



127 Moor Road, Papplewick, Nottingham, NG15 8EN
Planning Statement for Alterations and Extension to Dwelling within the Green Belt
4th April 2024
Rev A

Introduction

Project Summary:

Project: Extension & Alterations to Dwelling in the Green Belt

Client: Helen Guyler

Location: 127 Moor Road, Papplewick, Nottingham, NG15 8EN

Approximate Site Area: 390 SQM

Lead Designer: GPW Architects

Planning Pre-application Advice: 2024/0064PRE

The purpose of this document:

This Planning Statement summarises the proposed alterations to 127 Moor Road. The site is currently used as a single dwelling and the existing building is comprised of disorganised additions to the existing building that have a lack of unity and are, overall, of insignificant architectural quality.

This document outlines proposals for the building to be adapted and reorganised. In its existing condition the building has already been over extended beyond the green belt policy 50% area cap with a series of poorly considered add-ons such as a badly designed side extension and poor, low quality, oversized rear conservatory.

The proposal aims to improve the overall quality and positioning of the building by improving the quality of the side extension with, massing, roof and finish enhancements as well as replacing the existing conservatory with a more considered extension that no longer sprawls out into the garden and is more tightly confined to the original buildings footprint. With that said the application proposals still require consideration for special circumstances for a relaxation in the 50% area increase cap in line with provision of Policy LPD 13 of the Gedling Local Planning Document.

The proposal aims to provide a higher standard of architectural quality that is complementary and sympathetic to the building's location, context, and surrounding features. The scheme consists of an extension across two levels of accommodation, with the majority of the alterations focused to the ground level. The primary spaces proposed to be altered are as follows; the removal of an existing oversized conservatory, changes to the existing entrance/porch/canopy condition and changes to the existing first floor bedroom.

The overall aim of the proposal is to improve the existing building and its relationship to the Green Belt, whilst asking for a slight relaxation in the 50% area cap as per paragraph 6.3.4 of the Gedling Local Planning Document, to do so. The proposal aims to not only improve the openness of the site, but the proposal will positively impact the Green Belt and the architectural quality of the site.

Summary of enhancement changes as per the design to follow:

- A. The existing oversized non area compliant conservatory will be demolished.
- B. A new, more conservative, more appropriate single storey rear extension as per the drawings to follow will be erected.
- C. The front and side elevations to be enhanced as per the proposal including a new and improved entrance strategy.
- D. The inappropriate unsightly flat roof will be replaced with a more in-keeping pitched tiled roof design.



