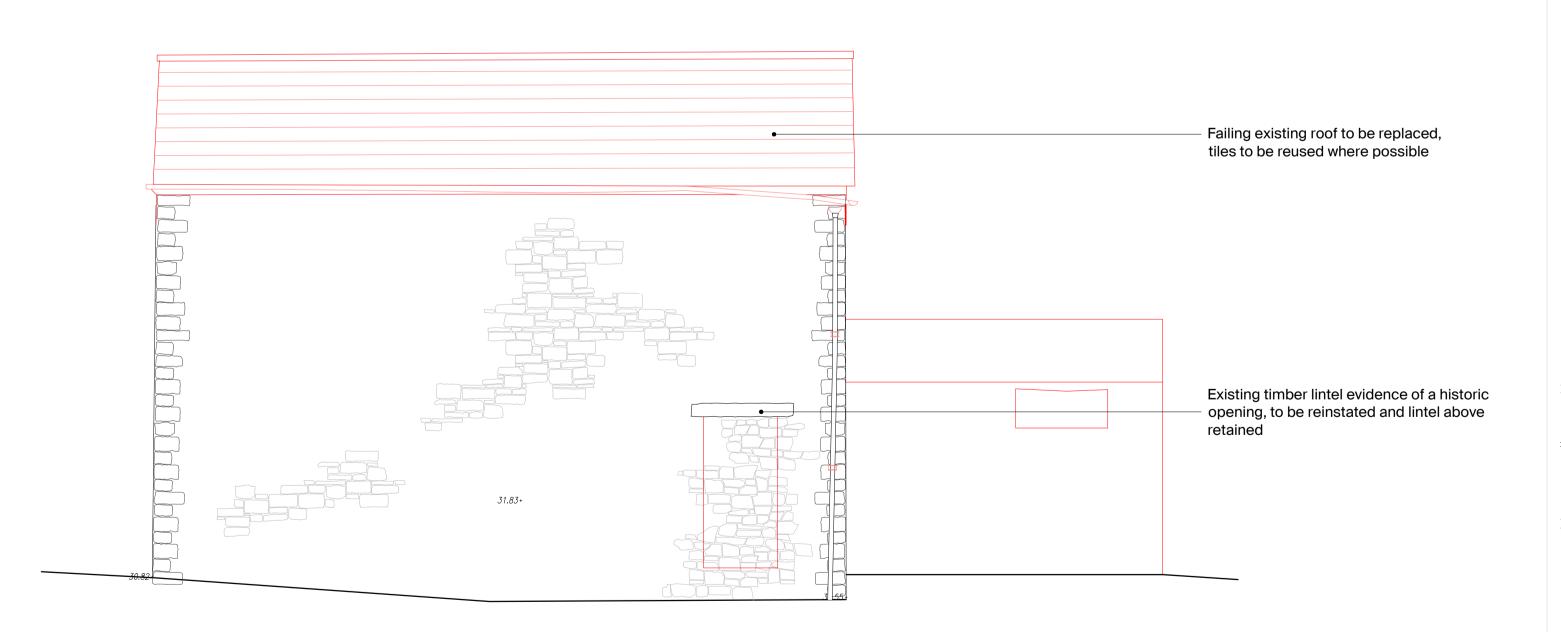
Finishes to be set aside for reuse where possible Modern and failing roof structure to be replaced Existing stone gable to be refurbished and repointed with lime mortar Considerable bulging has occurred in the central area of the elevation Coursed stone is neatly gauged although the stone is showing signs of deterioration across the entire wall.

O1 Existing/Demolition West Elevation 1:50@A1; 1:100@A3

Poor condition clay tile roof Small section of stone and brick to be carefully removed Moderate bulging occurring in the upper Stone quouins in good condition to be third of the quoins repointed with lime mortar Flemish bond red brickwork Patchwork repair of similar red brickwork runs out of gauge to the existing brickwork, approximately 1800(H)x1200mm Area of heavy spalling has occurred, approximately 1800(H)x1000mm Coursed stone quouins with brickwork internally Rotten timber shutter to be replaced O2 Existing/Demolition North Elevation 1:50@A1; 1:100@A3

Existing stone gable to be refurbished and repointed with lime mortar Modern blockwork lean-to removed

Proposed East Elevation
1:50@A1; 1:100@A3



Proposed South Elevation
1:50@A1; 1:100@A3

## **General Notes:**

- Building to be subject to full service upgrade including electric, lighting, plumbing, drainage etc. New SVPs, mechanical and electrical services to be installed through existing walls, floors and ceilings where required using chases, penetrations and risers, made good to match existing finishes.
- Redundant surface mounted services and boxing to be removed.
- Repairs or alterations to windows and doors to be carried out as required to match existing where retained. • Localised repair works to be carried out as required on further inspection to match existing materials and details.
- Rain water goods replaced with PPC painted aluminium goods.
- All building materials to be locally sourced where possible. All removed stonework and bricks to be set aside to store for potential reuse. • All new stone elements, including new stone steps, plinths and cornices to be made from salvaged stonework as far as reasonably practicable.
- Areas around demolition to be made good to match existing.
- Flagstones to be labelled, recorded and carefully lifted to allow installation of new insulated floor slab. Flagstones to be relayed in original location as
- per record survey. All extg stone walls and all stone elements including sills, steps, plinths, cornices, decorations, mouldings, stone/concrete/timber lintels, etc. to be inspected for defects and damage, repaired accordingly and lightly steam cleaned taking care of retaining historic patina. All missing/damaged elements to be replaced with new stone sections to match extg. Any damaged or loose stone to be repointed with lime mortar to match extg.

This drawing is to be used for planning purposes only. Not for construction.

This drawing is the property of Richard Parr Associates. Copyright is reserved by them and the drawing is issued on the condition that it is not copied, reproduced, retained or disclosed to any unauthorised person, either wholly or in part without written consent.

© Copyright Richard Parr Associates

Date ----

Rev | | |

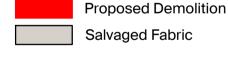
Job No **315** 

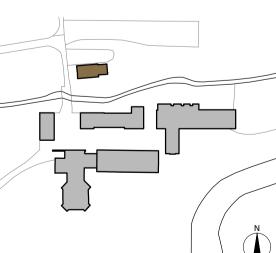
West Bradley House

The Little Stone Barn existing elevations

315-SB-00-021-P1 1:50@A1, 1:100@A3 Date of First Issue March 2024

Planning





info@richardparr.com +44 (0)1453 860200 richardparr.com @richardparrassociates

COUNTRY Easter Park Nympsfield, Stonehouse Gloucestershire GL10 3UL

The People's Hall Studio 5, 2 Olaf Street London W11 4BE