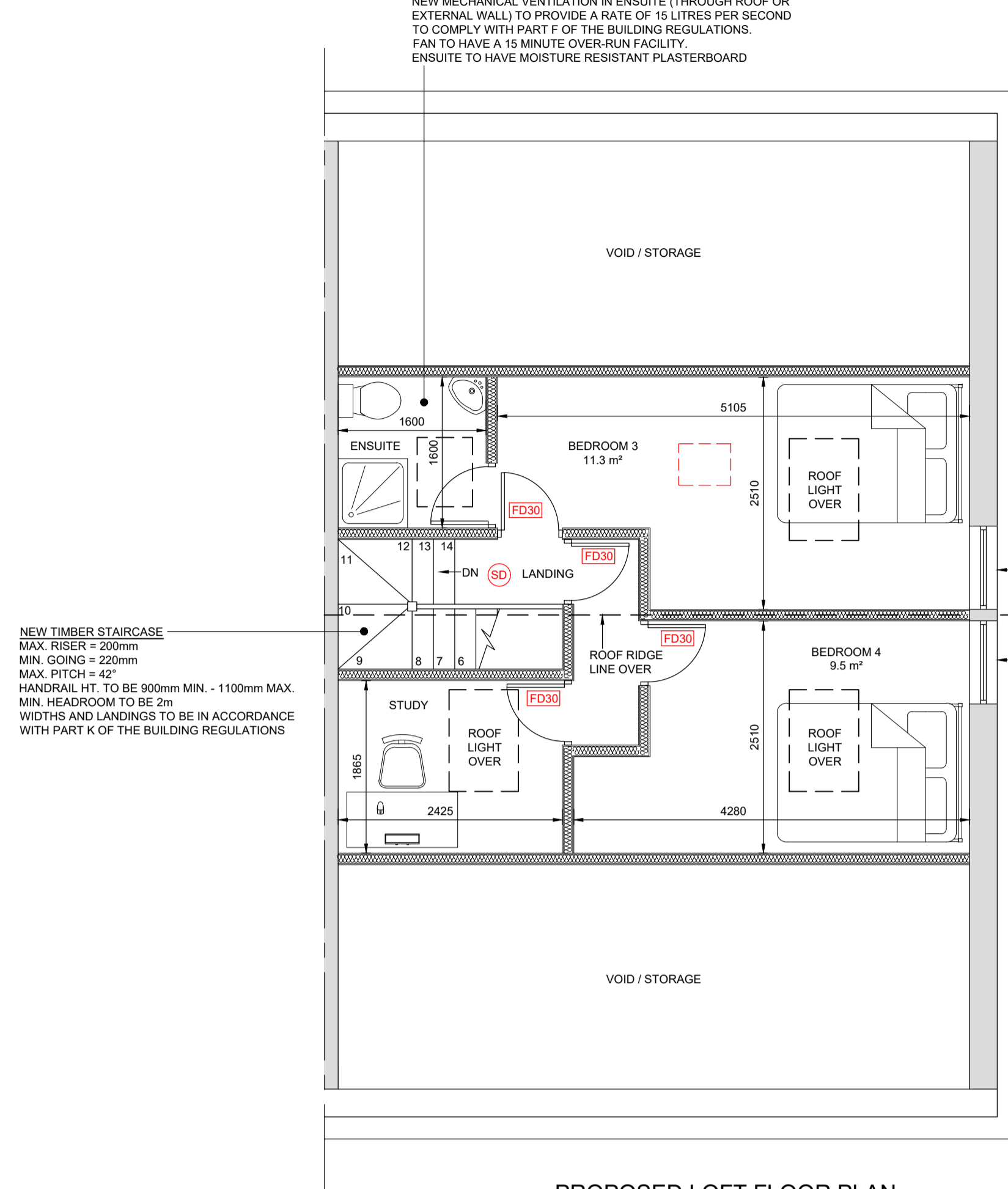
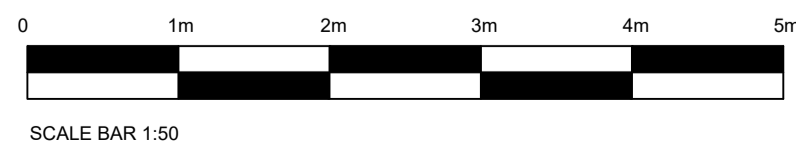


PROPOSED GROUND FLOOR PLAN (SCALE 1:50)

