



5.0 Proposals

The following section addresses each building in turn describing the existing situation and works proposed.



6.0 Main House

Please see the submitted in depth Statement of Significance by Justin Ayton and structural drawings by Hydrock for a full appraisal of the existing fabric.

The house was built in the 16th or 17th century. The only fabric that exists from this time is the external house walls, basement and two original fireplaces (one on the first floor and one on the second). Fabric and planform from this time will be referred to as original in this report.

A refurbishment was carried out in 1720 for Colonel William Piers. At this time stone mullion windows were amended to sashes and a new roof was added. Only a few sash windows remain from this refurbishment (shown in yellow on the diagrams below).

A major refurbishment was under taken between 1840s & 1885-6. The majority of the internal walls and joinery date from this time. The internal works to the main house are of

competent quality, but comparatively simple, with minimal detailing & mouldings. The staircase was relocated at this time and the current roof added. Much later partitions and openings have been subsequently added through the 18th-21st Century.

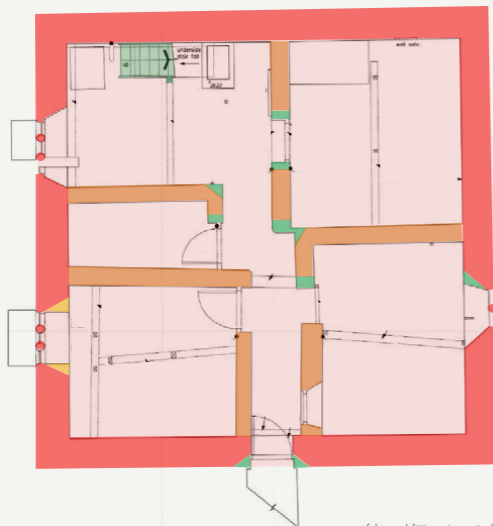
The refurbishment strategy for the main house has been developed together with Justin Ayton.

The proposals submitted in this application are sensitive to the buildings development and retain the brick walls and joinery from the late 19 century phase, with minor alterations.

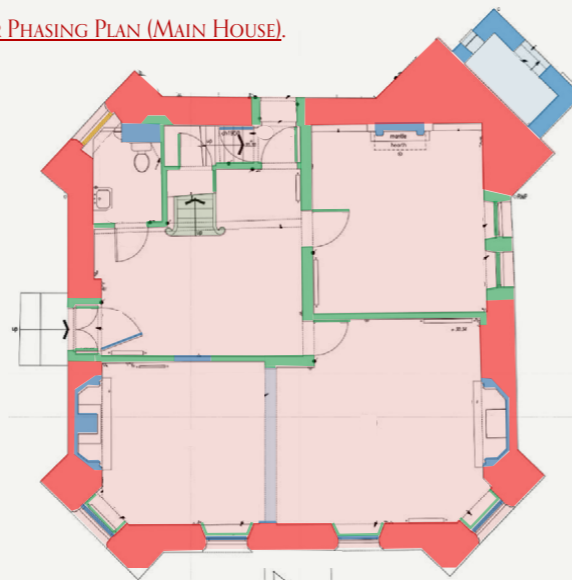
Key for Phasing plans

- Late 16th/early 17th century.
- Date currently unclear, but probably either 16th/17th century or 18th century.
- Early 18th century.
- Latter 19th century.
- Late 20th/early 21st century.

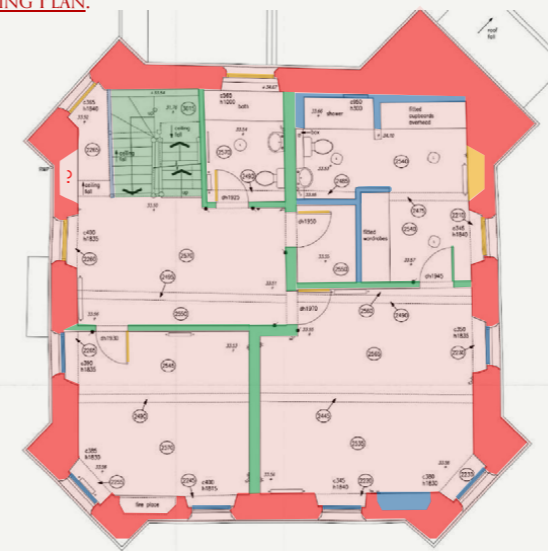
BASEMENT PHASING PLAN.



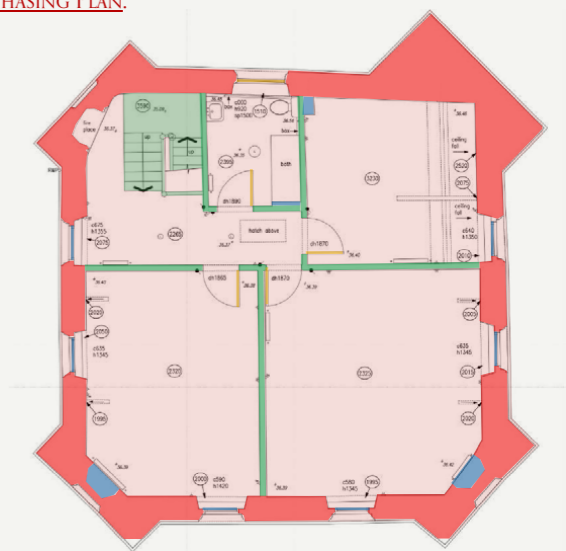
GROUND-FLOOR PHASING PLAN (MAIN HOUSE).



FIRST-FLOOR PHASING PLAN.



SECOND-FLOOR PHASING PLAN.





6.1 Harmful internal existing alterations - Staircase

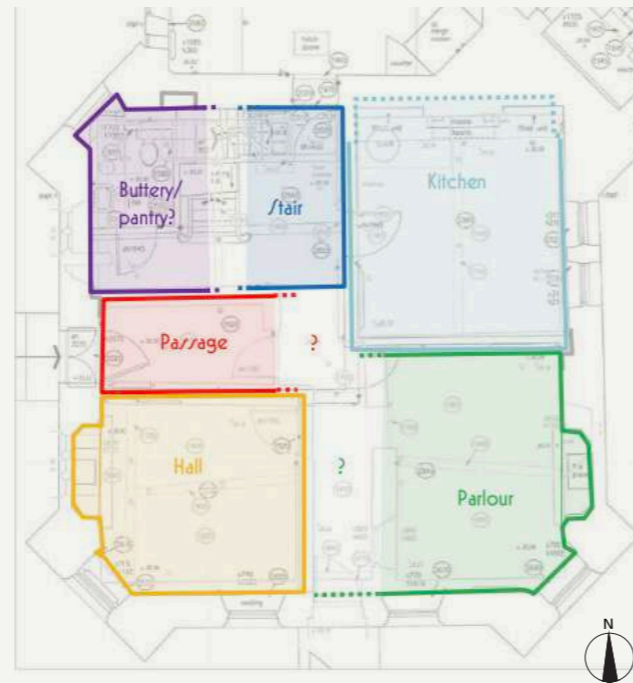
The original 17 Century plan form of the building can be perceived in the basement.

When the 19th century refurbishment was undertaken the new brick walls were constructed on the stone walls preserving some of the original plan form. However the staircase was relocated and stud walls built around it. The staircase was most likely moved to allow for access through the north wall to the kitchen extension which was built at this time.

The current 19 century staircase in the main house is in an inappropriate location for the property and has led to the breakdown of the original pre 19 century plan form.

Its relocation has led to the original very fine, semi-circular headed, early-18th century stair sash to be dissected by the 19th century floor. It has also led to original features being stranded narrow strips of landing. This includes one of only two original fireplaces and one of the few remaining early 18 century corner windows.

The proposals developed with the Heritage Consultant relocate the stair core back to its original location in the centre of the floor plan. The original plan form is therefore reinstated and previously stranded features will now be relocated within reinstated rooms.



JUSTIN AYTON'S FIG 62: GROUND-FLOOR PLAN, HYPOTHETICAL ARRANGEMENT OF ORIGINAL SPACES.



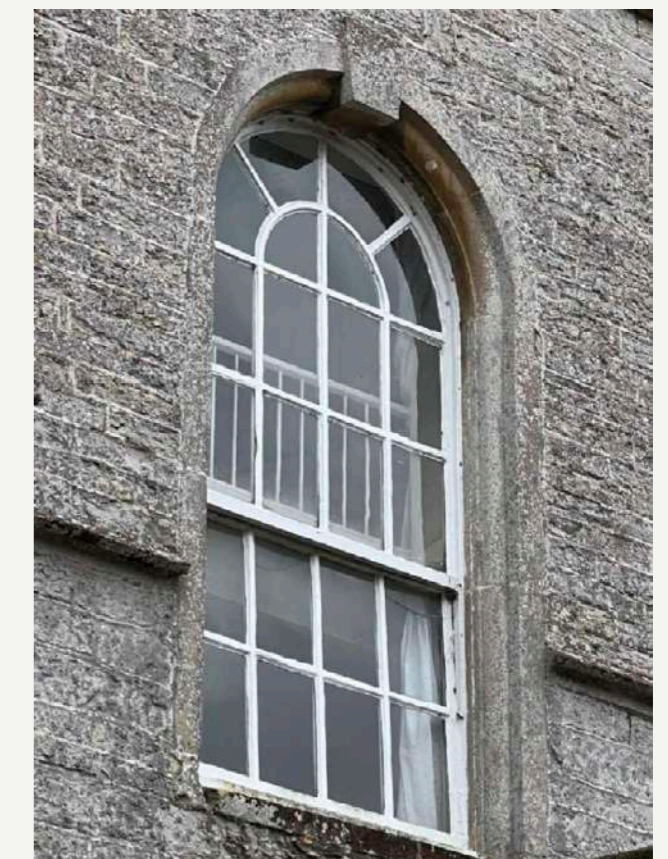
18TH CENTURY WINDOW HEMMED IN BY THE 19 CENTURY LANDING



