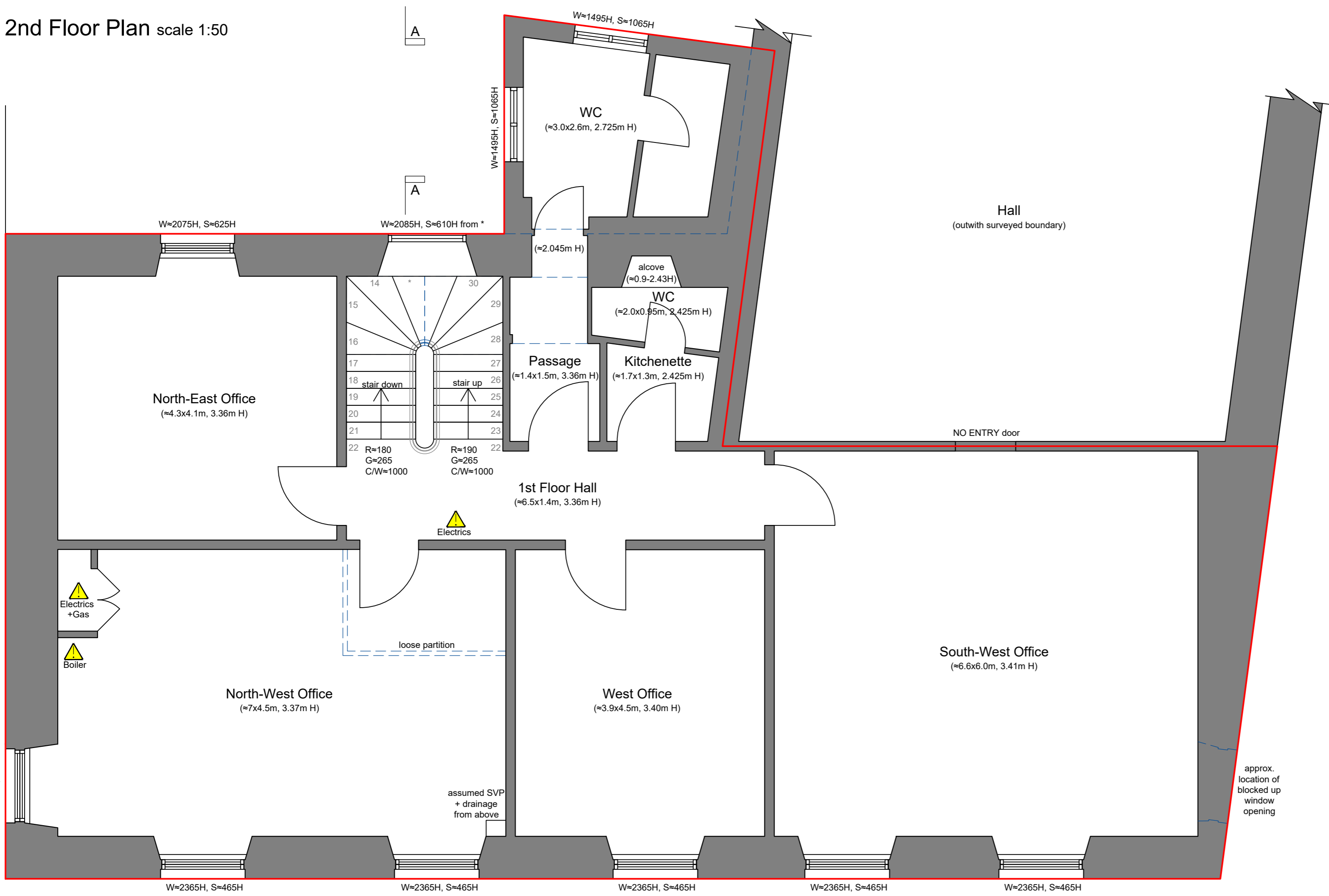
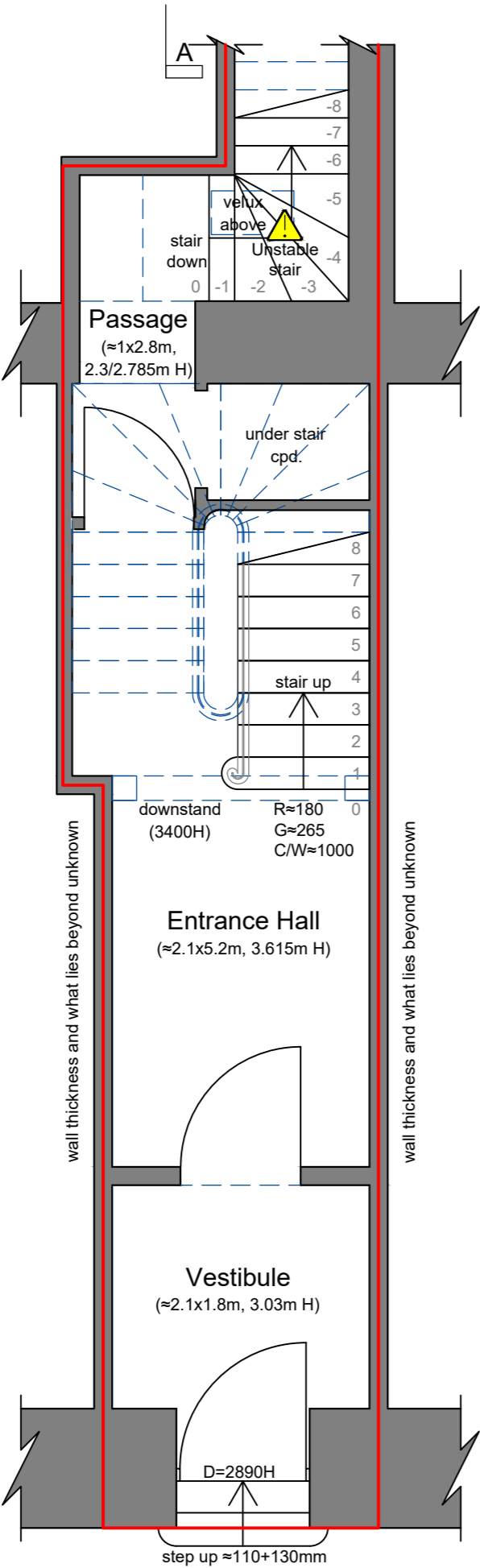


