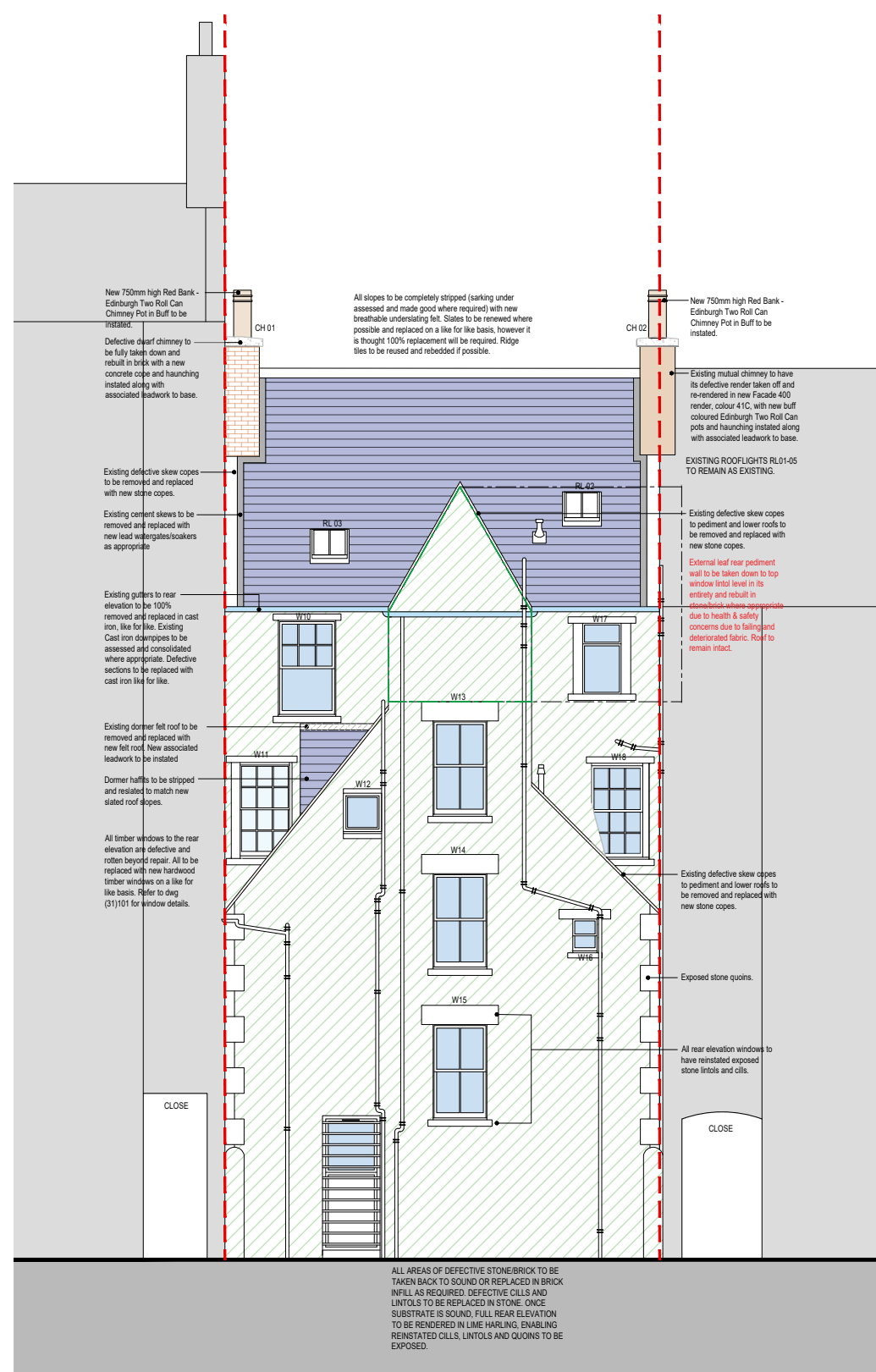
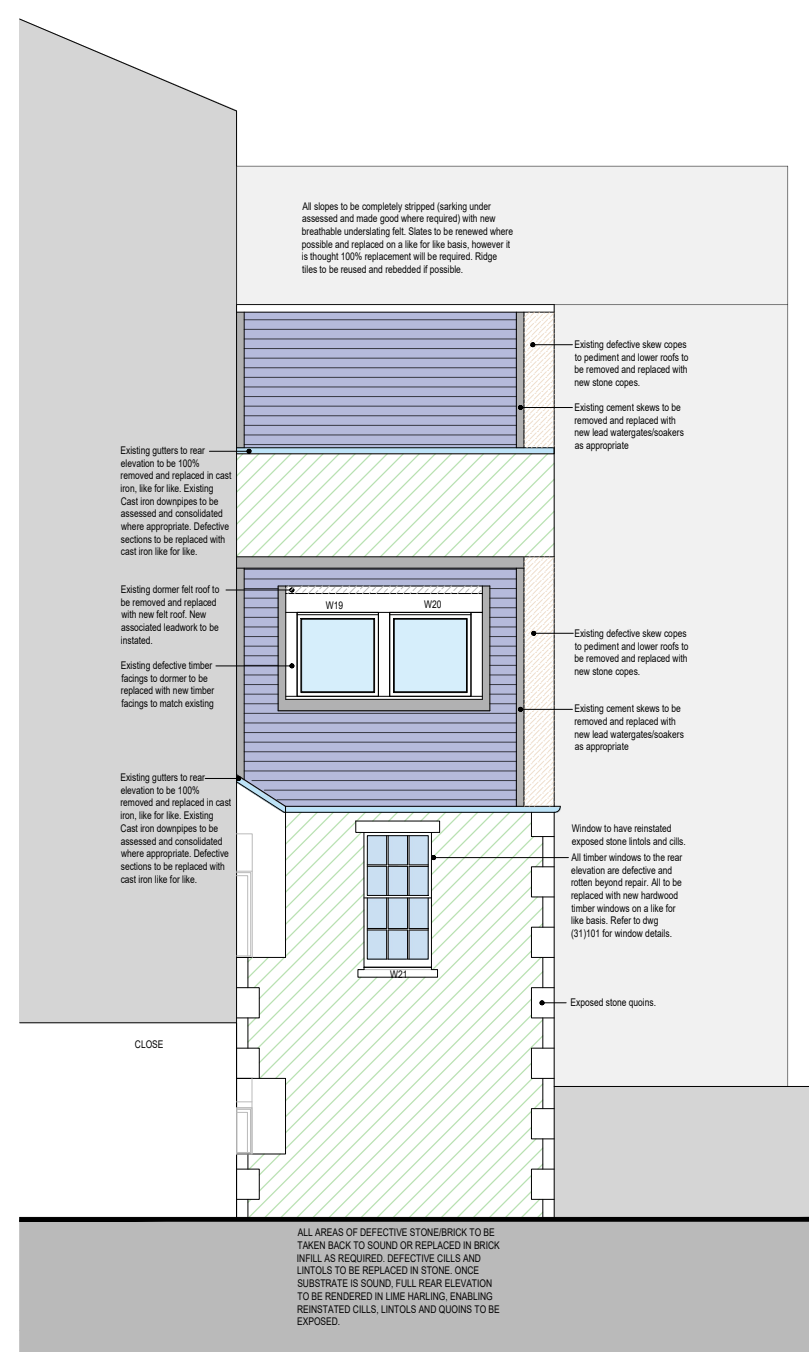


