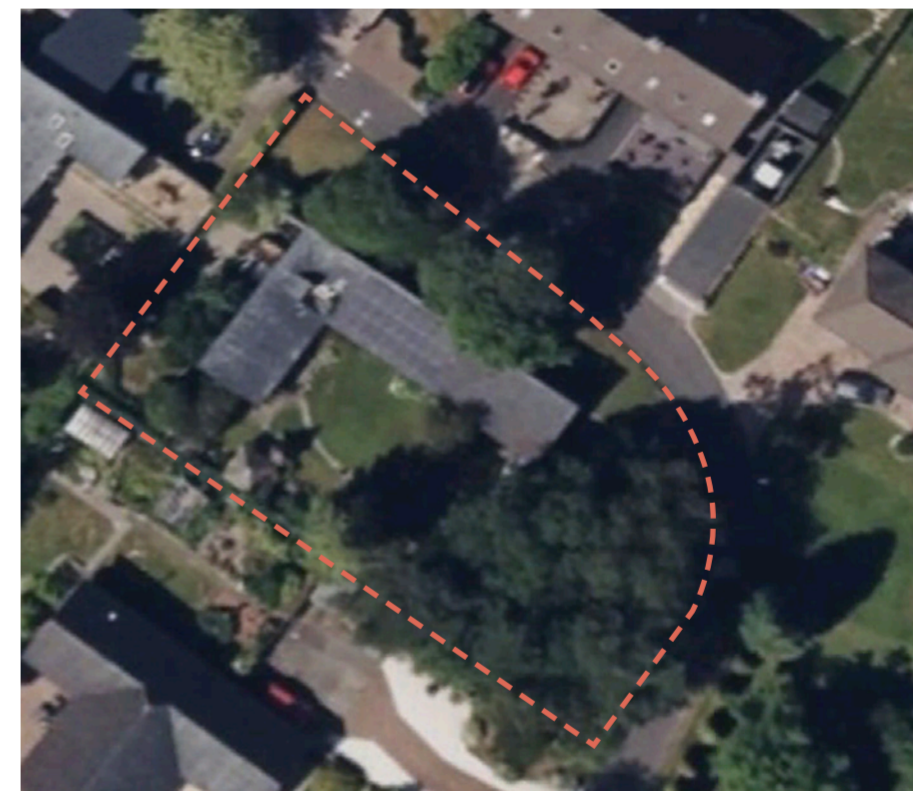
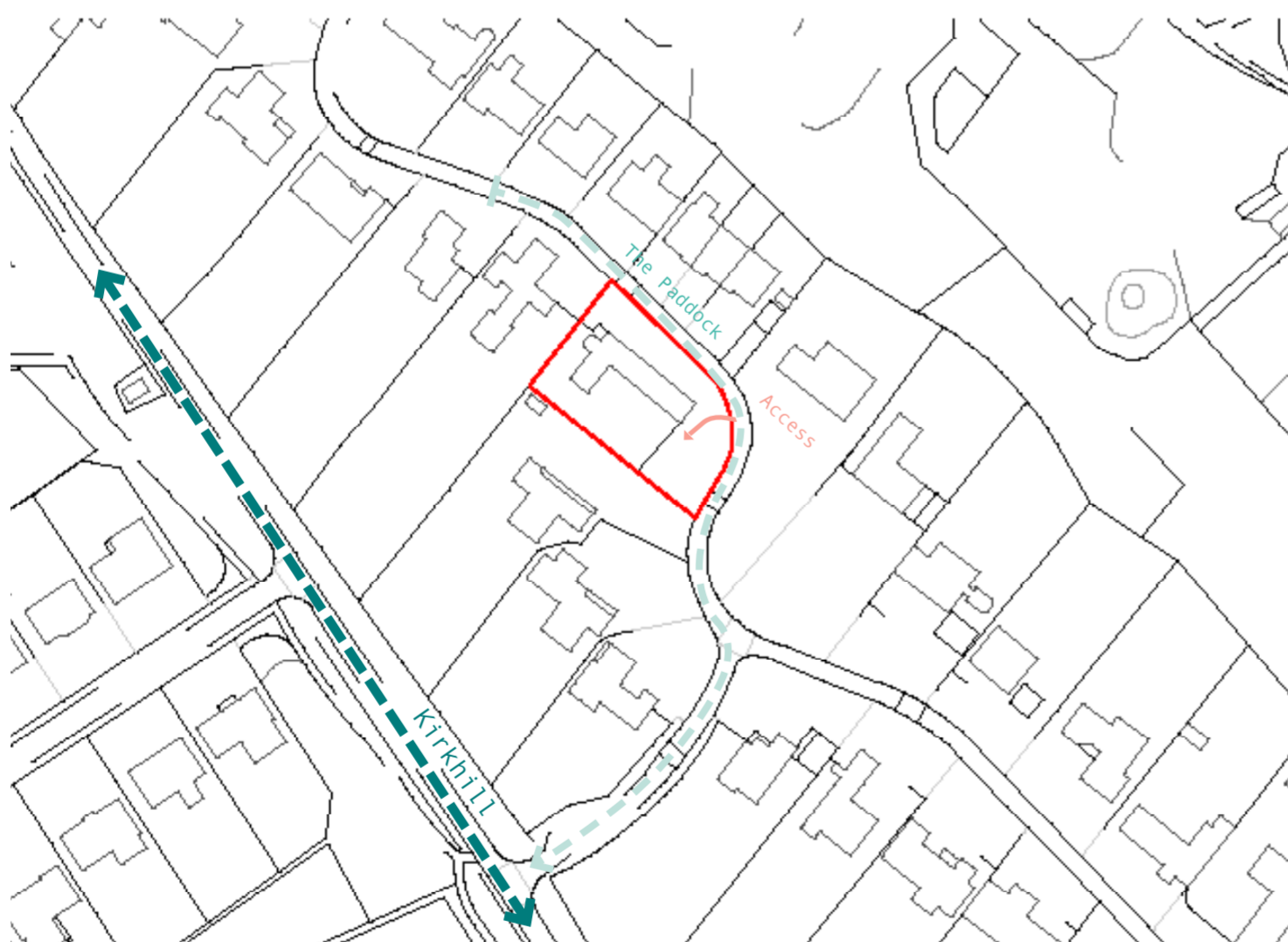