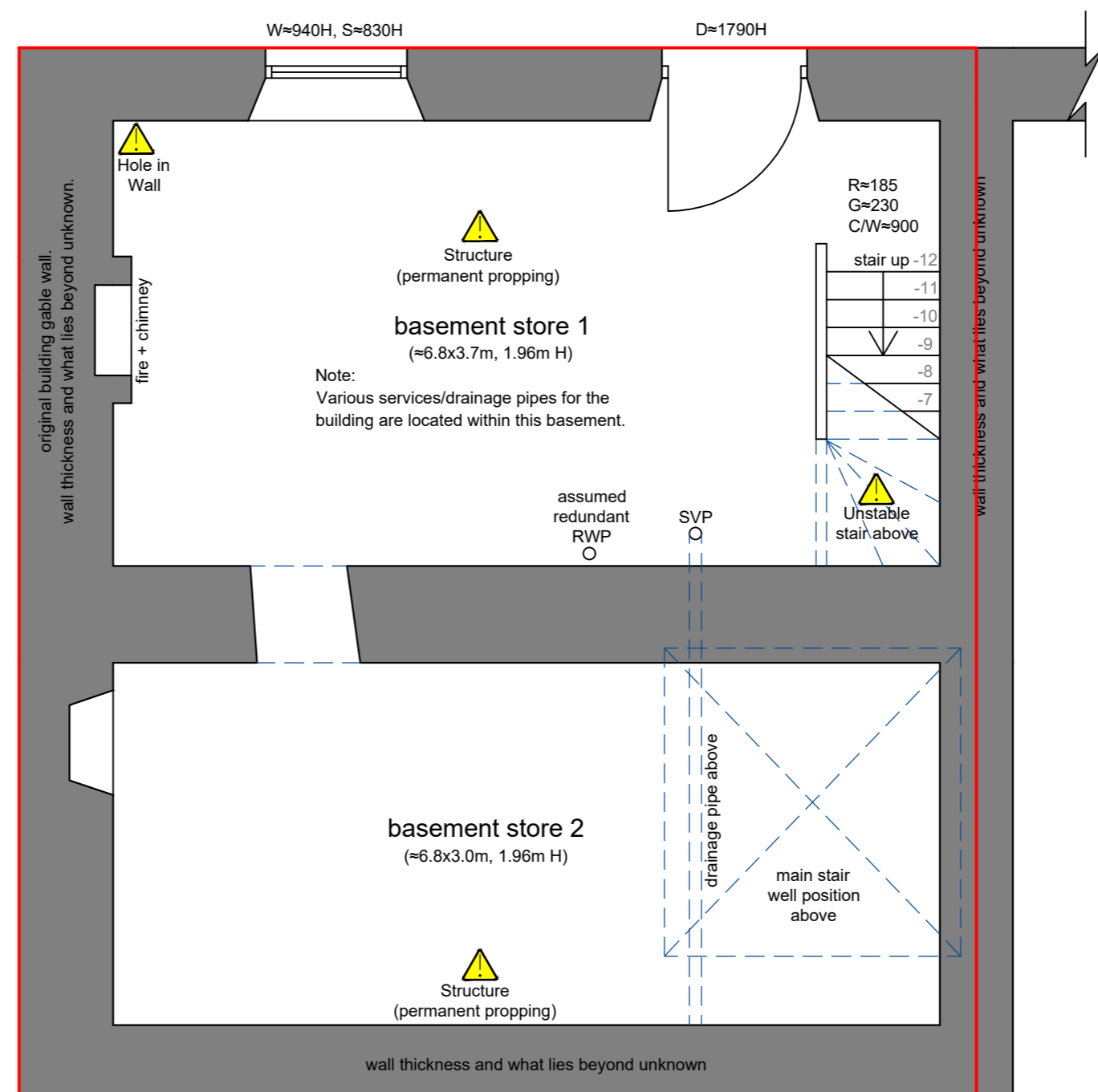
2nd Floor Plan scale 1:50



1st Floor Plan scale 1:50



Ground Floor Plan scale 1:50



Basement Floor Plan scale 1:50

**CDM Notes**

This project has been assessed under the construction design management regulations 2015. Relevant information is to be incorporated to assist the client, contractors and other designers involved with the project. It is assumed that the works will be carried out by competent contractor(s) in accordance with the appropriate approved method statement(s).

Principal Designer:  
Studio Broon Ltd.  
Chartered Architect

Principal Contractor:  
To be appointed by client in due course.

**CDM Legend:**

Existing Services (locations unknown u.n.o.)	
electricity:	mains supply
water:	mains supply
foul drain:	public sewer
surface water:	public sewer
gas:	known services noted on plans
oil:	N/A

**Existing Construction**

Floors:	Earth with some slate slabs at basement level. Suspended timber floors at ground, 1st + 2nd floors.
Walls:	Masonry (stone) with lath & plaster internal finish at main/original building. Anticipated blockwork with timber framing and plasterboard finish at 1st floor WC element.
Roof:	Pitched roof timber trusses at main/original building. Flat roofs at protruding rear elements (timber joists anticipated). Timber dormers.
Doors/windows:	Timber

**Existing External Finishes**

Roof:	Natural slate to main roofs, felt to flat roofed areas.
Walls:	Natural stone to main external walls, concrete render (white at basement + ground floor level, beige/brown at 1st floor level) to protruding elements at rear, slate to dormer hafts.
Doors and windows:	Timber (white)