ORIGINAL 16/17 CENTURY FIREPLACE STRANDED ON A SMALL SECTION OF LANDING



PRE 18 CENTURY STAIR WINDOW INTERSECTED BY THE 19TH CENTURY FLOOR

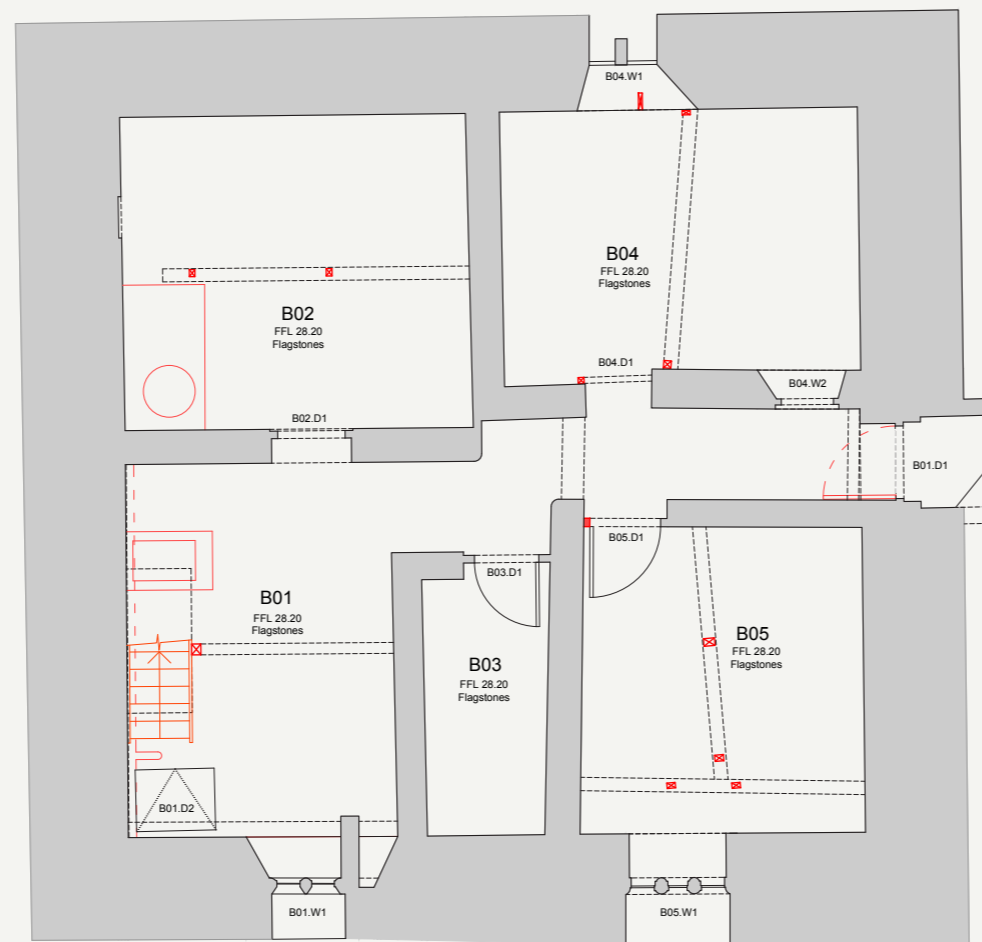


PRE 18 CENTURY STAIR WINDOW INTERSECTED BY THE 19TH CENTURY FLOOR



6.2 Basement

The proposals are for the basement to be preserved in its current form to act as marker of the original age of the building. The later staircase to the basement is to be removed and access will be via the original external stairs.

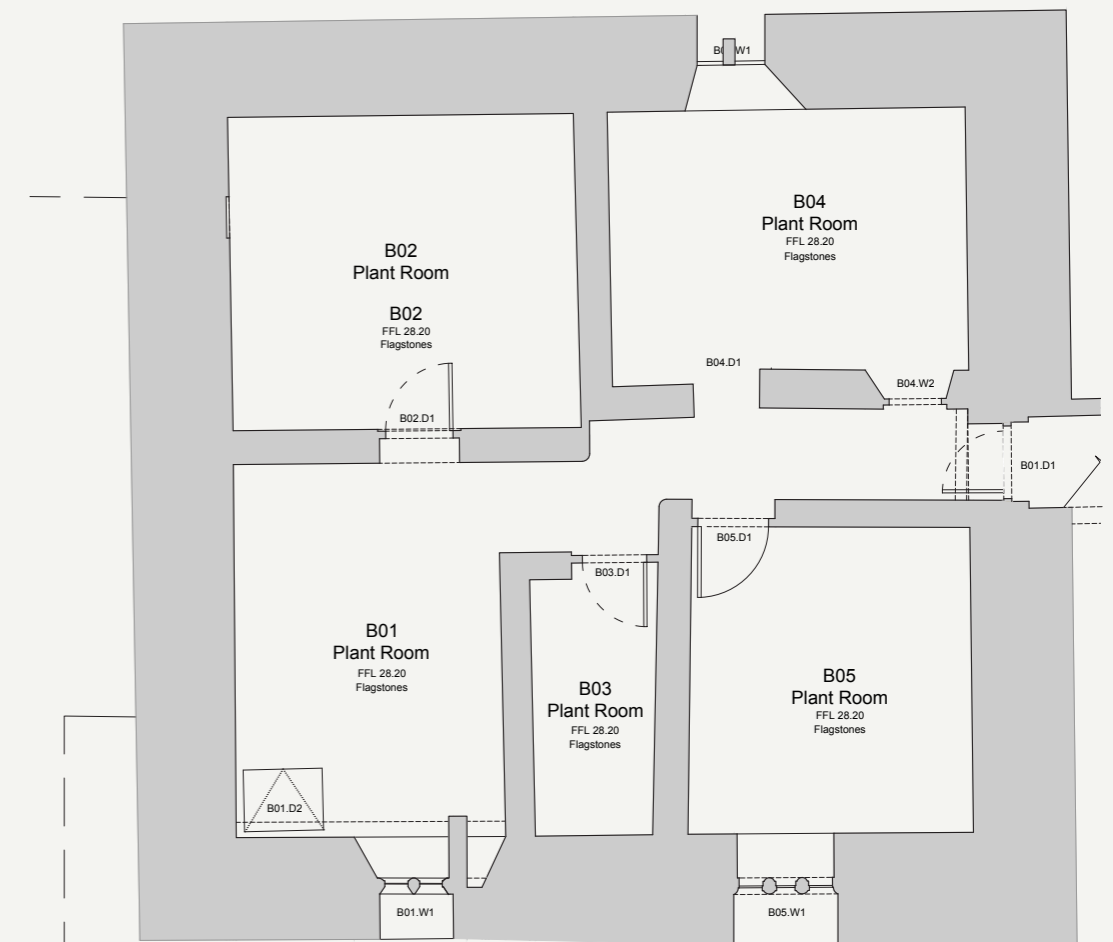


DEMOLITION BASEMENT PLAN



Demolitions

- Remove late C19 timber access stair.
- Rotting external door to be replaced.
- Remove all redundant modern services.
- Remove failing temporary structural timber propping in all basement rooms.



PROPOSED BASEMENT PLAN



Proposals

- New external grade door.
- Structural strengthening of the ground floor joists
- New air bricks integrated to increase ventilation and reduce damp issues.



BASEMENT TO BE LEFT IN ITS CURRENT SITUATION



6.3 Ground Floor

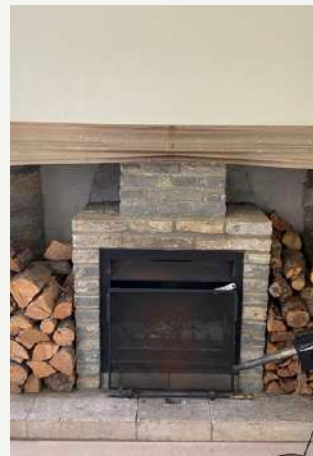
On the ground floor the original plan form is to be reinstated. The proposals retain all significant joinery and features.



19 CENTURY JOINERY TO BE RETAINED



EXISTING OPENING TO BE REINSTATED BETWEEN G1 AND G03

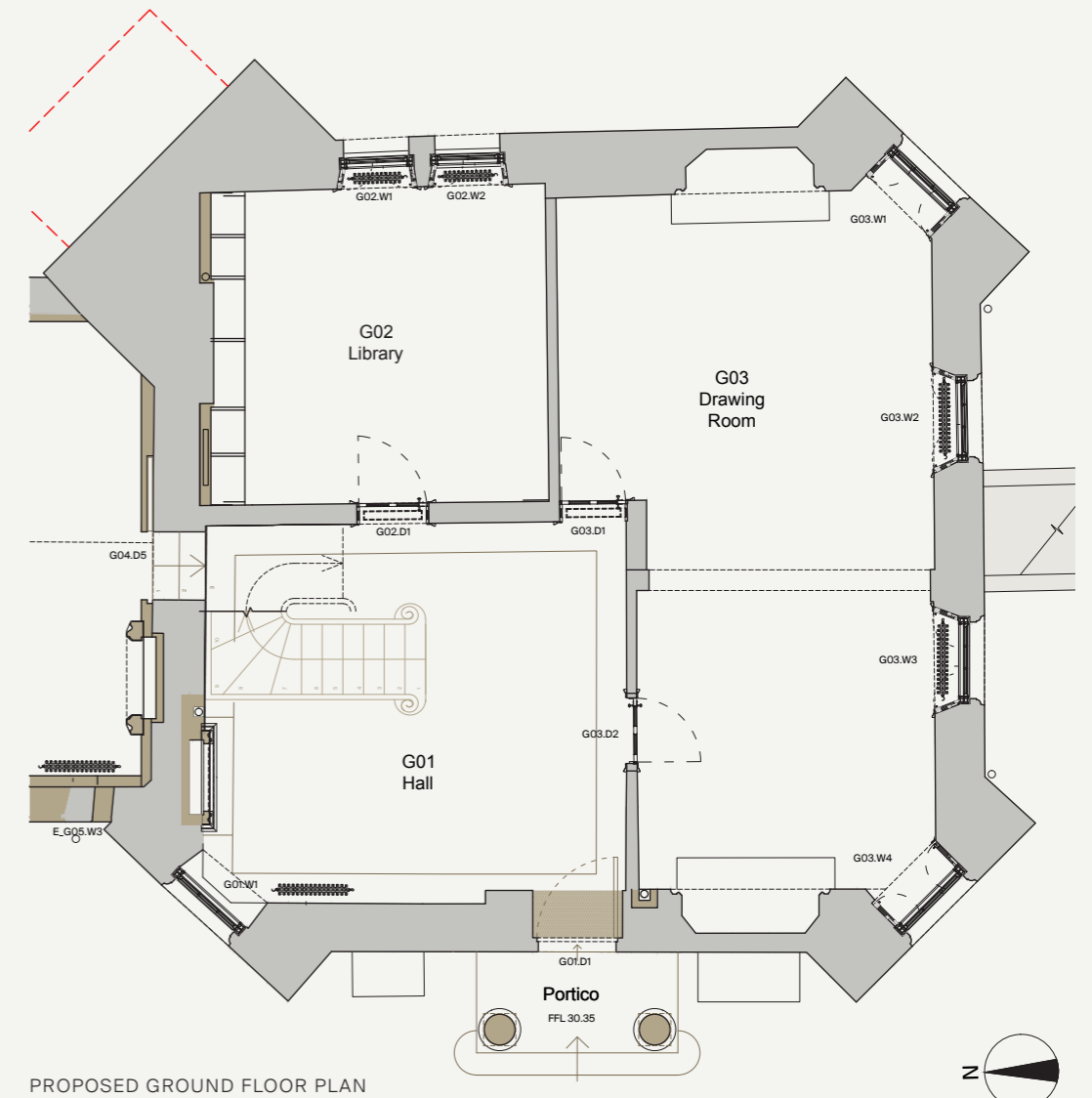


WOOD BURNERS AND HEARTHES IN G03 TO BE REMOVED AND REPLACED WITH NEW



Demolitions

- Remove late C19 timber stairs in non-original location.
- Reinstated hall opening to E_G03.
- E_G02 Remove fireplace. Dismantle chimney surround and hearth.
- Decommission and remove modern wood burner and remove modern masonry plinth to both fireplaces in E_G03.
- Remove C20 internal and external front doorsets.
- Dismantle flagstone steps and set aside to protected location for potential re-use.
- Remove all redundant sanitaryware and modern joinery throughout.



Proposals

- New staircase in original location.
- Removable stud partition to be fixed over the drawing room side of the door.
- New burners and hearths to both fireplaces in G03
- New door in reinstated opening to G03, mouldings to match the other doors on this floor.
- Existing door E_G09.01 to be reused as the front door.