The Study Area/ Site



View Looking South East

Existing Views



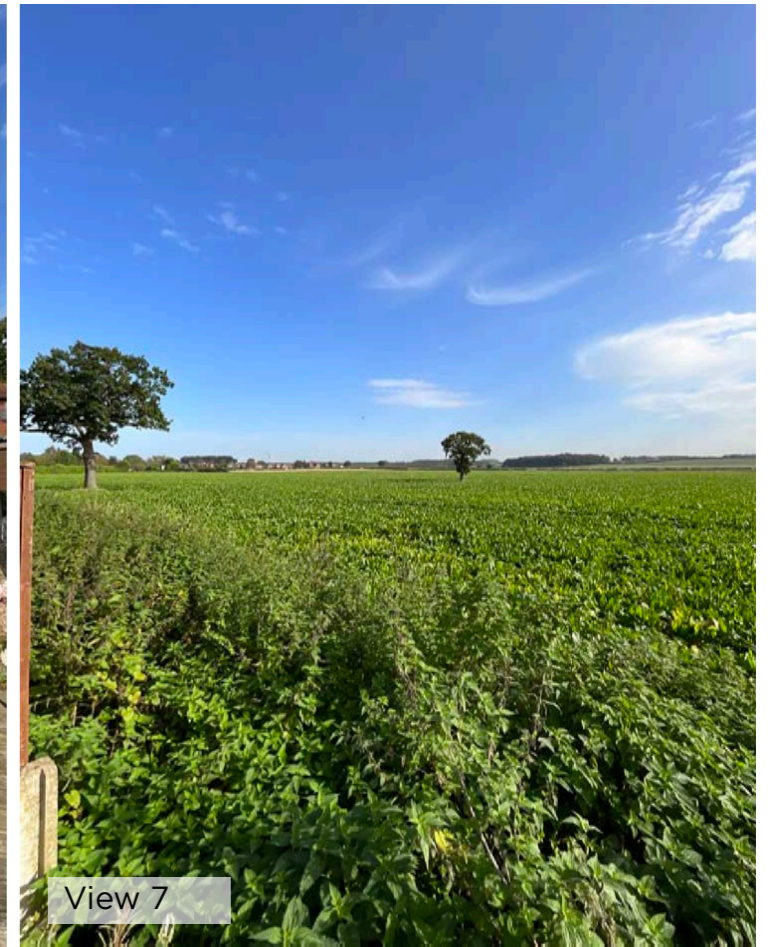
View 1



View 3



View 5



View 7



View 2



View 4



View 6

- The building is fairly visible along the East side of the site from the open agricultural land.
- The gradient of the study area is quite flat.
- The site as it currently stands is fairly visible from Moor Lane but has the presence of the existing building and street facing façades. The garden can only really be seen from elevated positions and from the East of the site.
- The impact on existing views and visibility of the development will be minimal and will be managed in the massing and layout proposals with the intention of enhancing existing massing.

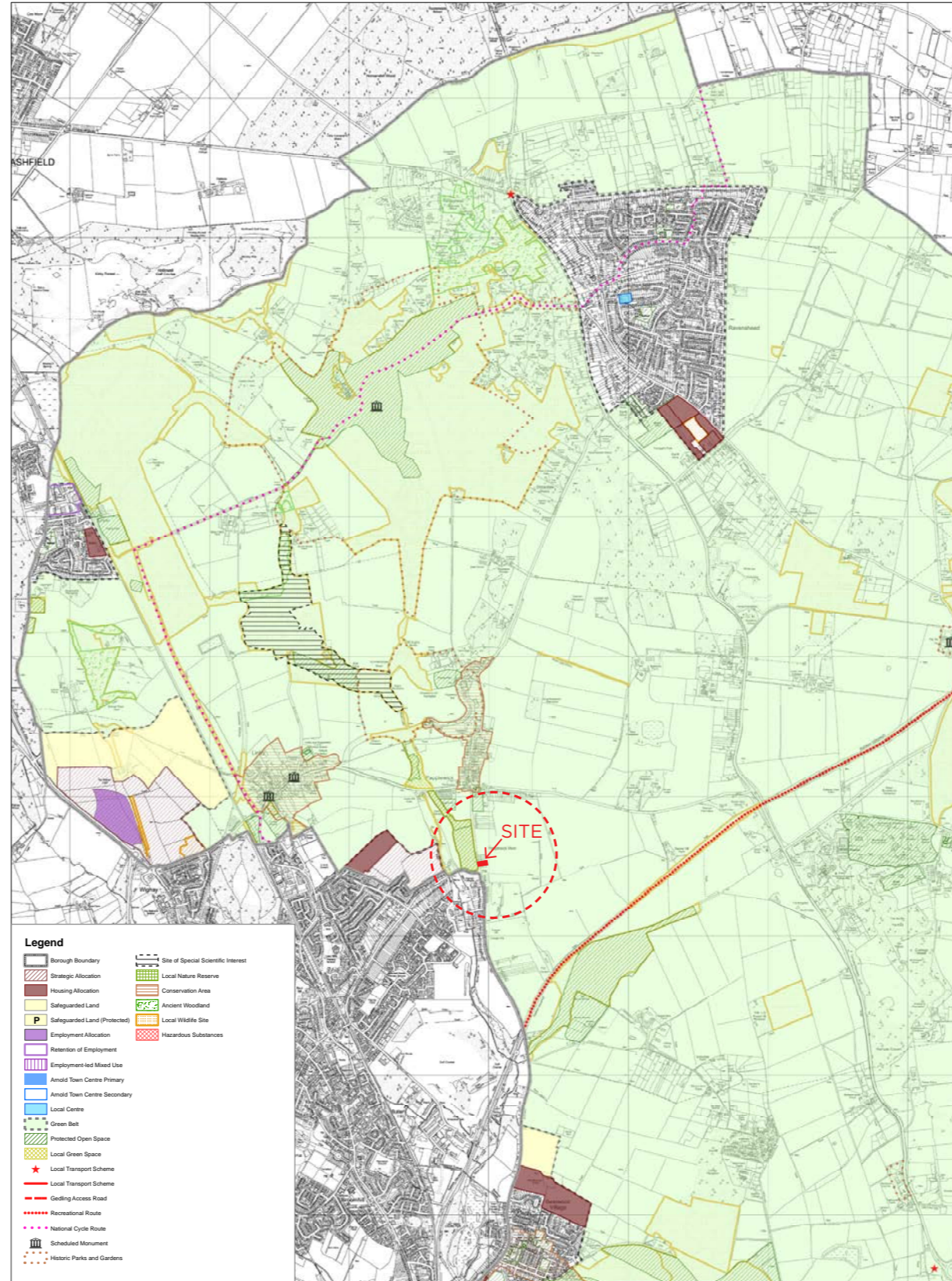
Site History

The Nottingham Green Belt

The site is 'washed' over by the Nottingham Green Belt, a protected area of land proposed to offer urban communities access to green space for recreation and to improve public health. The aim of the Green Belt policy is to prevent urban sprawl by keeping land permanently open.