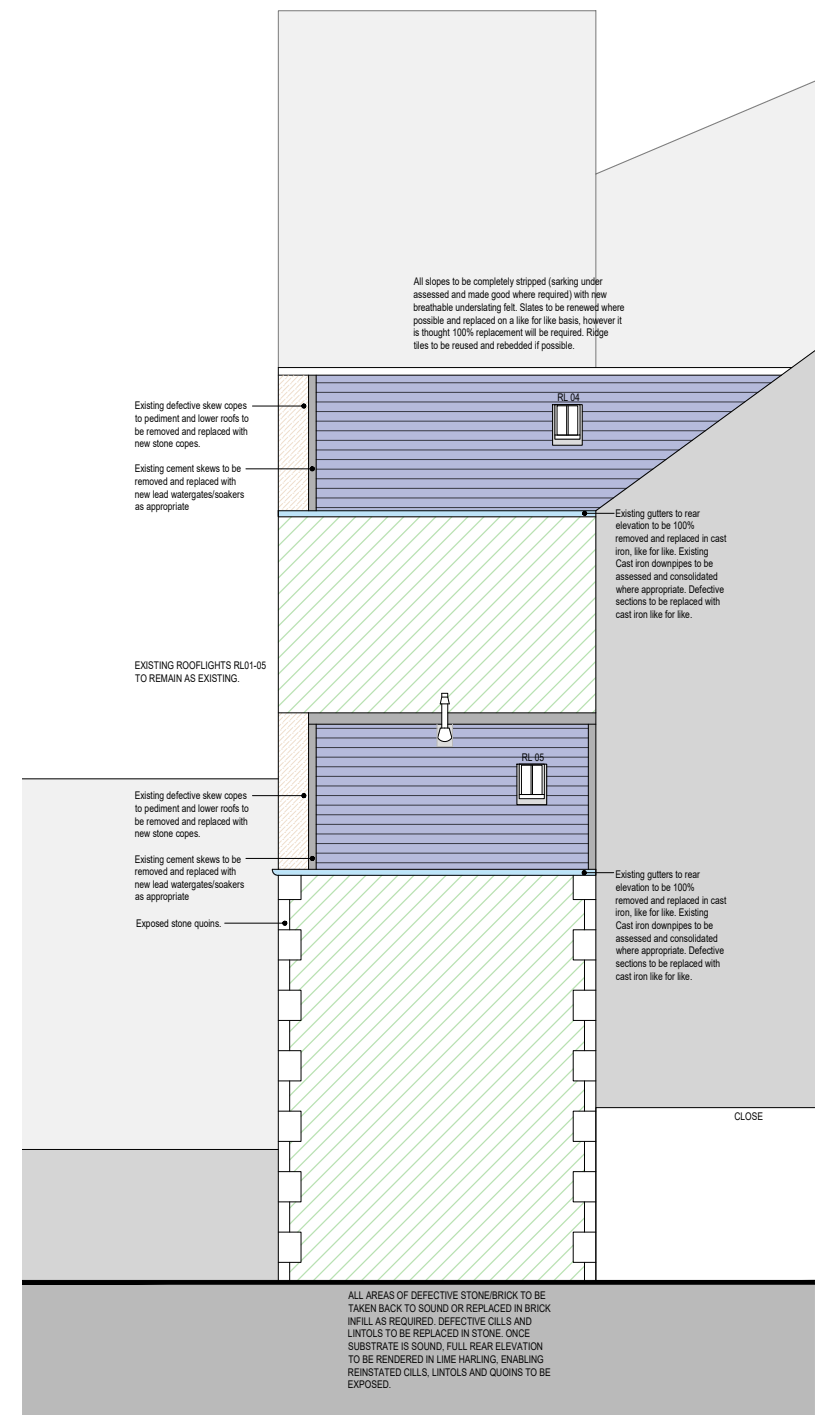
PROPOSED FRONT ELEVATION
SCALE BAR 1:100