6.4 First Floor

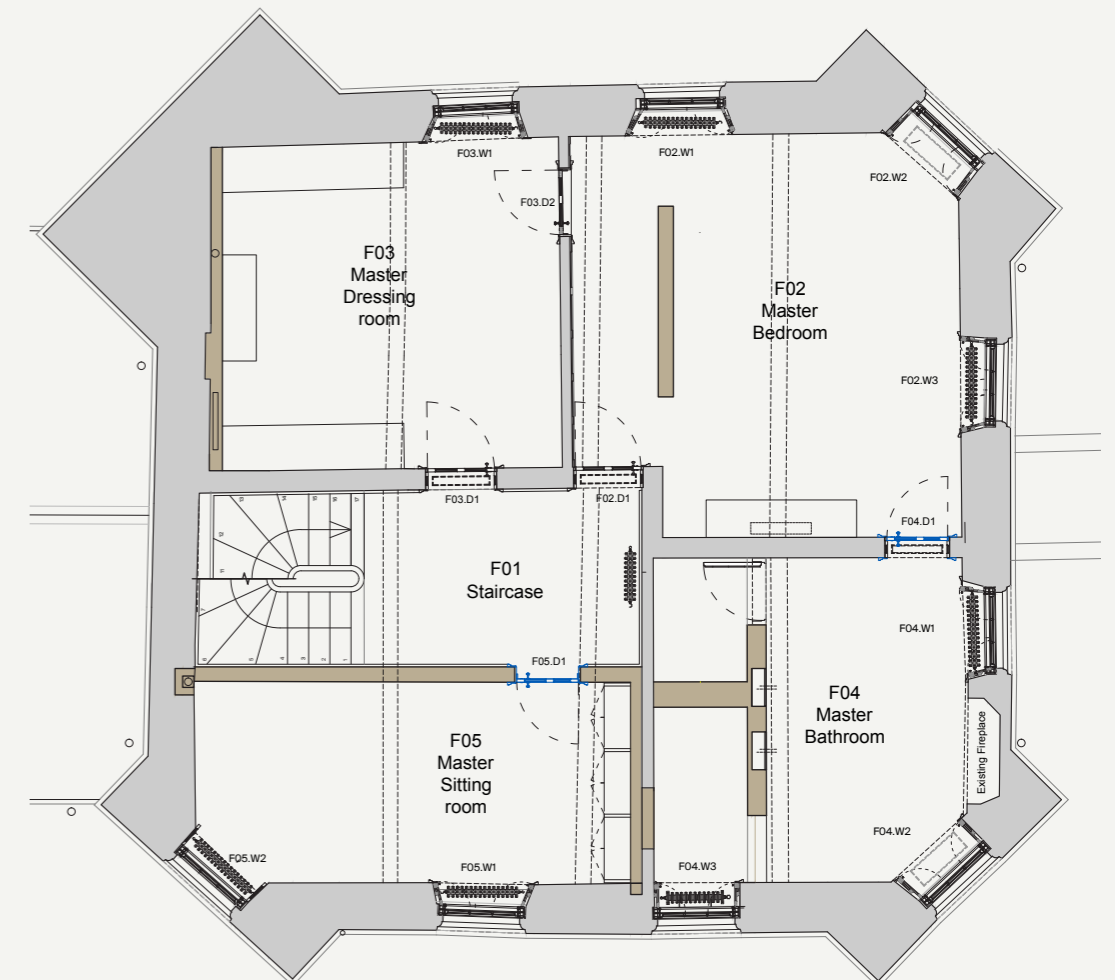
On the first floor of the house the original plan form is reinstated. A master suite is created with the removable partitions and one new door opening.



DEMOLITION FIRST FLOOR PLAN

Demolitions

- Remove late C19 timber stairs in non-original location
- Form single door width opening in the wall between E_F02 and E_F03.
- Remove bathroom that intersects window E_F05.W1 and associated partitions. Bathroom door E_F05.D1 to be removed from this location and reused on this floor.
- Remove all modern joinery and redundant sanitaryware and services



PROPOSED FIRST FLOOR PLAN

Proposals

- New staircase in original location. Stair window to be repaired to operate as a sash.
- New removable partition to create room in the NW corner of the house. Existing door E_F05.D1 to be reused to access room.
- Existing door E_F02.D1 to be reused within new opening between F03 and F04.
- Removable partitions in room F04.
- New hearth to existing fireplace in F04.
- Reinstate missing panelled shutters to all first floor windows.



LATE-16TH/EARLY-17TH CENTURY FIREPLACE IN THE SOUTH-WEST ROOM AT FIRST FLOOR TO BE RETAINED - LATER RAISED HEARTH TO BE REMOVED



6.5 Second Floor

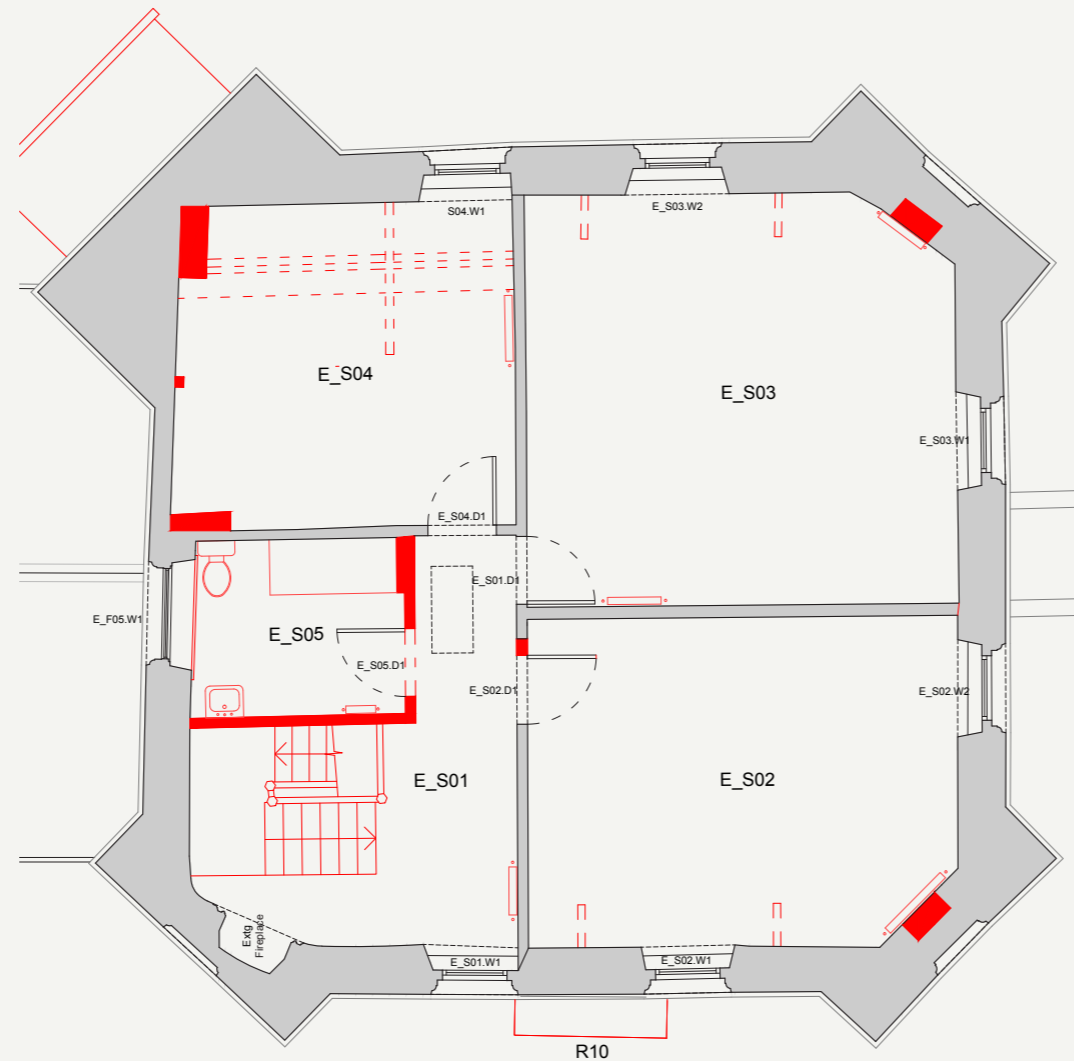
On the second floor of the house the original plan form is reinstated. An en-suite is to be created with the removable partitions.



LATE-16TH/EARLY-17TH CENTURY FIREPLACE IN THE NORTH-WEST ORDINAL PROJECTION AT SECOND FLOOR TO BE RETAINED WITHIN THE NEW BATHROOM



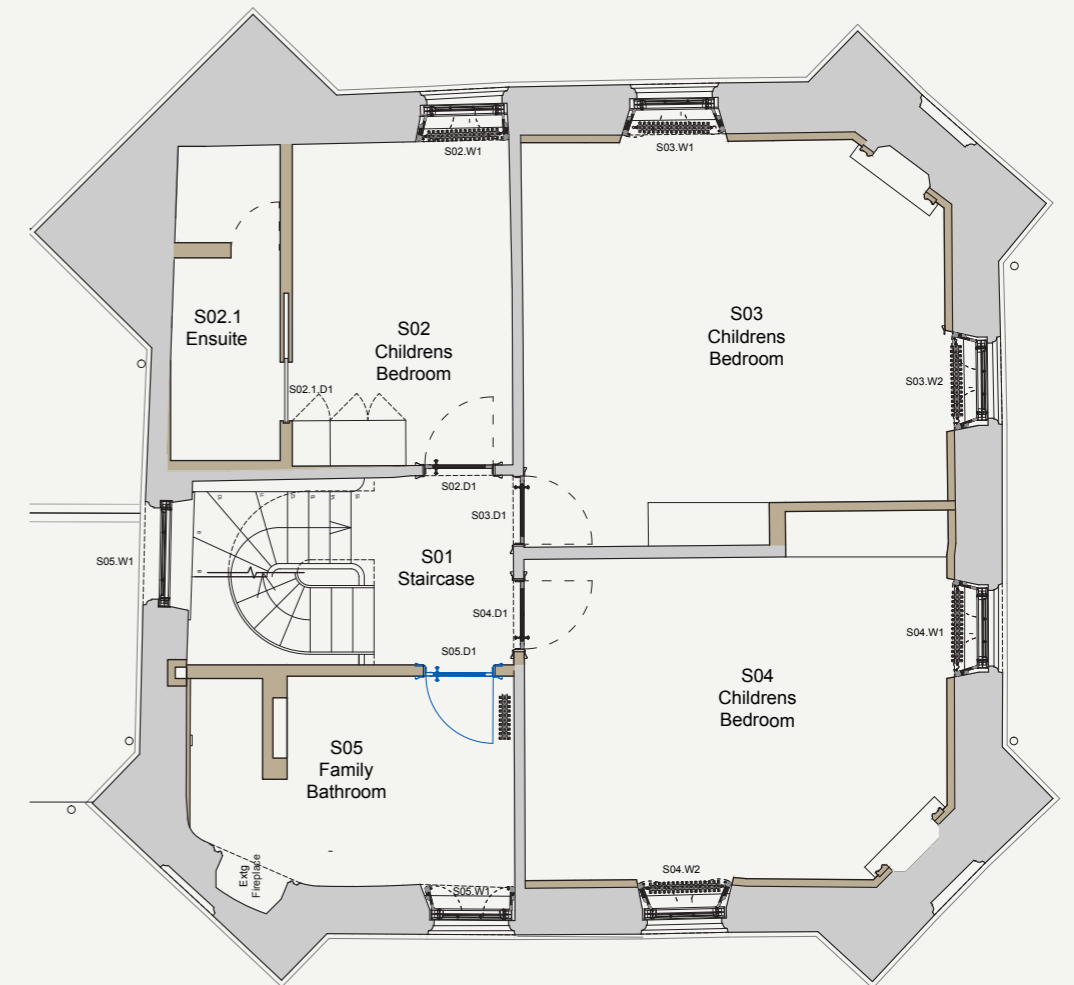
BLOCKED UP FLUES DISCOVERED IN THE CORNER OF EACH OF THE SOUTH BEDROOMS



DEMOLITION SECOND FLOOR PLAN

Demolitions

- Remove late C19 timber stairs in non-original location
- Blocked up flues to have modern red brick infill removed.
- Remove boxing out for modern services.
- Existing bathroom door E_S05.D1 to be retained and reused.
- Remove existing timber roof trusses



PROPOSED SECOND FLOOR PLAN

Proposals

- New staircase in original location
- New removable stud partitions to form a room in the NW corner of the plan. Existing bathroom door E_S05.D1 to be reused in this location.
- New removable stud partitions to form a en-suite. New panelled door, mouldings to match the rest of the doors on this floor.
- New fireplaces in existing corner flue locations in both south bedrooms
- Reinstate missing panelled shutters to all second floor windows





6.6 Harmful 19th Century alterations - The roof

It is clear to see from a visual appraisal and in depth physical and heritage investigations that the current roof and chimneys are not the original form. The current roof is understood to be the third to have existed on the building.

