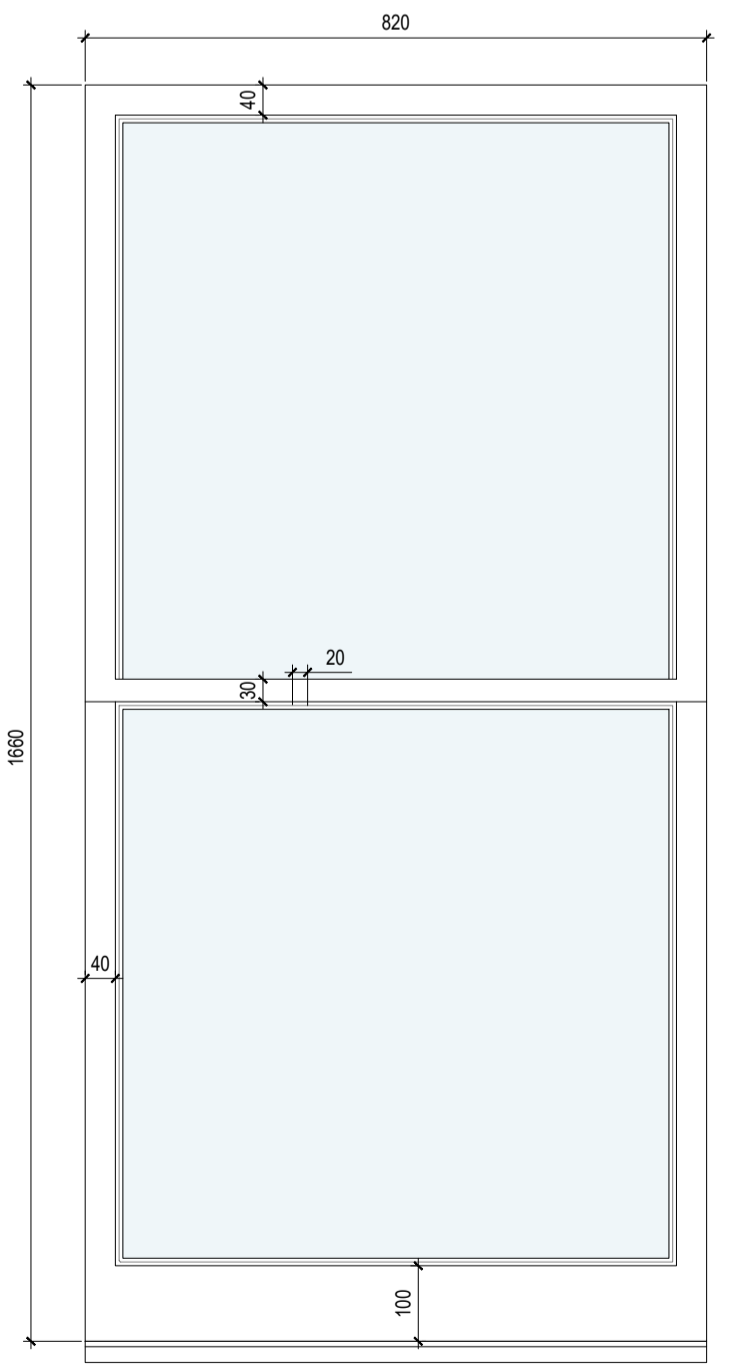
Glazing Type: Single Glazing  
GLASS MAKE UP: 6-7mm



PROPOSED PLAN SECTION  
scale 1:10



PROPOSED THROUGH SECTION  
scale 1:10



W1-W3 - TYPICAL PROPOSED EXTERNAL WINDOW ELEVATION  
scale 1:10

**PROPOSED WINDOW SCOPE:**

Front Elevation W1-W3 to undergo full refurbishment as follows:

- Generally all existing window timbers are in good condition. Replace all existing defective ropes with new waxed cotton ropes and check weight distribution to both windows to ensure ease of opening. Existing defective top sash rope pulls to be replaced and reinstated
- Schlegel draught seals to be rebated into existing window sashes, top/bottom. Polyflex draughts seals rebated into sides of sashes. Draught brush to be rebated into mid transom.
- Existing sash weights to be adjusted and re balanced along with install of new pulley wheels to allow for ease of opening.

Both windows to undergo full redecoration as follows:

- Removal of existing defective and heavily coated paint internally and externally with full dip and strip of existing windows.
- Windows to be painted in white gloss to match existing. External and internal of window, to be primed with 2no coated of Acrylic water based undercoat and finished with 1no coat of brilliant white gloss paint.
- Window pane putty to be replaced on a like for like basis allowing 28 days to fully cure prior to being painted white to match existing, painting of putty should be carried out soonest after 28 days curing period to minimise the putty becoming brittle.
- Existing, failing exterior sand mastic to be removed and joints re pointed with lime mortar.