Most of the Parish of Papplewick is rural, and contains substantial areas of farmland which contributes significantly to the character of the Parish and the setting of the village. The rolling landscape and open countryside around the village is identified in the draft Papplewick Conservation Area Appraisal and by local residents as being important to the setting of the Conservation Area.

The proposal for 127 Moor Road aims to both appeal to this need for improvement while respecting the history and enhancing architectural quality of the site as well as its agricultural significance and landscape.



Civic Centre, Arnot Hill Park, Arnold,
Nottinghamshire, NG5 6LU

Local Planning Document - Part C: Policies Map
(as amended by the proposed modifications)

North West Map



The Green Belt - Part C: Policies Map

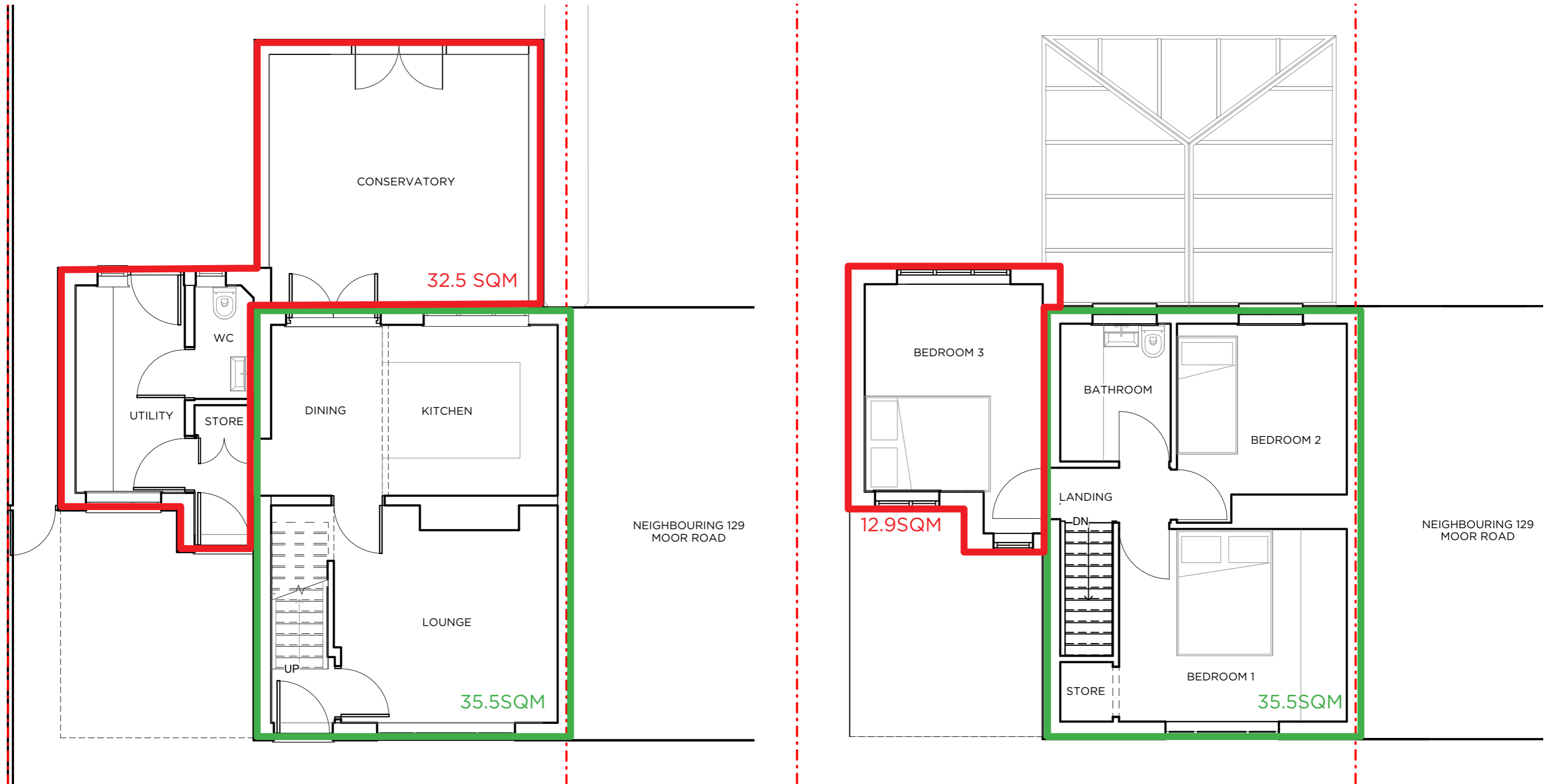


Street Presence



127 Moor Road

Existing Floor Area as of 1st July 1948, Later Extensions, 50% Allowance



Key:

- Existing building
- Later extensions

(50% ALLOWABLE INCREASE ACCORDING TO PLANNING POLICY)
TOTAL 35.5SQM

EXISTING CONDITION IS OVER THE ALLOWED 50%
INCREASE
TOTAL 45.5 SQM

Summary of applicable Gedling Borough Council Local Planning Document Policy LPD 13 (2018)

a) Within the Green Belt, planning permission will be granted for extensions or alterations to buildings provided the proposals do not result in the floorspace of the building being over **50%** larger than when originally constructed or as it existed on 1st July 1948.

b) In all cases extensions or alterations will be expected to: i. be in keeping with surrounding character in terms of height, bulk, form and general design; ii. conserve any historic significance the building may have; iii. not adversely affect valuable views into or out of settlements or previously developed sites; and iv. not have a detrimental impact on the openness of the Green Belt or the reasons for including land within it.

6.3.3 Calculating the floor space, both existing and proposed, will be done on the basis of Gross External Floor Area (GEFA) based on the measurement of the external face of the walls on all floors. This includes external and internal walls, stairwells, chimney spaces, internal garages and conservatories. It is considered appropriate to use GEFA as it is this measurement which indicates the impact on openness the building has. The calculation will:

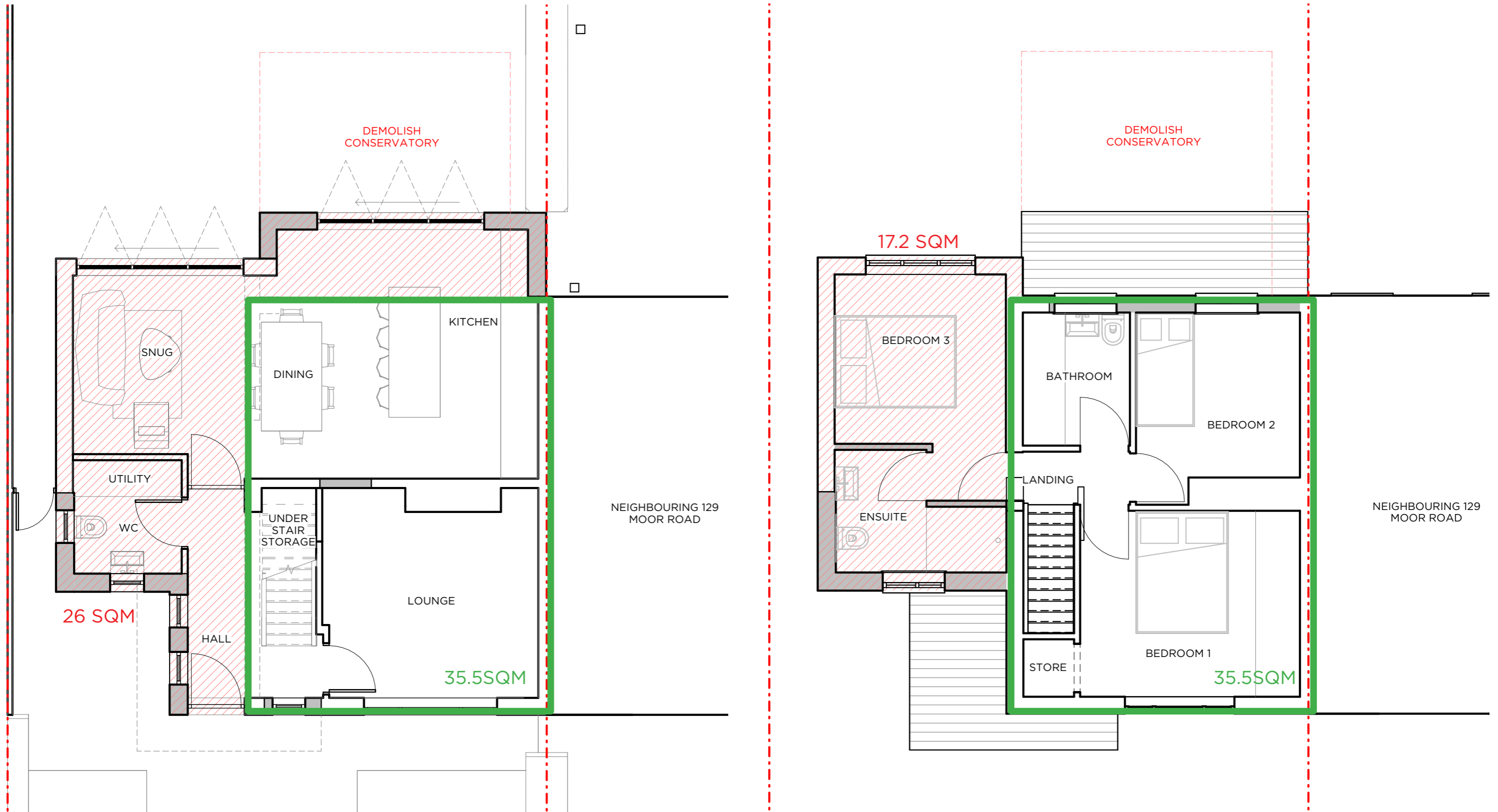
- Include any existing outbuildings that fall within five metres of the original dwelling;
- Include balconies and car ports where floor space is enclosed in some way to provide a built structure;
- Exclude the floor area of lofts/attics or basements that existed when the building was first constructed (or existed as at 1st July 1948) if they do not have permanent and fixed means of access;
- Include the floor area of lofts/attics or basements proposed as part of the extension that have permanent and fixed means of access such as staircases or the ceiling height would be 1.6m or higher; Exclude extensions built after 1st July 1948;
- Exclude floor space that has been granted planning permission but not yet built.