The original roof:

From the date of the building and form of the plan, the Heritage Consultant concludes that the original roof would have had a shallow or flat roof, behind a parapet. Parapets themselves at this time would typically be crenelated, balustraded, decorative strapwork, or even solid, but unfortunately no evidence of the form of any possible parapet survives.

The Second roof

Historical records indicate that there was a second roof on the building as part of 18th-century updating of the building which had a central valley.

The current roof:

Between 1840s & 1885-6 the second floor and the entire roof structure was replaced.

Heritage comments on the current roof:

The following are excerpts from the Heritage Report.

“The current roof makes little attempt to relate to the form of the building architecturally. It is utilitarian and was added as part of a large scale refurbishment of the house. Its design and build quality is very low almost resembling a modern temporary roof resulting from a period when the estate was in a period of decline, almost ruinous.

The form of the roof, with its massive, blank gables, which give the building an aesthetically harmful, top-heavy feel, & which fails to relate in any meaningful architectural way to the form of the building below, is of little intrinsic aesthetic (fortuitous or architectural) value, & actively harms the aesthetic value of the earlier building.”



WEST VIEW OF THE HOUSE FROM ACROSS THE BOTTOM POND



SOUTH EAST VIEW OF THE HOUSE



6.7 Harmful existing alterations - Roof structure and detailing

Structural issues:

The roof has been reviewed by Structural Engineers and the following structural issues have been documented in their report:

“The roof to the main house has been added at a later stage, it is designed such that thrust is placed laterally into the walls, an undesirable condition long term. Roof pitch structure is a timber roof with no support to the apex and no ridge beam. The timber rafters have signs of damp.

Hairline cracks in the gable end wall suggest that the new masonry gable ends are not properly restrained. The roof should be replaced to avoid long term damage to the stonework that remains.”

A structural impact assessment has been submitted as part of this application.



MISSING ROOF RIDGE BEAM RESULTING IN LATERAL THRUST ON THE STONE WALLS

Detailing issues:

The form of the roof apart from structurally having implications also results in a number of uncomfortable waterproofing junctions where the pitched roof meet the top of the stone corner stacks and red brick chimney stacks. This has led to water ingress causing damage to the heritage asset.

Issue 01:

A square roof on an octagonal plan:

The roof is a dual pitched tiled roof, square in plan sitting on a octagonal floor plan. The four corner towers create a plan with 16 elevational walls. This creates a series of unworkable junctions. There are 8 leftover triangular flat roofs as a result. Each section of flat roof is unsuccessfully detailed and allow water run off onto the stonework below.

Issue 02:

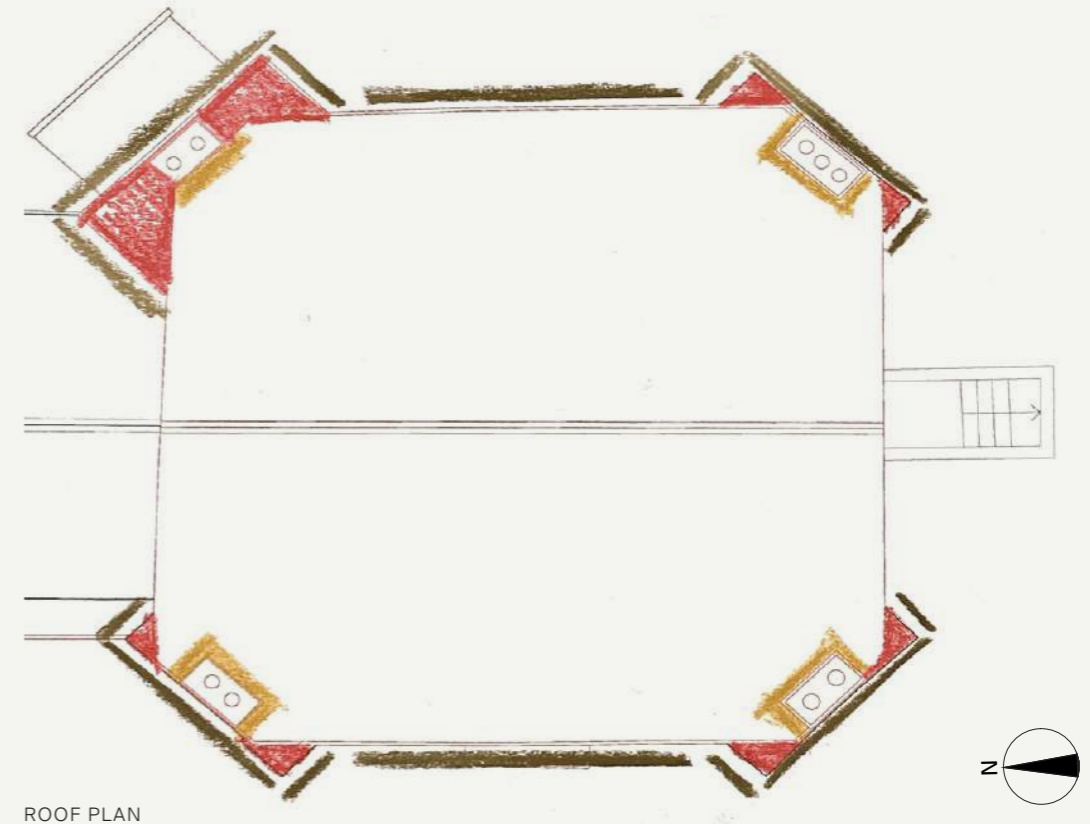
4 chimneys cutting through the roof:

The octagonal plan and positioning of the corner fireplaces results in the chimneys being required to cut through the roof pitches. The result is 10 areas of flashing, all angled and failing.

Issue 03:

Guttering and junctions

As a result of the design rainwater cannot be drained off without excessive guttering and flashings. The current roof solution requires guttering to be awkwardly wrapped around the chimney stacks, cutting diagonally across the stacks and being insufficient to collect and disperse water.



ROOF PLAN



AWKWARD CHIMNEY AND GUTTER JUNCTIONS ARE UNSIGHTLY AND HAVE RESULTED IN WATER INGRESS DAMAGING HISTORIC FABRIC.



6.8 External proposals

The heritage investigations and structural investigations that have been undertaken support the removal of the current roof due to the visual and physical harm it is causing to the heritage asset.

The proposal is to remove the existing, harmful & over-sized roof structure, & to replace it with a far smaller & more sympathetic roof structure, set back behind reinstated parapets & chimneys. Proposals demonstrates a new fourth chapter in the roof's ongoing history. An overtly contemporary architectural form, which was considered & dismissed, could disjoint the overall appearance of the building, & compete distractingly with the historic elevations below. The intention, therefore, is to follow the examples of architects such as Lutyens & Holden, who took historic forms, but stripped & simplified them to create an honest, but gently & sympathetic homogenous & harmonious appearance.

The parapet would be a dressed stone addition. The triple chimneys draw inspiration both from the typical chimneys of the time, & from the honest expression of the three internal flues within each. The intention is not restoration, but to finish the elevations in a gentle, appropriate manner that whilst contemporary, is not overtly so, but feels simple, unforced & undistracting.



EXISTING SOUTH WEST VIEW



PROPOSED SOUTH WEST VIEW

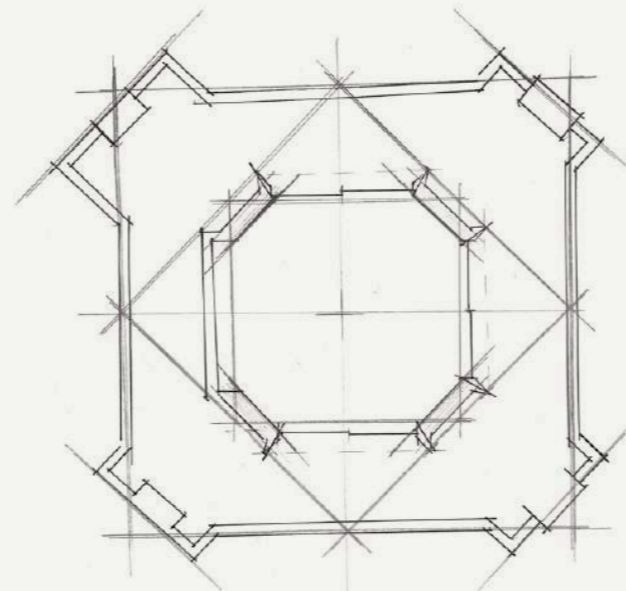


6.9 Roof massing plan form development

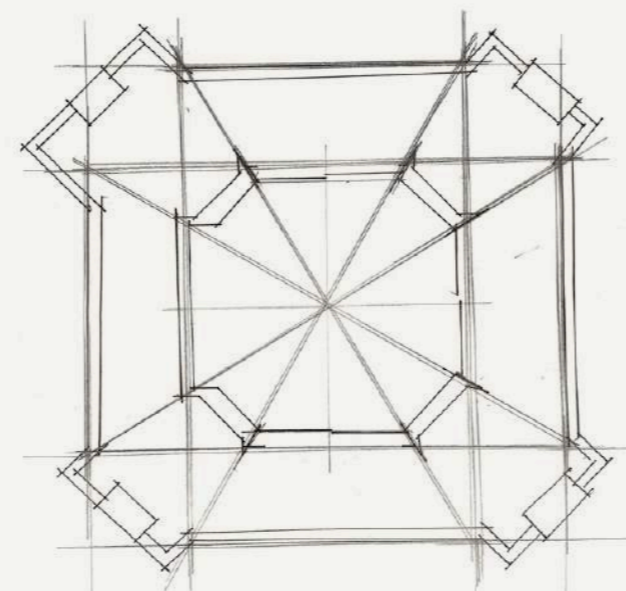
It is proposed to include a contemporary pavilion/ prospect room upon the roof, discretely set back behind the parapets. The form of this pavilion would be an irregular octagon, reflecting & reinforcing the geometry of the parent building.