PROPOSED REAR ELEVATION
SCALE BAR 1:100



PROPOSED REAR SIDE ELEVATION
SCALE BAR 1:100



PROPOSED REAR SIDE ELEVATION
SCALE BAR 1:100

PROPOSED WORKS:

SLATED SLOPES:
All slopes to be completely stripped (sarking under assessed and made good where required) with new breathable underslating felt. Slates to be renewed where possible and replaced on a like for like basis, however it is thought 100% replacement will be required. Replacement slate to be second hand Welsh slate. Ridge ties to be reused and rebedded if possible.

SKEWS & SKEW COPES
All cement skews to be removed and replaced with lead soakers/watergates as appropriate. Front slope skew copes to have mould removed and existing stone saved with appropriate dowels in place. Joints between cope stones to be pointed in an appropriate lime base mortar. Rear elevation skew copes to be replaced with new stone copes, pointed and bedded within an appropriate lime based mortar.

FLAT ROOF:
Dormer roof to rear to be stripped and replaced with new IKO Ultra Gold cap sheet system, finish colour to be green felt cap sheet to match existing (or equal and approved) to roof of dormer. Refer to datasheet for spec.

LEADWORK:

Minimal existing leadwork noted to building. Areas of inappropriate cement haunching and joints to be removed and replaced with more appropriate lead flashings and coverflashings. Existing leadwork to be replaced with new as defective and beyond lifespan.