- 4 THE Paddock -

Garden Room for home Working | APRIL 2024

- LOCATION -

IN THE NORTH-WEST OF IRVINE



LOCATION

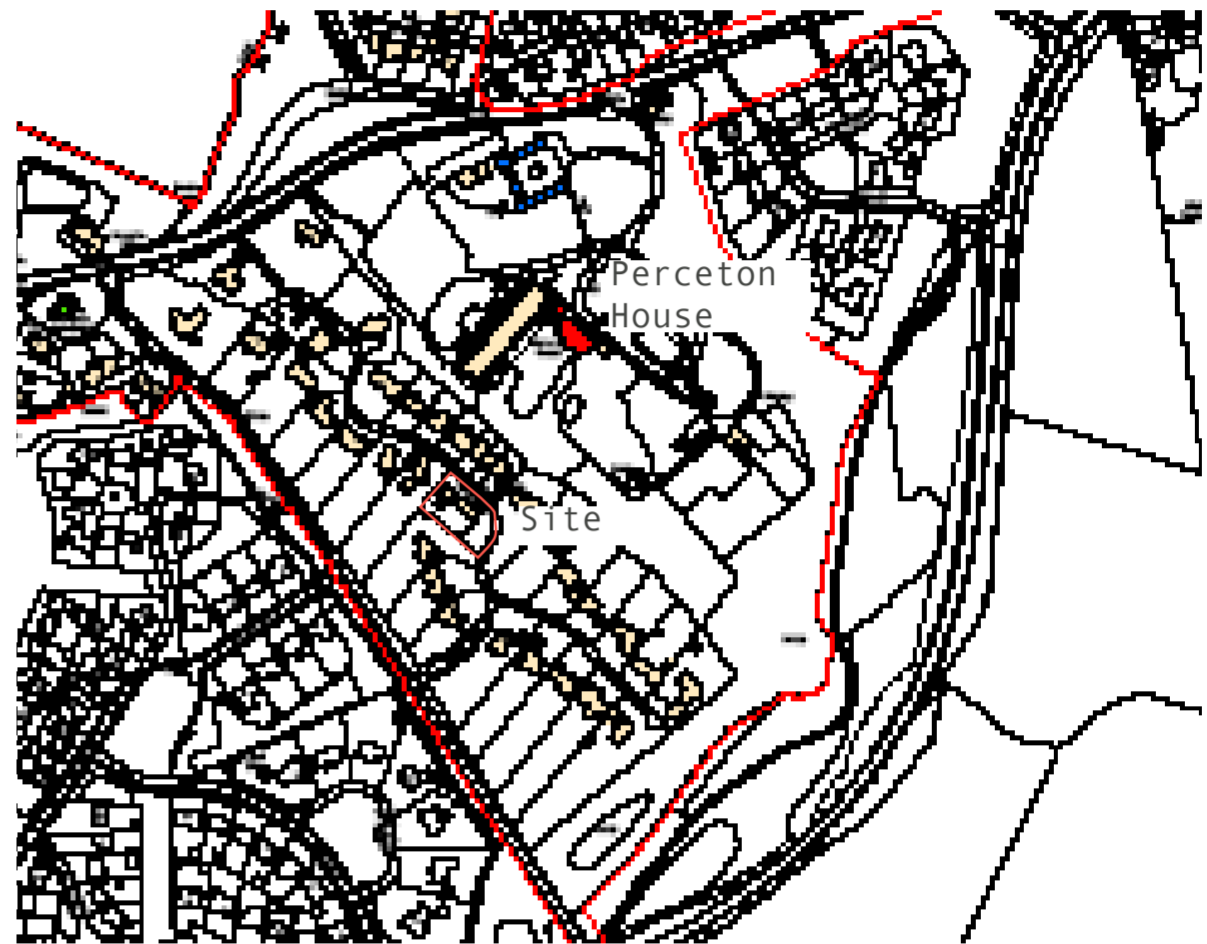
The house is located in Perceton, a previous medieval settlement and old country estate in North Ayrshire.