NOTE: ALL DIMENSIONS SHOWN ARE TO BE CONFIRMED ON SITE BY CONTRACTOR

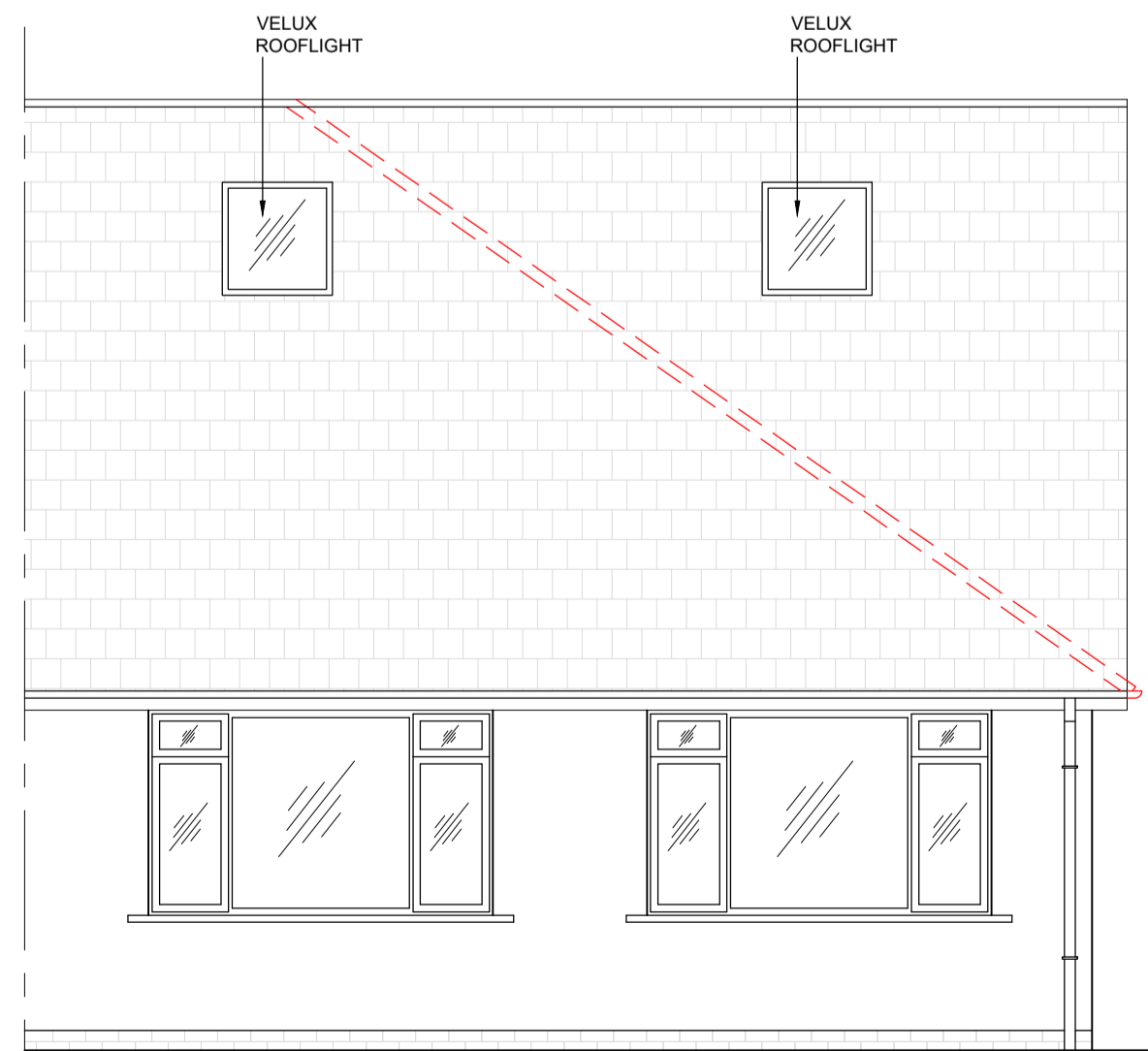


PROPOSED LOFT FLOOR PLAN (SCALE 1:50)