Rainwater goods:	Cast iron (black)

**Important Notes**

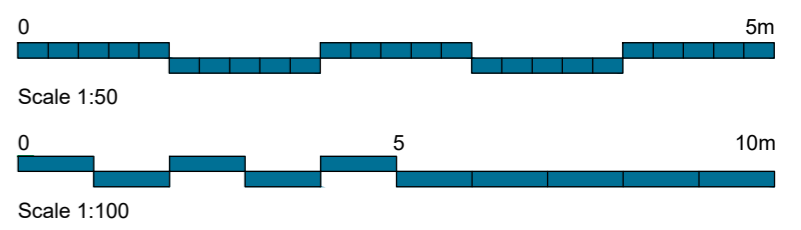
A structural engineer must be consulted prior to the commencement of any alteration or demolition works.

The existing building (with the exception of basement propping) is anticipated to be in sound structural condition. Contractors should notify the architect and engineer should the existing differ from the anticipated.

Engineer's and architect's drawings are to be read in conjunction with the engineer's details + structural specification document.

No works to commence until all relevant approvals are in place (Planning Permission, Listed Building Consent, Building Warrant etc.).

This drawing has been produced following a survey of the building as existing on 24th January 2024. Whilst every effort has been made to ensure that these drawings are an accurate representation of the building, full accuracy cannot be guaranteed and no liability is accepted for any discrepancies or errors.



Revisions: -  
-  
-



Project:	Proposed Works at Elmbank, 14 Castle Street Banff, AB45 1DL		
Client:	Dawn Carus		
Drawing:	Survey - Existing Floor Plans		
Job #:	240101	Dwg. #:	S01
Date:	Jan. 2024	By/Ch.:	JB/VB
E:	vanessa@studiobroon.co.uk	T:	07783118977

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Address: The Garden House, Ellon, AB41 7UA.  
Dwg. to be read in conjunction with all other related dwgs.  
Do not scale directly from drawing.  
All dimensions to be checked and verified on site prior to commencement of any work or fabrication.  
**IF IN ANY DOUBT ABOUT ANY ASPECT OF THIS DRAWING THEN CONTACT STUDIO BROON FOR CLARIFICATION.**