It is part of a small development of detached properties that is located on previous estate land called 'The Paddock'.

It is directly accessed off the road with a private garden and existing trees to the south, which provide much screening.

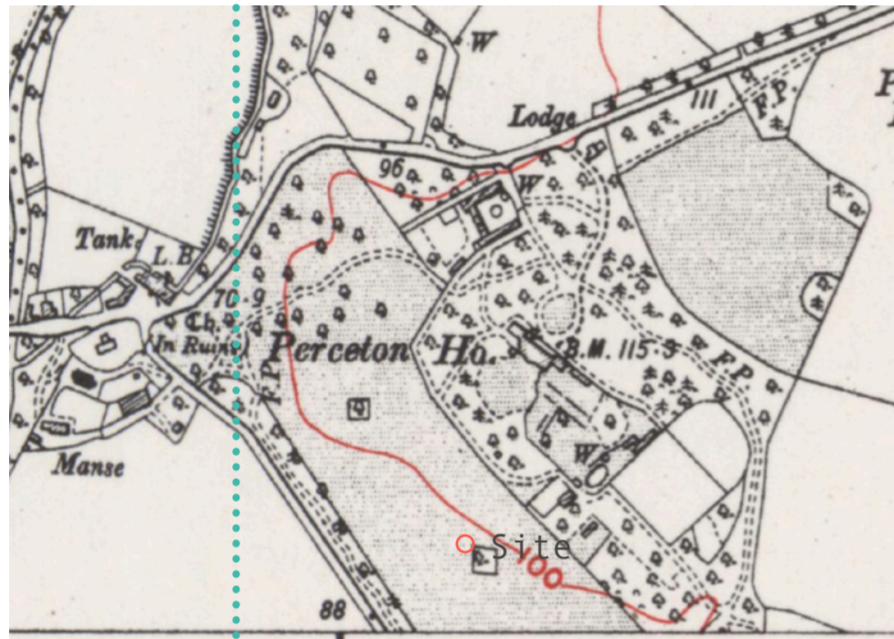
- CONTEXT -

1850s



Extract from the Perceton Conservation Area Map

1950s



Historical image of Perceton House

1970s



Attached 1960s office building

HISTORY

The house is located in close proximity to the grade B listed Perceton House. Perceton House has been demolished and re-built several times over the centuries, with the present version dating back to the 1720s

The materials used on the House are reflected in the surrounding conservation area and developments.

The development was started in late 1977 and represents a time / modern style architecture that has a Scandinavian feel and tectonic language.

Courtyard homes, creating landscape walls, that enclose both home and garden, with floating accommodation and roofs on first floor, with cantilevers all round. This has been respected and utilised in the proposals.



The Paddock development, with contrasting materials to ground and first floor.