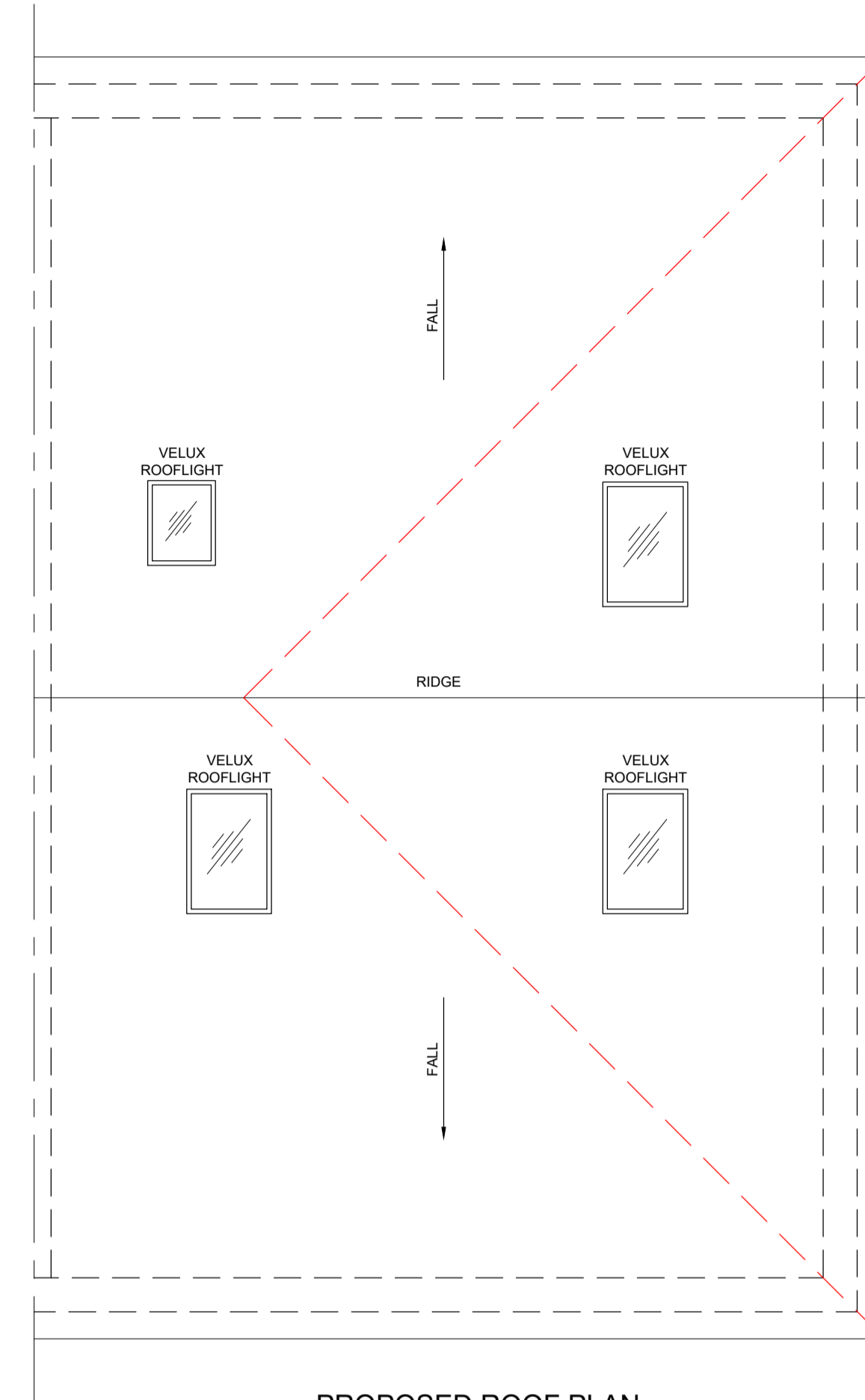
PROPOSED KEY:-

	DENOTES NEW FIRE DOOR WITH FIRE RESISTANCE PERIOD OF 30 MINS.
	DENOTES NEW SMOKE DETECTOR TO BE MAINS OPERATED INTERLINKED WITH BATTERY BACK-UP IN ACCORDANCE WITH BS5839-6:2004. TO COMPLY WITH PART B OF THE BUILDING REGULATIONS
	DENOTES NEW INTERNAL WALL TO BE INSULATED 100x50 C16 TIMBER STUDS @ 600 c/c WITH PLASTERBOARD AND SKIM
	DENOTES EXISTING WALLS
	DENOTES EXISTING STRUCTURE TO BE REMOVED