The plan of the house contains a pair of root 3 rectangles forming a cross which define the three regular cardinal elevations (south, east & west); these are also used to define the cardinal & diagonal lines of the prospect room.

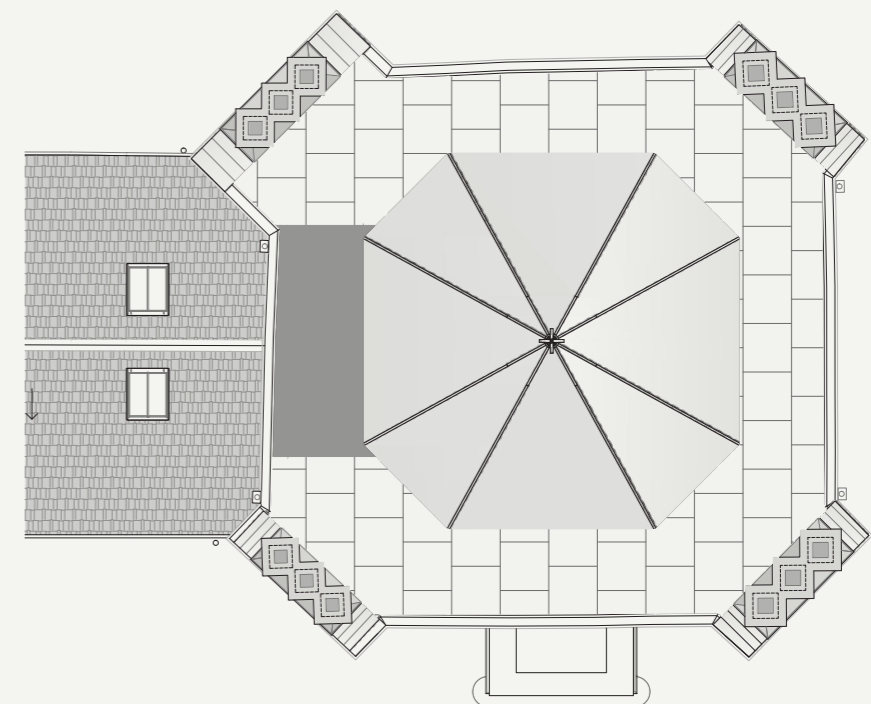
This prospect room is inspired by, & intended to subtly evoke in a contemporary manner, the prospect rooms that became fashionable in the mid-16th century, but which reached the peak of fashion around the time of West Bradley's original construction, towards the end of the 16th century



DEVELOPMENT DRAWING SHOWING THE GEOMETRICAL RELATIONSHIP OF THE PAVILION TO THE ORDINAL PROJECTIONS



DEVELOPMENT DRAWING SHOWING THE GEOMETRICAL RELATIONSHIP OF THE PAVILION TO THE PARENT BUILDING.



PROPOSED ROOF PLAN



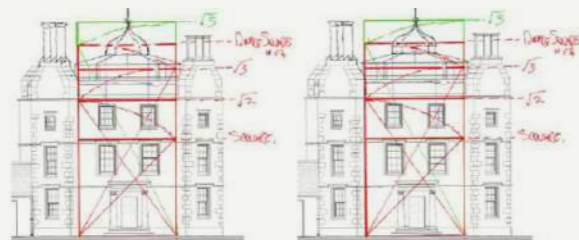
6.10 Prospect room design development

Whilst the proposal draws inspiration from the types of roof-top prospect rooms & banqueting houses that were characteristic of high-status buildings of this date, the intention is not to attempt a speculative restoration, but to add a new, but sympathetic phase which was intended to complement & enhance the character & significance of the original building.

Prospect rooms, banqueting houses & turrets used various roof profiles, but the most characteristic was the ogee. A number of exercises were undertaken to assess the most appropriate & sympathetic form for the roof.

As the new roof was intended to evoke appropriate historic roofs in a sympathetically contemporary way, rather than form a speculative pastiche reconstruction, it is suggested, again taking inspiration for skeletal ogee domes, to 'deconstruct' the ogee to create more abstract silhouette.

The proposal, inspired by these precedents, from the ogee with a skirt of roof around at Nonesuch, to the skeletal ogees, is for the ribs of the roof to rise in the centre to form an abstract silhouette of a raised form & ogee dome at the centre of the prospect room roof.



EXCERPT FROM FIGURE 155 OF THE HERITAGE DOCUMENT
SHOWING DEVELOPMENT OF THE DESIGN PROPORTIONS
IN CONJUNCTION WITH THE HERITAGE CONSULTANT



ARCHITECT'S DEVELOPMENT SKETCHES OF THE PAVILION DESIGN CONSIDERING DIFFERENT ROOF PROFILES AND ABSTRACTION



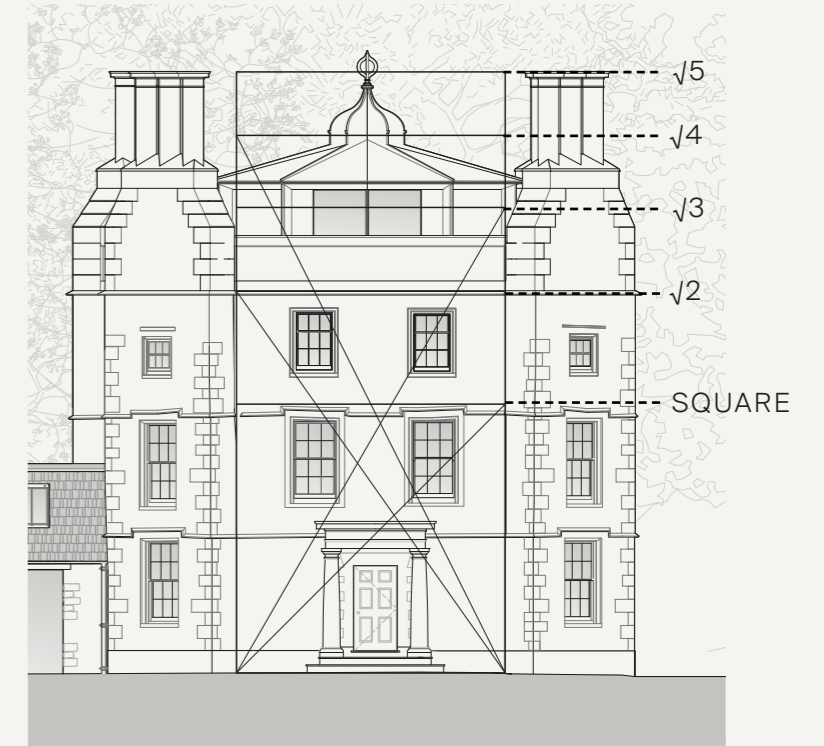
6.11 Roof Design Proportions

The plan of the building was composed with root 3 proportions. The elevations of the house are entirely composed of root 2 & root 3 proportions. These proportions provide the clue as to the correct height of the roof structure (minus any finial/weather vane).

The height of the proposed chimneys and ogee relates to a continuation of the proportions that define the original elevations of the building.



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION WITH ROOT PROPORTIONS OVERLAID



EXISTING SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

REFER TO SCALE DRAWINGS WITH FULL ANNOTATIONS



6.12 Conservation Principles

The proposed parapet, chimney and roof design has been developed to Historic England's 2008 Conservation Principles:

New work or alteration to a significant place should normally be acceptable if:

a. There is sufficient information comprehensively to understand the impact of the proposal on the significance of the place;

The heritage appraisal has assessed the architectural history & significance as thoroughly as the available physical, documentary & comparative evidence allows, & thus the potential impact of the proposal upon the significance of West Bradley House can be understood

b. The proposal would not materially harm the values of the place, which, where appropriate, would be reinforced or further revealed;

The proposals are focused on the mid-19th century roof structure, which has been identified as being of low significance, & of actively harming the aesthetic value & significance of the highly significant original architectural form & phase of West Bradley House as a whole. Consequently, the loss of this would not materially harm the values or significance of the listed building.

There would be no impact upon, or loss of fabric from the earlier, more significant phases. However, heritage values & significance rest in more than

the physical fabric, they also rest in the architectural design & aesthetic appearance of the building. The removal of the very large & unsympathetic 19th-century structure that rises above the original roof-line & visually dominates the external appearance & which fails to relate in any meaningful way to the distinctive architectural form of the building, & its replacement by a far smaller structure, contemporary in form, but inspired by characteristic prospect rooms & banqueting houses, & reflecting & reinforcing the building's geometry would relieve the 16th/17th century building of the crushingly dominant visual weight & crude form of the present roof structure, & replace it with a roof composition that would complement & enhance the architectural form of the building.

The proposed chimneys & parapets are intended to be contemporary, but not overtly so given their more prominent position & relation to the elevations below. Rather, a more gentle, deferential, Lutyens-like approach is proposed, where the overall form & materials are drawn both from characteristic examples of the date, & the honest requirements of the building, but the detailing is kept simple & understated, to be deferential to, & undistracting from the elevations below, whilst at the same time complementing & enhancing them.

The original elevations would be more prominent & legible, & the geometry of the building would also be emphasised & more legible. Thus, the heritage values & significance of the most important, original phase of the building would be considerably reinforced & further revealed.

c. The proposals aspire to a quality of design and execution which may be valued now and in the future;

A great deal of thought & discussion has gone into the evolution of the design to ensure that it is of appropriate quality of design to complement the building, & form a worthy fourth phase of roof that will be valued by future generations. The quality of execution is intended to be of appropriately high quality.

d. The long-term consequences of the proposals can, from experience, be demonstrated to be benign, or the proposals are designed not to prejudice alternative solutions in the future." (paragraph 138).

The long-term consequences of the proposals should be to ensure that the building is now water-tight, preventing further decay. The proposals will restore the historic status of the house, retaining it as a family home (its optimum viable use) & thus ensure its ongoing proper maintenance, to preserve it for the benefit of current & future generations.



ARTIST'S INTERPRETATION OF THE PROPOSED SOUTH ELEVATION



6.13 Porch

On the west elevation, it is hoped to add an open porch to both shelter, & better identify the principal entrance.

The proposed porch would be a simple Tuscan porch. The proportions & detailing would be taken directly from John Shute's *The First & Chief Grounds of Architecture*, the first treatise on classical architecture to be written in English, published in London in 1563.



PROPOSED WEST PERSPECTIVE



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION



ARTIST'S INTERPRETATION OF THE PROPOSED WEST ELEVATION



7.0 Northern link extensions

The proposals have been developed based on the evolution of each extension and their quality.

The kitchen extension was added to the north side of the main house when the staircase was relocated. Following this initial extension, additional extensions have been added around the house in a piecemeal fashion to the extent that the views of the main house are being blocked and the additional massing is encroaching on the principle heritage asset.