- PLANNING CONTEXT -

CONSERVATION AREA

CONSERVATION AREA

The proposal is located within Perce-ton, one of the thirteen conservation areas in North Ayrshire. In said areas consent is required for building extensions, alterations to the materiality of the façade, roof alterations, new windows or doors, new fences etc.

The overarching aim is to facilitate positive change while maintaining and enhancing distinctive landscape character.

This is practised by seeking to minimise adverse impacts through careful planning and design, considering the services that the natural environment is providing and maximising the potential for enhancement

ADVICE NOTES ON WINDOW DESIGN

Unlisted buildings in conservation areas

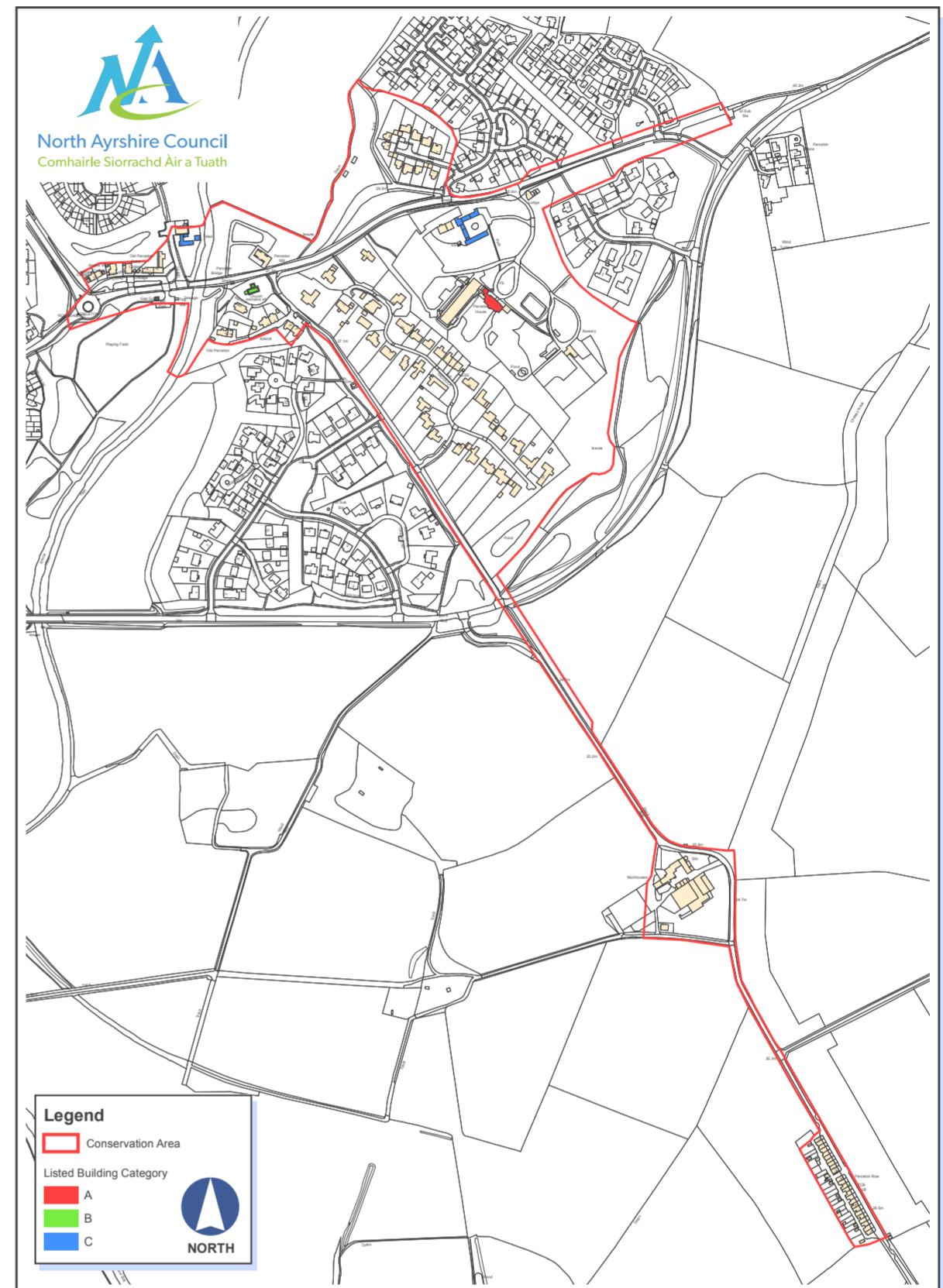
For elevations facing a road or path it is advised that windows replicate the original design, however, modern designs may be appropriate for elevations provided they do not significantly distract from the property's character and the surrounding area.