6.3.4 In certain cases, increases in floorspace **above 50%** may be permitted even if there are no very special circumstances. Each case would need to be judged on its own merits but it is possible that this may occur when the proposal results in a small increase above the 50% figure and there are other clear and demonstrable benefits such as:

- an overall improvement in the openness on site through the removal of curtilage buildings;
- **an overall improvement in the appearance of the site due to the provision of a high quality design and landscaping scheme;**
- **the continued preservation of heritage assets;** or
- the continued viability of a rural land based business.

Highlights in **Red** above are directly relevant to the proposal within this document.

Proposed Alteration including Retained Existing Extension



EXISTING CONDITION IS OVER THE ALLOWED 50% INCREASE
TOTAL 45.5 SQM

PROPOSED RE ALIGNED TOTAL INCREASE OF
43.2 SQM
AREA REDUCED COMPARED TO EXISTING CONDITION

Site Openness

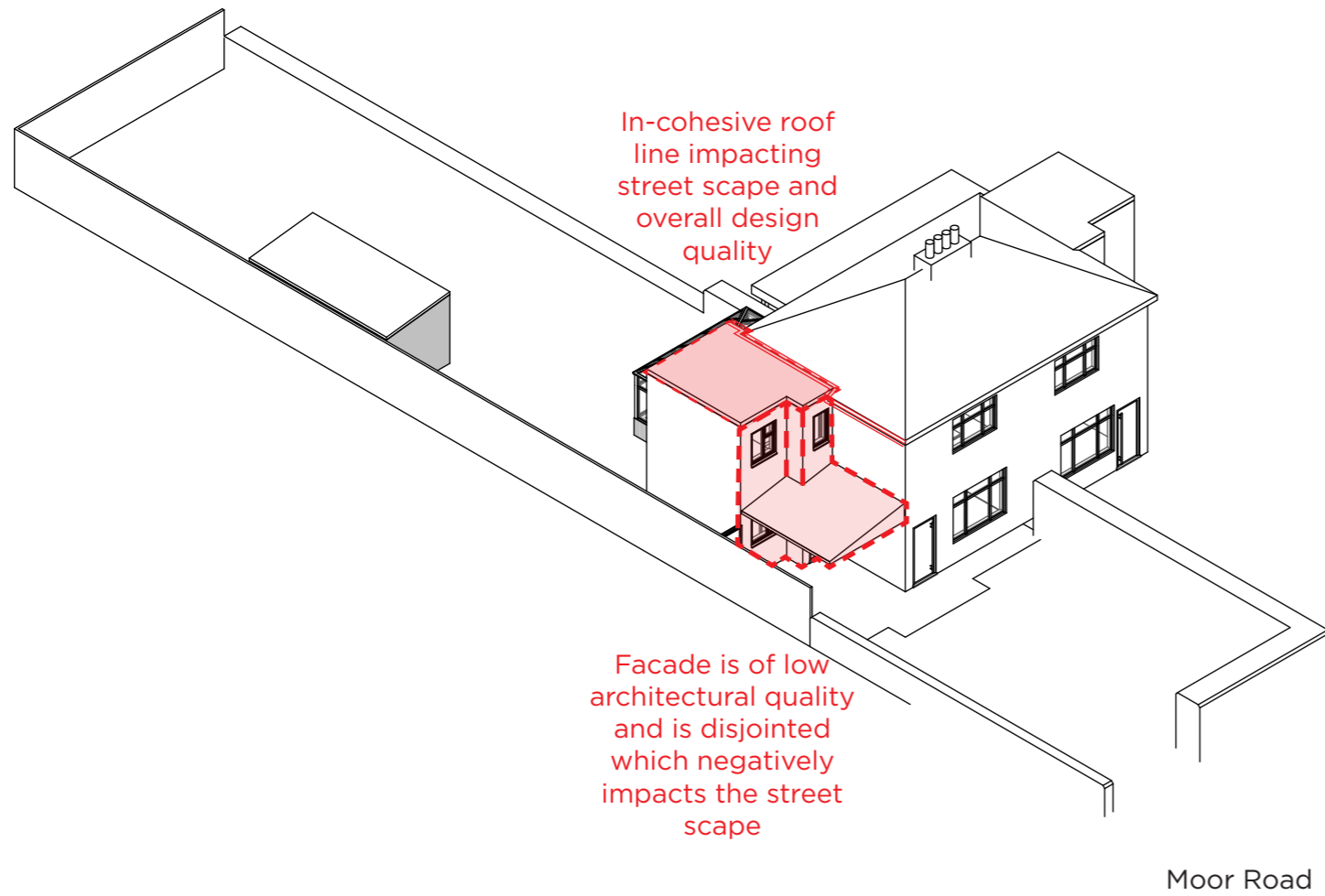
- An overall improvement in the openness on site by reducing extension sprawl and by keeping extensions tightly compact to the original building footprint.