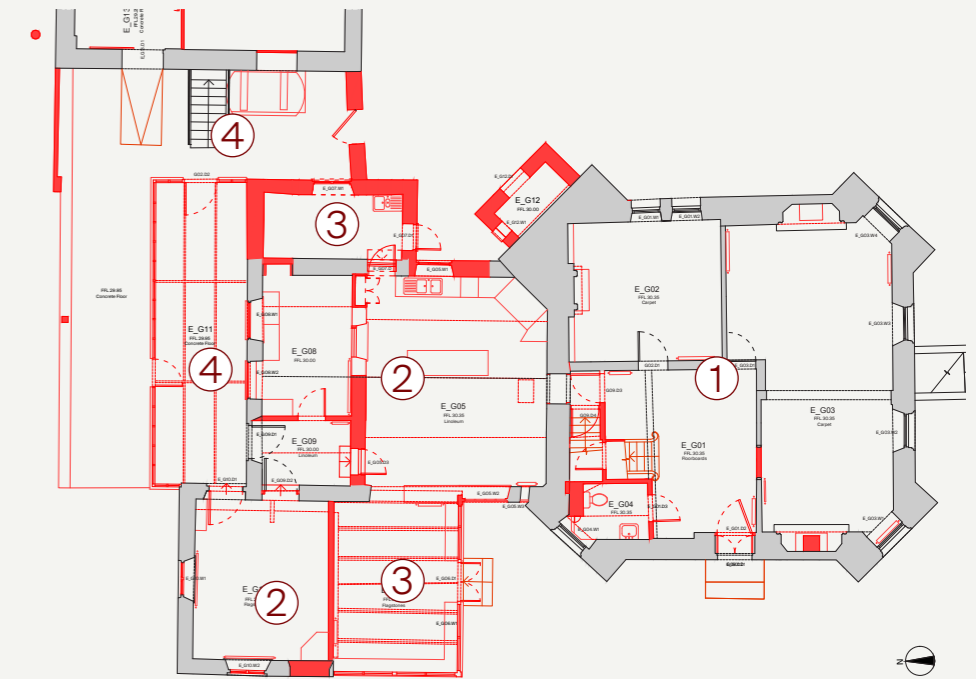
Therefore the proposals are for the kitchen extension to the north of the house to be retained but the later lean-to extension and 1980's garden room are to be removed. This will help re-express the higher status of the main house as the principle heritage asset.

Internally the north wing has been heavily modernised, with a new kitchen, floor, joinery, double glazing and mouldings. These features are to be removed. The stone flag stones are to be retained and two doors of note in this part of the house are to be retained and reused.

The Structural Engineers have inspected the roof of both kitchen extensions to be retained and has recommended the replacement of the roof structure, the pantiles will be retained for reuse.



AERIAL VIEW OF ALL THE EXTENSIONS TO THE NORTH OF THE MAIN HOUSE



GROUND FLOOR DEMOLITION PLAN - REFER TO APPENDIX FOR ANNOTATED DRAWINGS



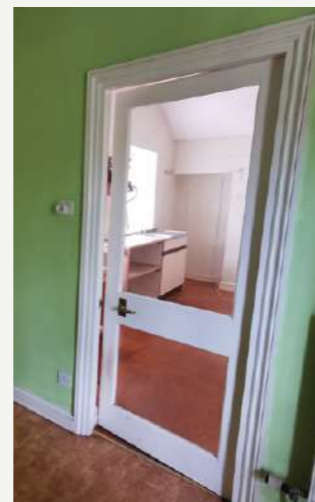
VIEW OF THE MAIN HOUSE BLOCKED BY THE 1980'S GARDEN ROOM EXTENSION



JOINT LINE SHOWING LATER ADDITION OF KITCHEN LEAN TO



MODERN KITCHEN, JOINERY AND FINISHED TO BE REMOVED



CONSERVATORY TO BE REMOVED



AERIAL VIEW OF THE ROOFS CLOSEST TO THE HOUSE ENCROACHING ON THE MAIN HOUSE

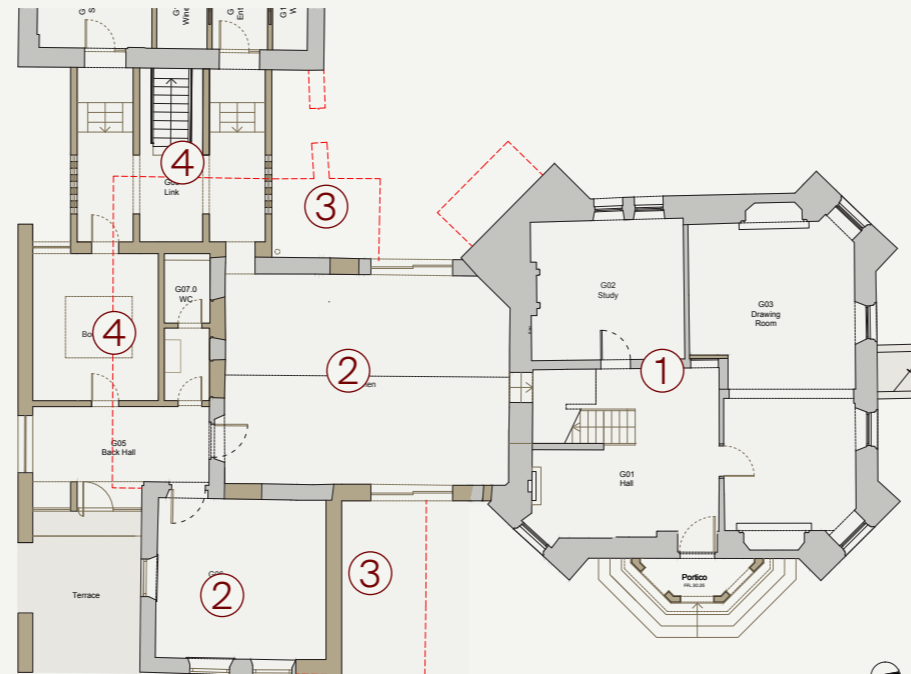


7.1 Northern extensions proposals

The heavily altered internal partitions and joinery are to be removed from the kitchen extension to create a everyday use family space proportionate to the size of the house. Openings to the east and west of the room are to be increased in size to give direct connection to the garden.

The agricultural lean to leading to the apple barn is to be demolished and replaced with a sensitively designed modern link building. The form of the new link is derived from the historic local vernacular of timber enclosures to cider barn staircases. The roof angles of the proposal respond to the three openings in the east facade: 2 lower doors (for barrels) and the upper door (for fruit storage).

The conservatory is to be replaced a back entrance hall which would be expressed as a simple, traditional garden wall, above which the 19th- century gables would be visible.



PROPOSED GROUND FLOOR PLAN



AERIAL VIEW OF EXISTING COLLECTION OF EXTENSIONS AND LEAN-TO'S



MODEL VIEW OF PROPOSED IMPROVED MASSING



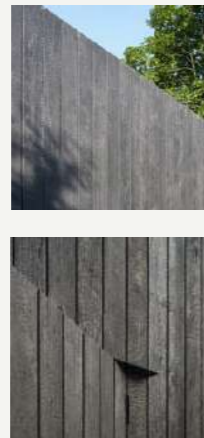
MODEL VIEW LOOKING TOWARDS THE LINK AND THE NEW GARDEN WALL, ABOVE WHICH THE 19TH- CENTURY GABLES WOULD BE VISIBLE



CONCEPT VIEW THE ROOF ANGLES OF THE PROPOSAL RESPOND TO THE THREE OPENINGS IN THE EAST FACADE



CIDER HOUSE NR BOMYARD
CREDIT JOANNA GRUNDY



TIMBER CLADDING



8.0 Apple Barn and Concrete Barn

At the turn of the 20th Century, the then owner W.Allen sold the family's diary heard and launched a Cider manufacturing business utilising the extensive land for orchard planting. This new chapter marks the introduction of several new buildings to the site, markedly the large Apple Barn (5), built in 1902. The successful cider making industry lead to further developments on site including the Cart Shed/ garaging (8) by the 1921-43, as well as a concrete and tin roof shed (6) to the south side of the apple barn. Further modern barns (9) were added after the 1960s to the north of the Apple barn, along the brook.

The Apple Barn is well built from Lias stone, typical of the local area, with a timber framed pitched roof clad in 'double Roman' clay tiles. The barn is partially subterranean, with the ground floor being set below the external grade level, where the cider was stored in barrels. The first floor (possibly for fruit storage) is accessed via a short staircase on the west. Unfortunately, the timber roof trusses have failed and temporary timber posts have been added to prevent collapse (refer to S.E Report). The roof retains some glass tiles which are noteworthy. Internally, concrete has been laid on the ground floor, and steel posts and timber beams support a 1st floor deck. The proposals for the Apple Barn focus on retaining the light industrial character of the building, preserving and restoring where possible. The position and size of the barn lends itself to an ancillary entertaining annex, for play, entertainment and entertaining friends and family.

The concrete barn to the south of the Apple Barn was built in the early C20th. It also sits below ground level and is a utilitarian concrete block construction with cement roof panels. It is of no heritage interest and negatively impacts the setting of the house and Apple barn.



- ⑤ Apple Barn - 1902 - to be restored
- ⑥ Concrete Barn - by 1921-43 - to be demolished
- ⑧ Cart Shed - by 1921-43 - to be rebuilt
- ⑨ Agricultural Barns - post 1962 - to be demolished



ARIEL VIEWS OF THE APPLE BARN AND CONCRETE BARN



APPLE BARN - GROUND FLOOR WITH STEEL COLUMNS SUPPORTING THE FIRST.



APPLE BARN FIRST FLOOR - TEMPORARY SUPPORTS FOR THE FAILED ROOF

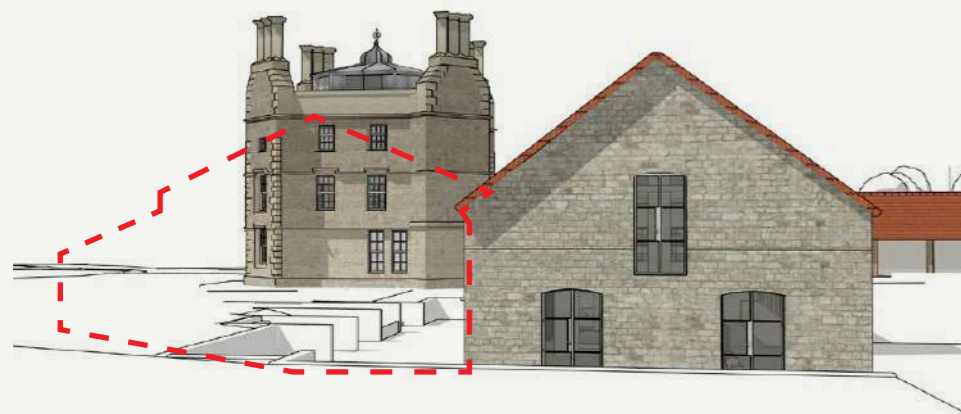


8.1 Opportunities

The demolition of the concrete barn would be a clear benefit to the setting of the house and Apple Barn. Its massing blocks the south facade of the Apple barn and dominates views of the house from the East and South.