NATIONAL PLANNING FRAMEWORK (NPF4)

Part 1 - A National Spatial Strategy for Scotland 2045

The rich heritage, culture and natural environment are seen as assets to support the Scottish economy, identity, health and well-being. It is noted and recognised that while this is true not all of Scotland has equal opportunities due to location. Spatial principles are set out to address said issues.

Ensuring the transition to net zero is fair and inclusive for all. Conserve and recycle existing buildings, infrastructure and places to reduce waste and build a circular economy. Ensure all have access to local services, education, green space etc to support the idea of local liveability. Limiting urban growth to optimise land use. Targeted development to create opportunities for communities as well as ensuring sustainable development in high demand areas as well as rural areas to ensure both urban and rural communities are support-



ed.

Part 2 - National Planning Policy

Sustainable Places - Tackling the climate and nature crisis

Natural Places - protect, restore and enhance natural assets

Forestry, woodland and trees - protect and expand woodland and trees, as well as ensuring they are sustainably managed on development sites

Energy - to encourage, promote and facilitate renewable energy development

Zero waste - prioritise the reduction and reuse of materials in construction

Design, quality and place - promote a well designed development by taking a design-led approach and applying the 'Place Principle' in order to deliver healthy, connective and pleasant places

Quality homes - to encourage and facil-

- PLANNING CONTEXT -

NATIONAL PLANNING LEVEL

itate the delivery of high quality homes in the right locations in order to contribute to strengthening the health and well-being of communities.

REGIONAL SPATIAL STRATEGIES

Long term spatial strategies specific to the context of the area. These strategies identify the need for strategic development, the outcomes and contributions of strategic development, the priorities of said development and the proposed locations through mapping and diagramming.

LOCAL PLACE PLANS

Community led plans introduced in 2019. They present the opportunity for communities to directly develop proposals for their local area. This allows communities to contribute to the Scottish planning system on issues that are directly related to their area and the future of their area.

NORTH AYRSHIRE LOCAL DEVELOPMENT PLAN (LDP)

Policy 9: Preserving and Enhancing our Conservation Areas

Development within a conservation area will be supported providing it remains appropriate scale, proportion, siting, massing, design and use of materials. Said development should also preserve or positively enhance its character and appearance. Any proposal should include interim landscaping or screening of the site. Work to trees within the area will be supported if they are part of tree management, trees not of material value to the area (i.e small trees, trees not visible to neighbours or remotely located trees).

NATIONAL PERFORMANCE FRAMEWORK

- Focuses on developing a successful Scotland with increased opportunities for all through a focus on wellbeing and sustainable and inclusive economic growth.
- It sets out the society's values in order to practice kindness, compassion and respect for the law.

- Some of the main values include: developing inclusive, safe and empowered communities, respecting the environment and all of the opportunities to enhanced enjoy and protect it, valuing the way in which people brought up in order to become educated, skilled, respectful contributors to society, maintaining a healthy and active lifestyle, expressing and enjoying a multitude of diverse cultures and protecting human rights.

LOCAL DEVELOPMENT PLANNING GUIDANCE

Although focus is placed on national policy it can become specific to local policies and targeted towards local issues and context. They should be relevant to the specific place and people as well as being realistically deliverable. This is achieved through adhering to the below policies:

- Place based; a collection of site specific briefs and masterplans, minimal policy wording and a direct local address to the global climate emergency and nature crisis
- People centred; the primary focus is on people and communities and how their needs are met and inequalities are tackled. This is addressed through the collaborative effort in preparing policies
- Delivery focused; achieving outcomes through an 'infrastructure first' approach in order to deliver sustainable development.



- PROJECT BRIEF FOR THE HOME -

PROVIDE A HOME FOR THE FAMILY

BRIEF

At present, the existing home does not meet the requirements or serve the needs of the clients; a young family with three children. They want to stay in the area. The limitations of the existing house means there is a lack of opportunity for any future growth. This includes the spatial constraints presented by the limited first floor as well as the current lack of future proofing in terms of sustainability. The existing house does not adhere to good passive principles.