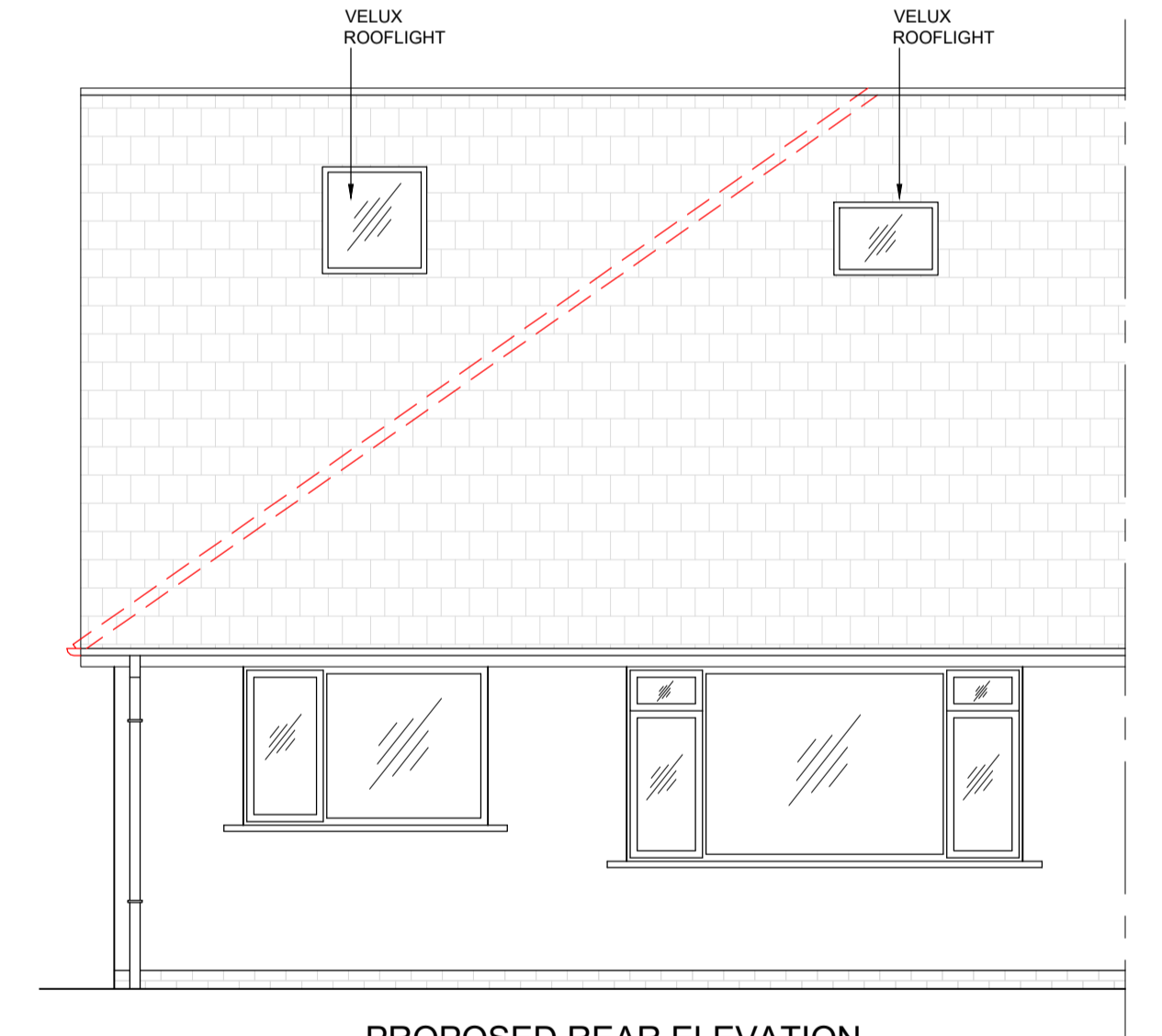
PROPOSED EXTERNAL MATERIALS
 ROOF - PLAIN CONCRETE ROOF TILES TO MATCH EXISTING
 WINDOWS - WHITE PVCu
 RAINWATER GOODS - PLASTIC