ELEVATIONS:

Are in an extremely poor condition. To the rear the pediment should be taken down to top window lintel level in its entirety and rebuilt. All areas of defective stone/brick to be taken back to sound or replaced in brick infill as required. Defective cills and lintols to be replaced in stone. Once substrate is sound, rear elevation to be rendered in lime harling, enabling cills, lintols and quoins to be exposed. To the front any repairs to the render should be made good and it is recommended this elevation be repainted.

CHIMNEYS:

Mutual chimney (CH02) to have its render taken off and re rendered with facade 400 render colour 41C, with new buff coloured Edinburgh Two Roll Can Redbank chimney pots, and haunching instated along with associated leadwork. Dwarf chimney (CH01) to be taken down and rebuilt in its entirety in brick with a new concrete cope & new buff coloured Edinburgh Two Roll Can Redbank chimney pots.

RAINWATER GOODS:

Overhaul of cast iron rainwater goods is required. Rainwater goods (gutters and downpipes) to be replaced as required. It is likely that all half round gutters will require to be replaced in their entirety along with an overhaul and consolidation of downpipes. It is recommended that roof drainage be separated from the adjoining block. All goods following remedial works to be painted and jetted to ensure in good working order.

WINDOWS:

Are noted to be in an extremely poor state of repair. 12no. new windows to the rear elevation and 6no. new windows to the front elevation with 3no. being overhauled/retained. Full extent of window repair to be investigated further. All windows require decoration. Please refer to dwgs (31)100 & (31)101.

KEY TO MATERIALS/HATCHES:

- NEW LEAD COVER FLASHINGS, SOAKERS/ WATERGATES
- DENOTES SECOND HAND WELSH SLATE TO MATCH EXISTING
- NEW STONE SKEW COPES TO REAR ELEVATION
- DENOTES AREA OF DEFECTIVE PEDIMENT TO BE TAKEN DOWN AND REBUILT IN STONE/BRICK AS APPROPRIATE.
- NEW IKO ULTRA GOLD CAP SHEET SYSTEM, FINISH COLOUR TO BE GREEN FELT CAP SHEET TO MATCH EXISTING (OR EQUAL AND APPROVED) TO ROOF OF DORMER. REFER TO DATASHEET FOR SPEC.
- NEW FACADE 400 RENDER TO CHIMNEY. COLOUR 41C TO MATCH EXISTING CHIMNEYS IN AREA.
- NEW CAST IRON RAINWATER GOODS TO MATCH EXISTING
- FULL EXISTING FRONT ELEVATION, NOT INCLUDING SHOP FRONT, TO BE RE PAINTED WITH KEIM SOLDALIT (OR EQUAL AND APPROVED) COLOUR EXCLUSIV 9037, TO MATCH EXISTING.
- NEW LIME BASED HARLING TO REAR ELEVATION, COLOUR TO BE NATURAL TO MATCH EXISTING SURROUNDING BUILDINGS IN AREA.
- DENOTES EXISTING DEFECTIVE DWARF CHIMNEY TO BE TAKEN DOWN AND REBUILT IN BRICK TO MATCH EXISTING

NOTES
Do not scale for construction purposes. Should any discrepancies be found with this drawing, please inform the office. Copyright of this drawing is owned by - Mill Architects Limited
3-4 Easter Dalmeny Dalmeny, South Queensferry Edinburgh, EH30 9TS Tel: 0131 629 1466 hello@millarchitects.co.uk

PRESENT	DESCRIPTION	REVISIONS	DATE	BY	DETAILS
<input type="checkbox"/>		REV A	25.04.24	AS	Hatches and proposed scope of work clarified as requested by planning officer
<input type="checkbox"/>		REV B	25.04.24	AS	Red hatch removed as per request by Planning Officer.

CLIENT
OWNERS OF 74-76 HIGH ST, DUNBAR

PROJECT
74-76 HIGH ST, DUNBAR

STATUS
PLANNING/LBC

DRAWING TITLE
PROPOSED ELEVATIONS

SCALE - A2
1:100

DATE
APR 24'

DRAWN BY
AS

JOB NO.
1134

DWG. NO.
(02)100

REVISION
B