PROPOSED MODIFICATIONS:

- VOLUME - maintaining the net volume through reducing the internal floor area of the first floor which resulted in an allowance for increased headroom. The massing allows for stacked ventilation to occur creating an intentional flow of air through the home
- FIRST FLOOR OVERHANG - the overhang provides solar shading from the summer sun, while still allowing for winter sun to enter the ground floor. It also creates a shelter to protect the ground floor from rain
- SECONDARY LIGHT - rooflights on the first floor let in additional natural light
- DRAINAGE - the addition of a green roof mitigates the current issue of the fast drainage of water off of the roof through offering an alternative method of drainage
- PV PANELS - addition of PV Panels as a sustainable source of generating energy
- DRIVEWAY - Increase the length of the driveway

Family needs

Passive design

Future energy

Biodiversity increase

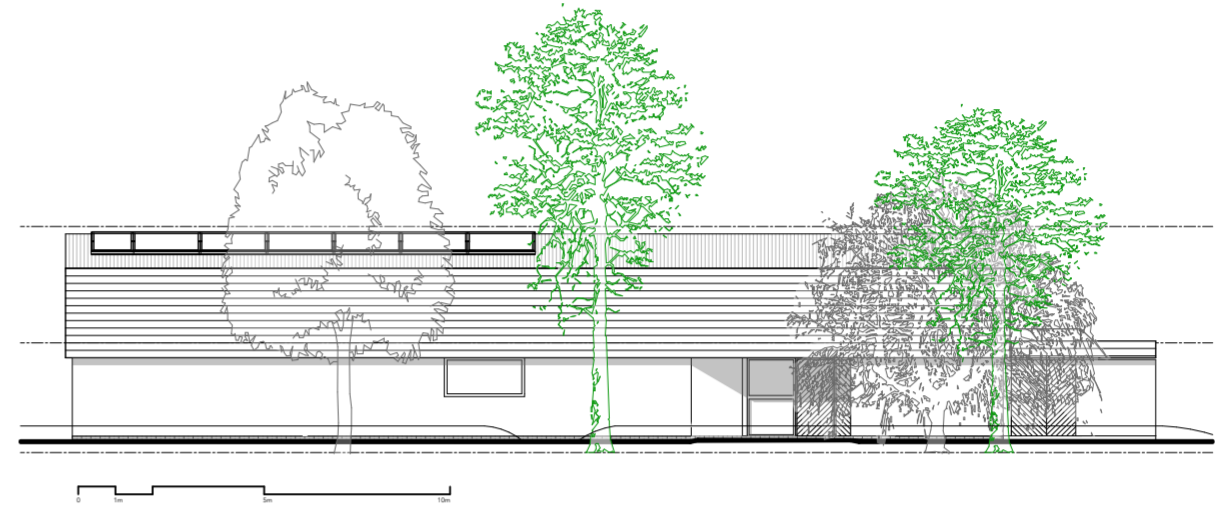
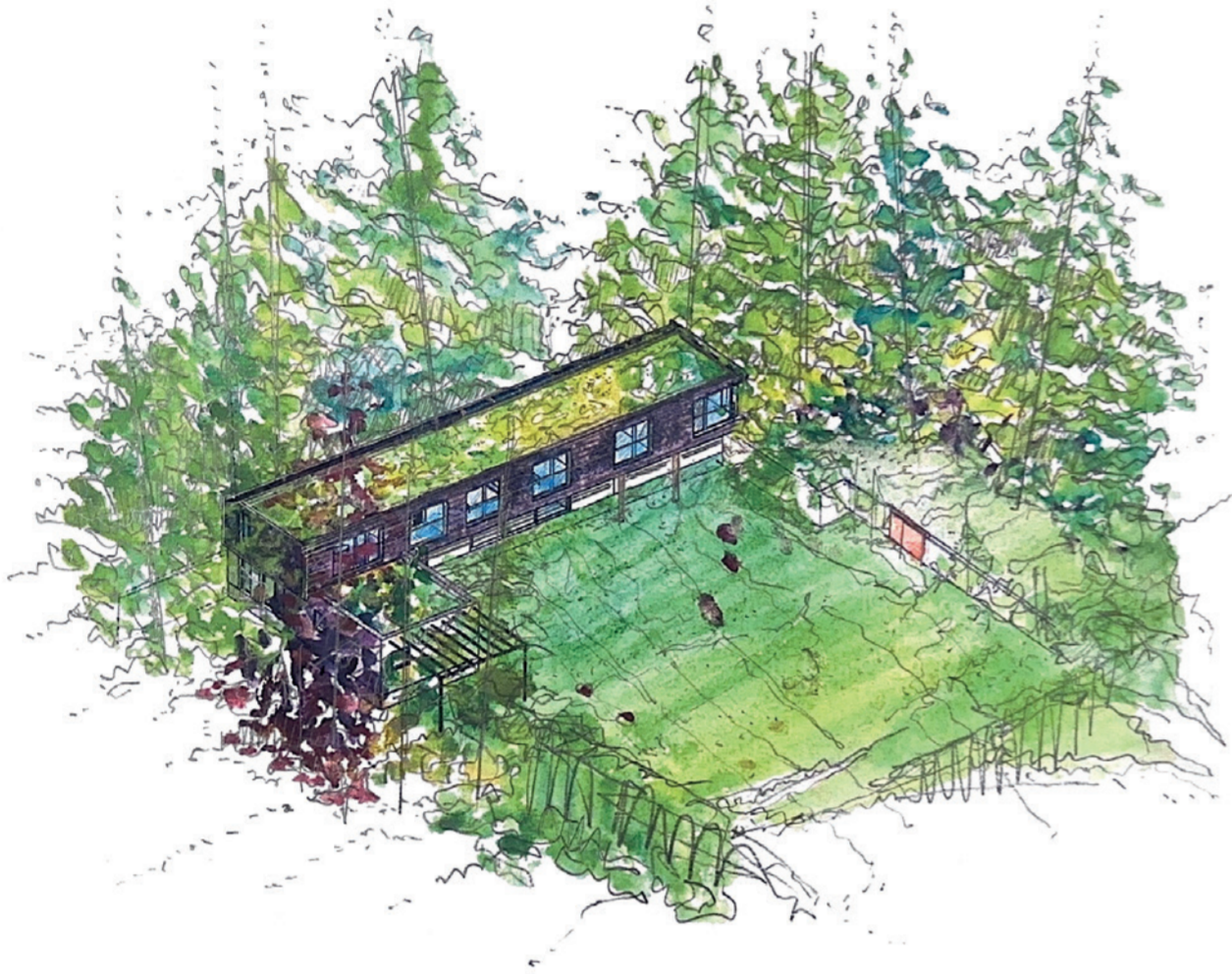
Tectonics