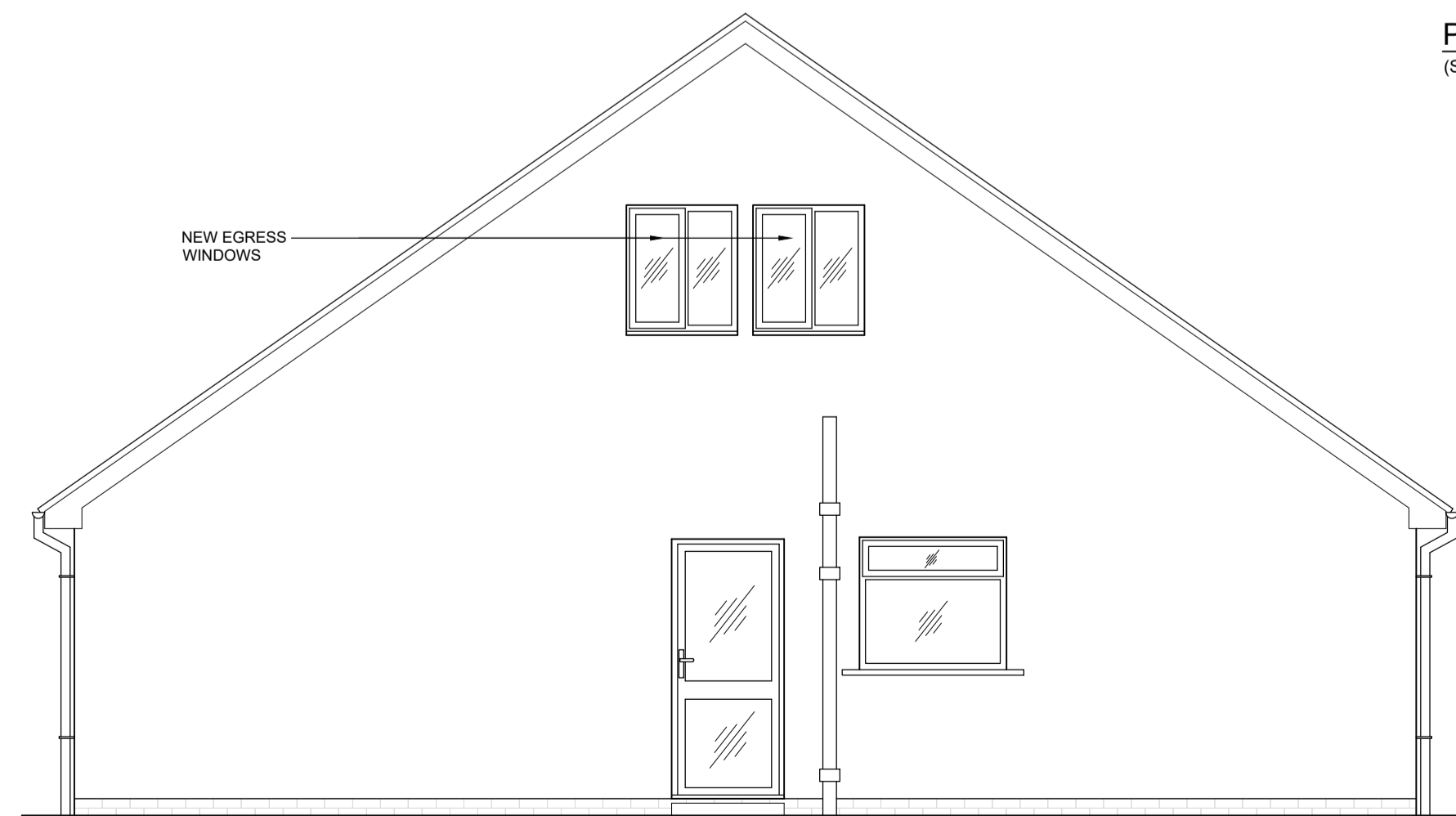
PROPOSED FRONT ELEVATION (SCALE 1:50)



PROPOSED ROOF PLAN (SCALE 1:50)



PROPOSED REAR ELEVATION (SCALE 1:50)



PROPOSED SIDE ELEVATION (SCALE 1:50)

- DO NOT SCALE THIS DRAWING
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 - ALL WORKS TO BE IN ACCORDANCE WITH THE LATEST RELEVANT BRITISH STANDARDS, CODES OF PRACTICE, PROJECT SPECIFICATIONS AND SPECIALIST SUB-CONTRACTORS DETAILS.

FOR LAWFUL DEVELOPMENT CERTIFICATE

Client
 Dilip Gurung Properties Ltd.

Contract
 Proposed Loft Conversion
 19, Brookside Crescent,
 Caerphilly, CF83 1PH

Drawing Title
 Proposed
 Plans & Elevations

Scales @ A1 1:50
 Drawing No. 02
 Drawn Date APRIL 2024