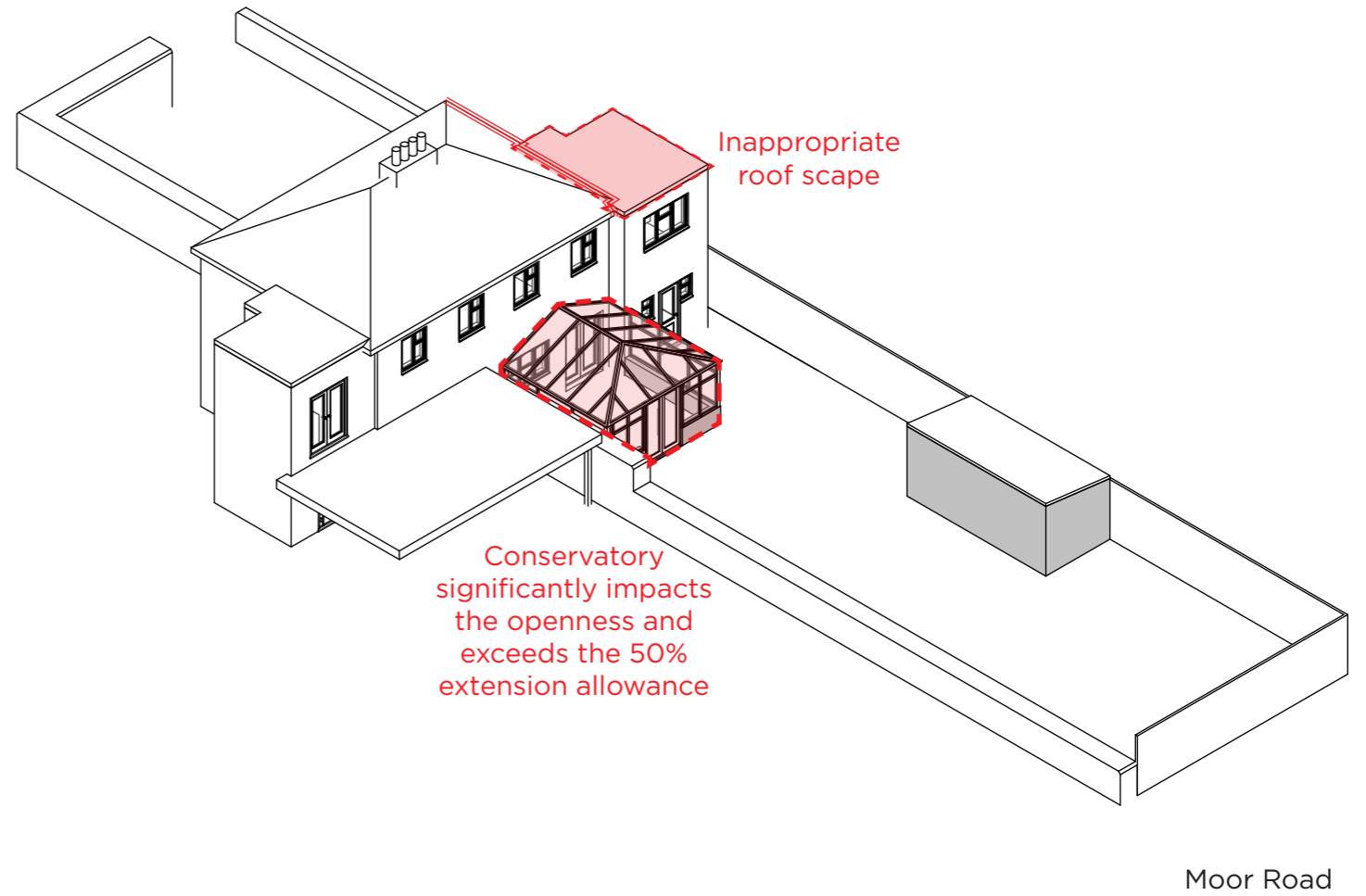
- “an overall improvement in the appearance of the site due to the provision of a high quality design and landscaping scheme;”