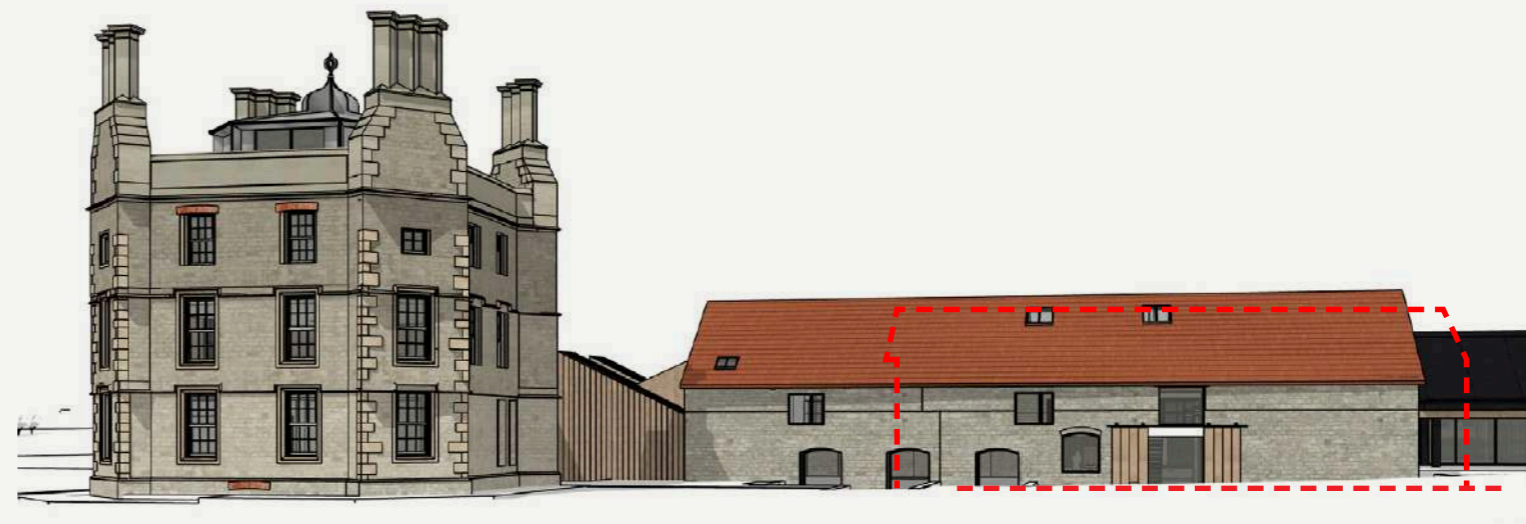
EXISTING VIEW OF THE APPLE BARN AND CONCRETE BARN FROM THE EAST SHOWING HOW THE CONCRETE BARN OBSCURES VIEWS OF THE HOUSE.



PROPOSED VIEW OF THE APPLE BARN AND HOUSE FROM THE EAST SHOWING WITH THE REMOVED MASSING OF THE CONCRETE BARN DASHED RED. THE SUNKEN VOID PROVIDES AN OPPORTUNITY TO LANDSCAPE THIS ZONE AND TO IMPROVE THE SETTING.



EXISTING VIEW FROM THE SOUTH SHOWING HOW THE CONCRETE BARN OBSCURES MOST OF THE APPLE BARN AND IMPINGES ON THE HOUSE GARDENS



PROPOSED VIEW FROM THE SOUTH - THE FULL SOUTH ELEVATION OF THE APPLE BARN BENEFITS FROM SOME EXISTING OPENINGS INCLUDING A LARGE DOORWAY WHICH LINKED IT TO THE CONCRETE BARN. THE INTENTION IS TO ADD TO THESE WITH NEW OPENINGS TO SERVE THE RESIDENTIAL USE AND LINK THE BARN TO THE NEW SUNKEN GARDEN. PLEASE REFER TO THE NEXT PAGE FOR TREATMENTS OF THE ELEVATIONS WITH EXISTING AND NEW FENESTRATION.



8.2 External alterations

The Apple Barn contains a large mix of existing opening types. The treatment of fenestration has been broken into the following three types:

Existing glazing to be replaced with new double glazed traditional casements:



A EXISTING TIMBER CASEMENT WINDOWS IN POOR CONDITION TO BE REPLACED WITH NEW DOUBLE GLAZED TIMBER CASEMENTS IN EXISTING OPENINGS WITH REPLACEMENT TIMBER LINTELS



B DAMAGED EXISTING TIMBER CASEMENTS REPLACED WITH NEW TIMBER SILLS WITHIN EXISTING STONE ARCHED LINTELS



C EXISTING MODERN TIMBER FRAMED WINDOWS TO BE REPLACED WITH NEW CASEMENT WINDOWS

Contemporary glazing in existing openings:



D EXISTING STONE ARCHED OPENING TO BE OPENED UP WITH NEW FIXED GLAZING. THE STEPS ARE CONTEMPORARY WITH THE NEWER DOOR.

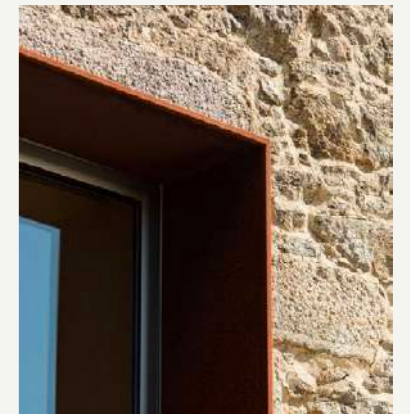


E EXISTING LARGE OPENING TO BE RETAINED, INCLUDING ORIGINAL LINTEL. SILL DROPPED TO MEET INTERNAL FFL, NEW GLAZED INFILL, DOOR AND EXTERNAL SHUTTER.

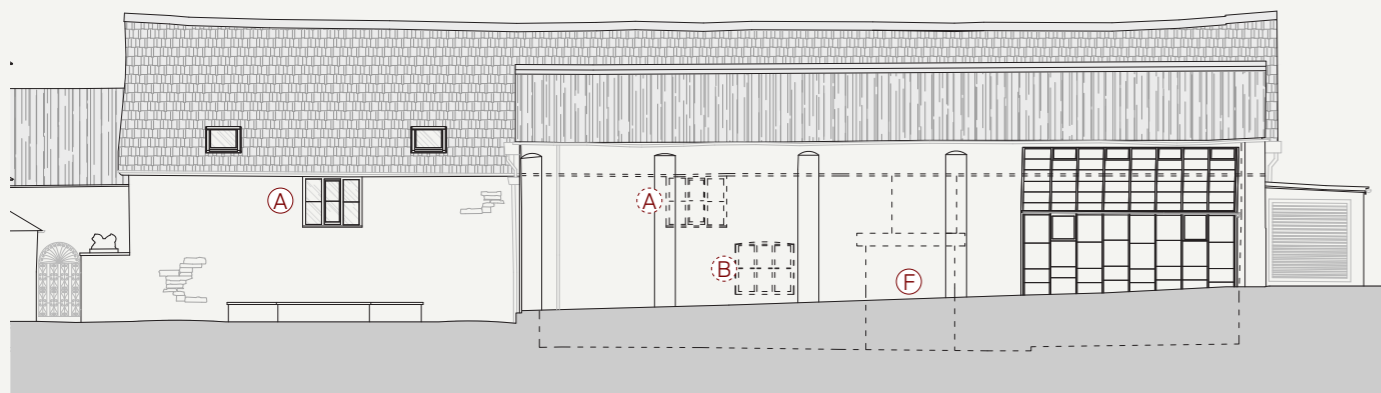


F EXISTING PAIR OF OPENINGS TO BE CONSOLIDATED AS NEW DOUBLE HEIGHT GLAZED OPENING WITH EXTERNAL SHUTTERS

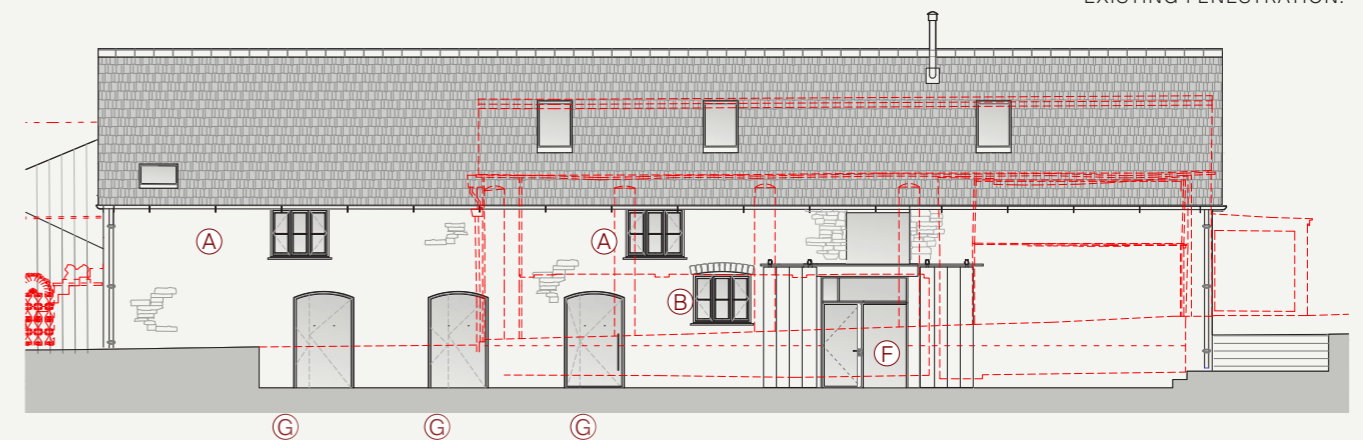
Contemporary glazing in new metal lined openings:



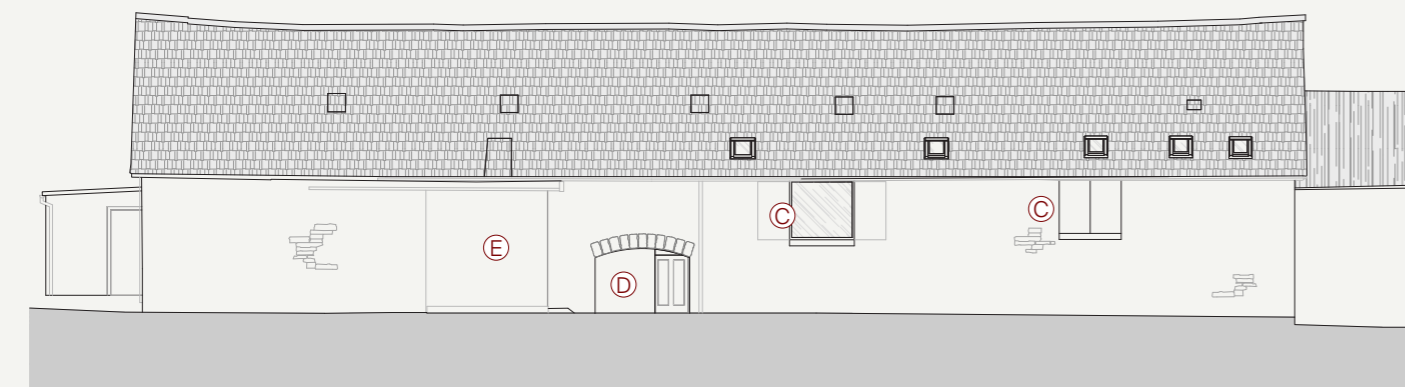
G NEW WINDOW AND DOOR APERTURES ARE TO BE LINED WITH STEEL REVEALS (CONCEALED LINTELS) TO DIFFERENTIATE THEM FROM THE EXISTING FENESTRATION.