Existing

Agricultural Land

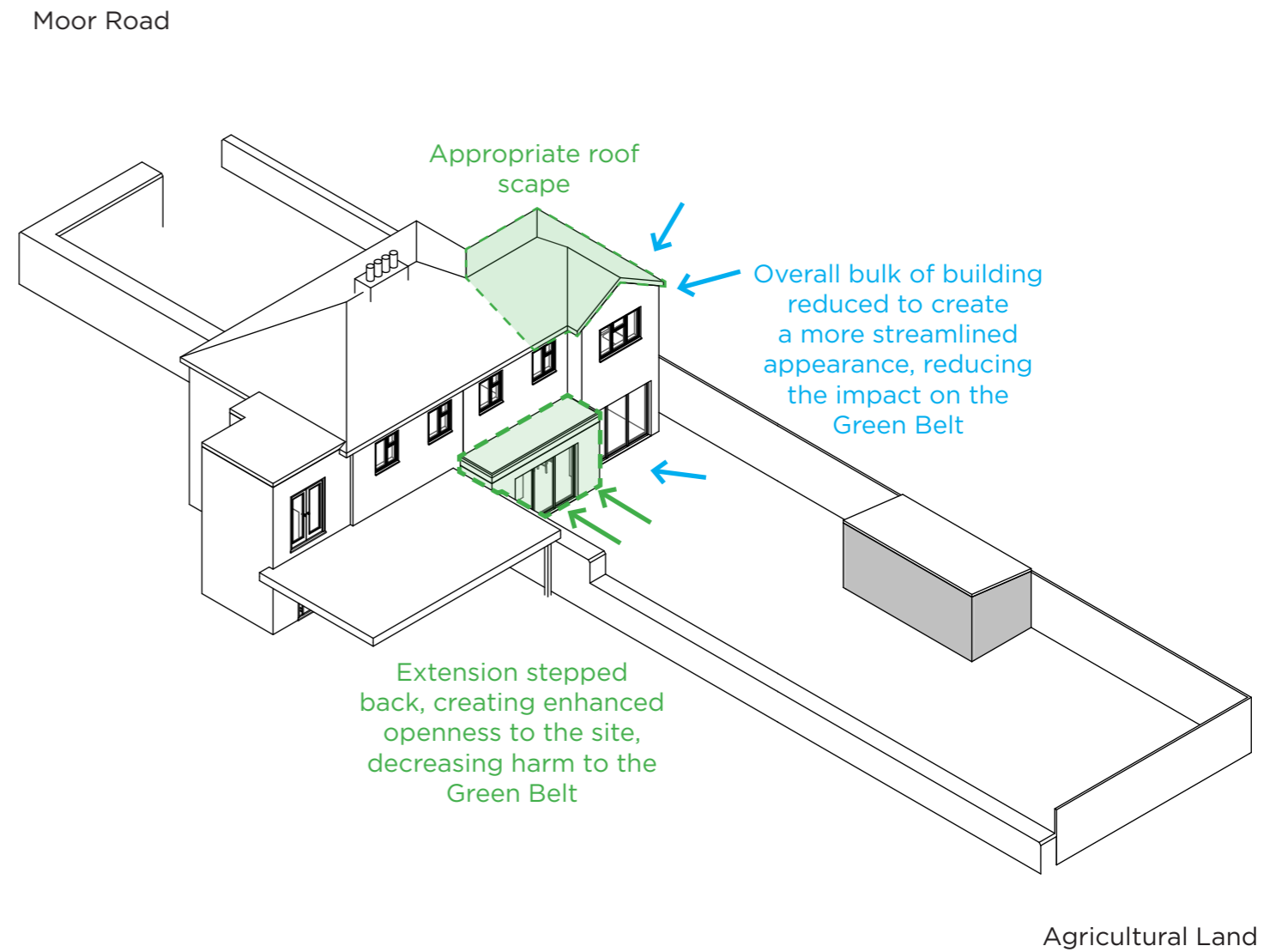
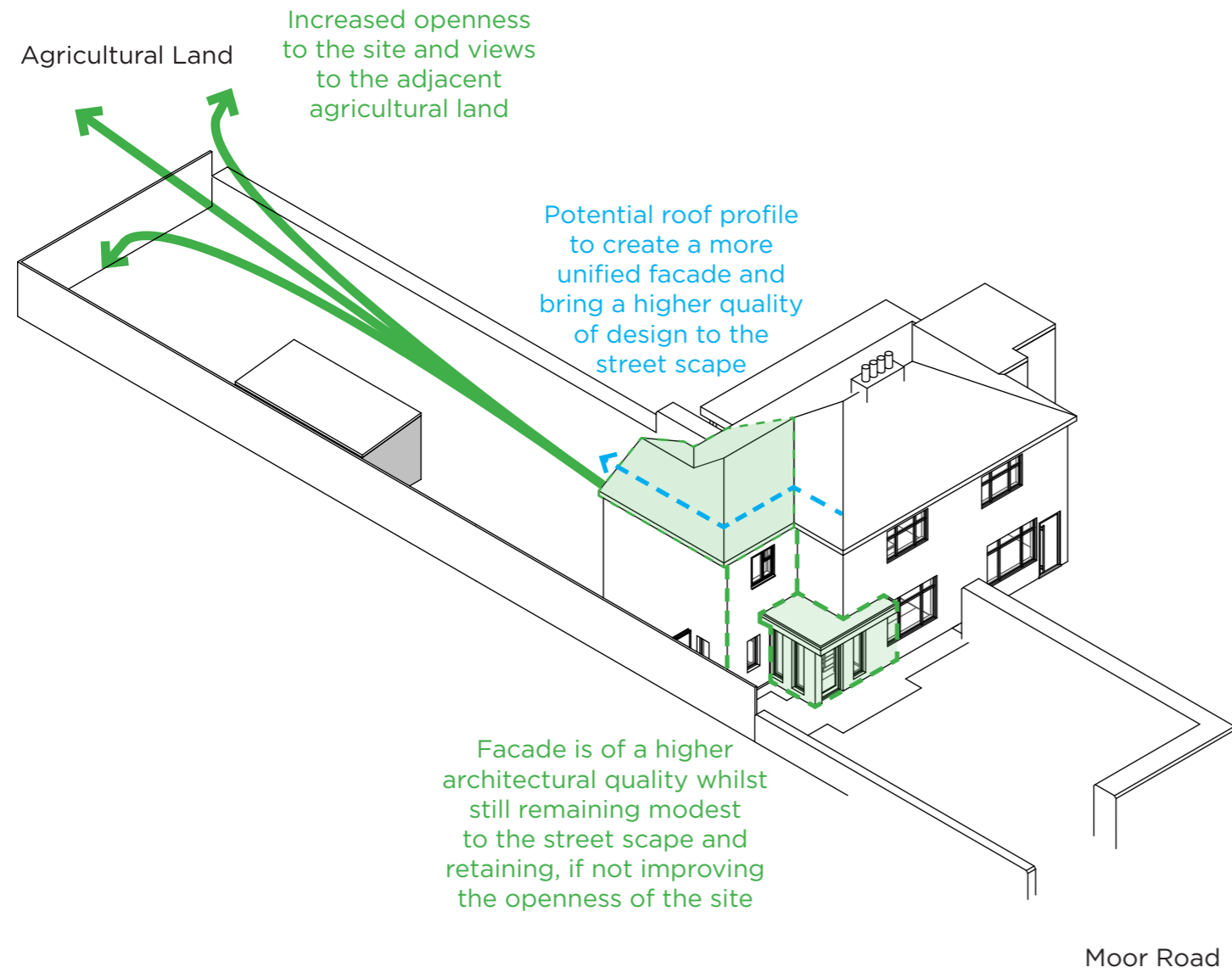


Agricultural Land



- “an overall improvement in the appearance of the site due to the provision of a high quality design and landscaping scheme;”

Proposed



- “the continued preservation of heritage assets;”

The proposal aims to present a design that is more in-keeping with the historical character along Moor Road



141 Moor Road



147 & 149 Moor Road



49 Moor Road



63 & 65 Moor Road



127 Moor Road (Site)