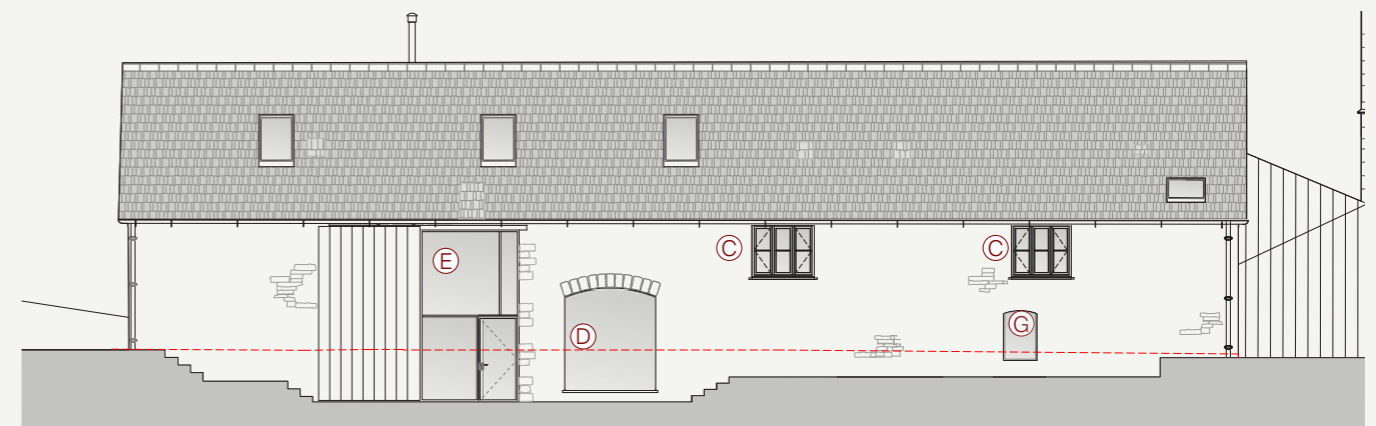
EXISTING SOUTH ELEVATION



PROPOSED SOUTH ELEVATION - REFER TO DRAWING 'MH-122.3 S' FOR FULL DETAILS



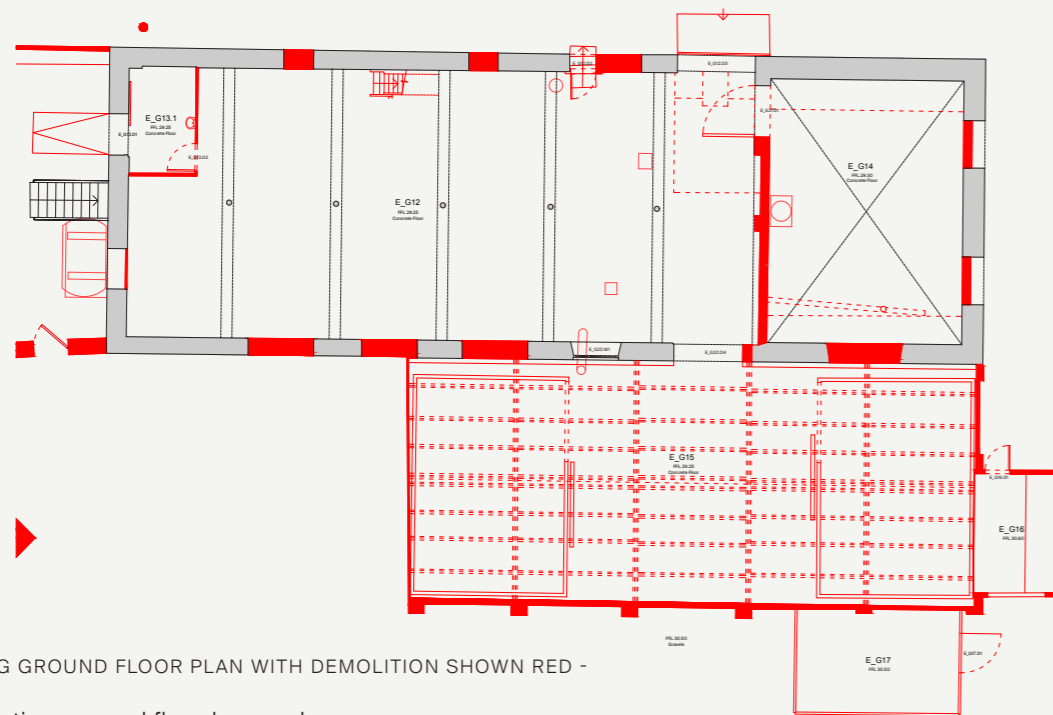
EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION - REFER TO DRAWING 'MH-120.2 N' FOR FULL DETAILS

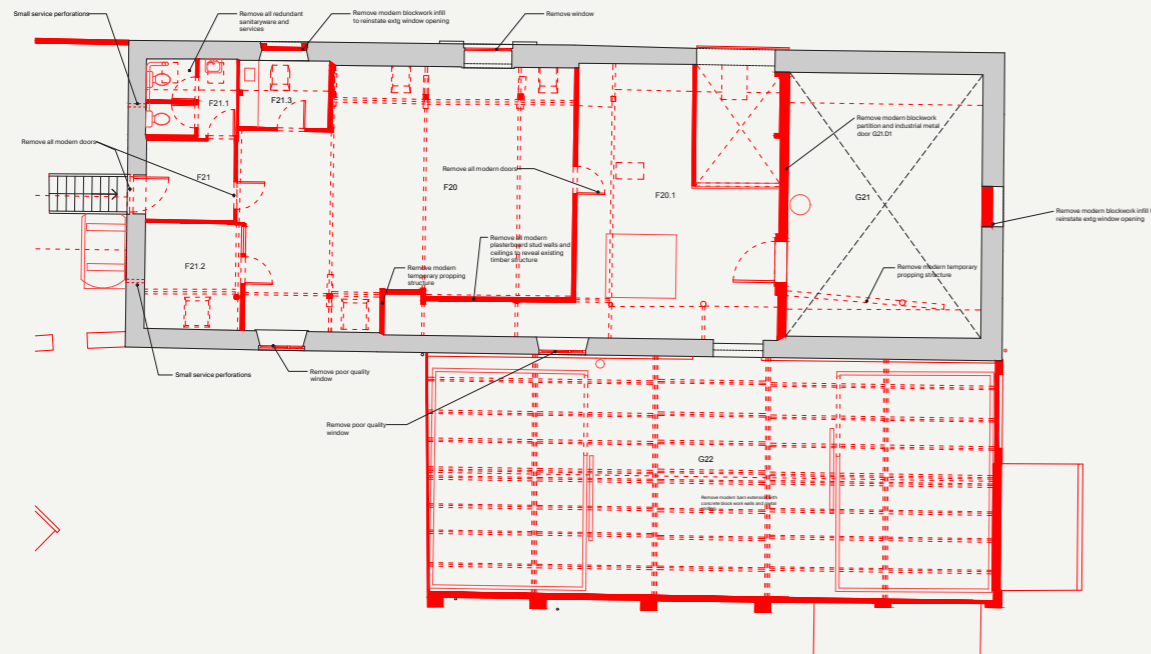


8.3 Internal alterations



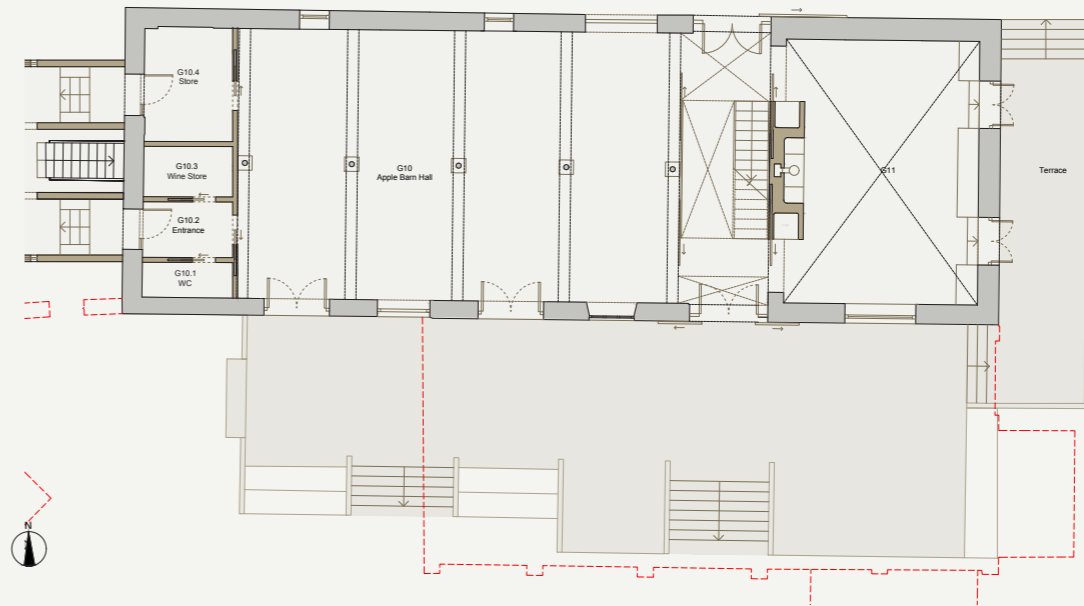
EXISTING GROUND FLOOR PLAN WITH DEMOLITION SHOWN RED -

- Existing ground floor lowered
- Modern partitions removed. Concrete barn removed.
- Steel columns retained.



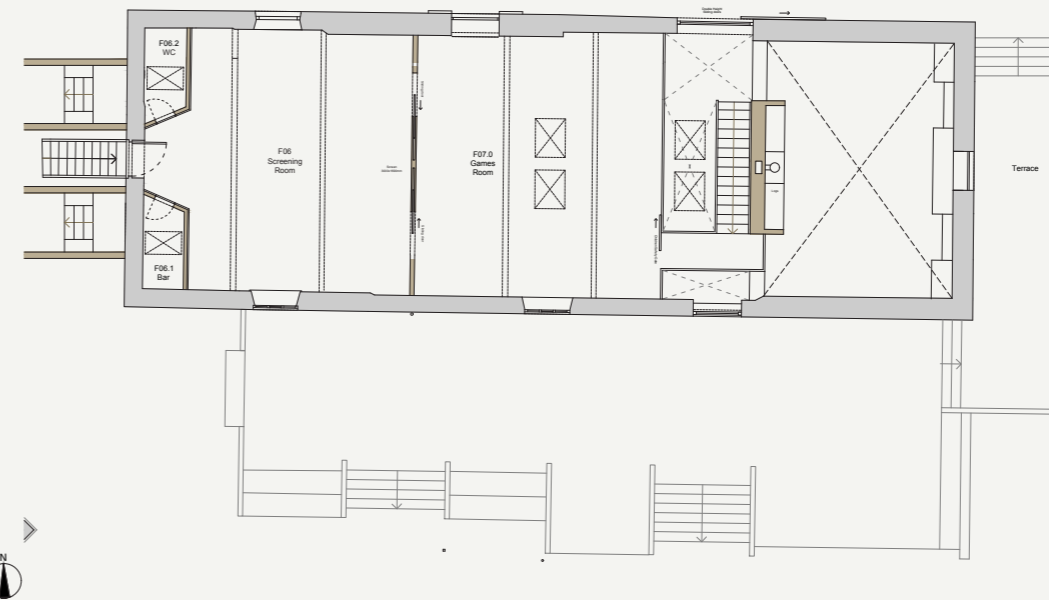
EXISTING FIRST FLOOR PLAN WITH DEMOLITION SHOWN RED

- Modern partitions and temporary truss supports removed.
- Floor structure stripped for strengthening and replacement
- Roof removed for replacement due to structural failings



PROPOSED GROUND FLOOR PLAN

- New insulated concrete slab installed at reduced level to suit existing footings.
- Upgrade of existing fabric including windows, floor and wall performance suitable for a residential annex for entertainment spaces.
- Steel columns retained and light industrial character retained.



PROPOSED FIRST FLOOR PLAN

- New lightweight partitions to create playroom, cinema etc
- Double height void retained to the east and staircase void increased within the existing structural bays.