NOTE: Planning Permission was granted on 10.10.2023

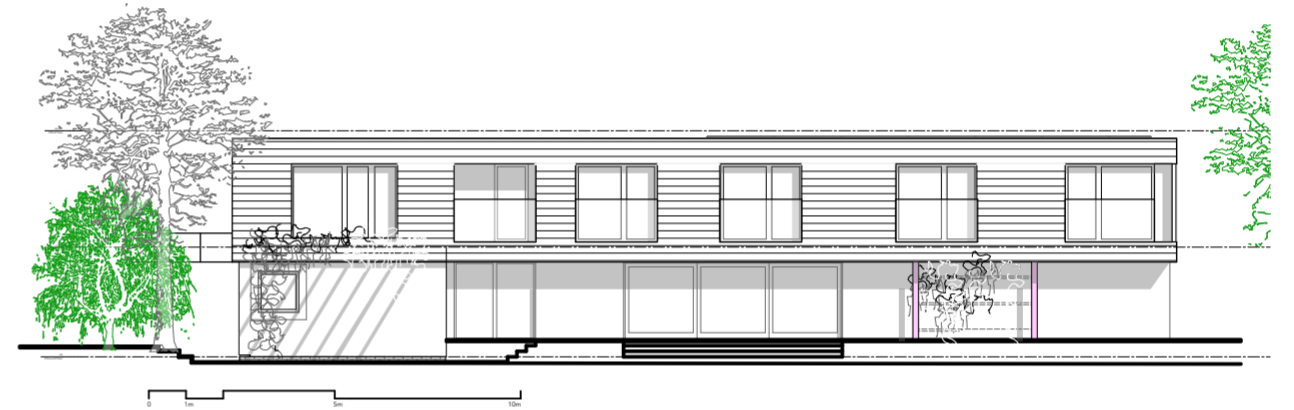
No N/23/00694/PP

- APPROVED SCHEME -

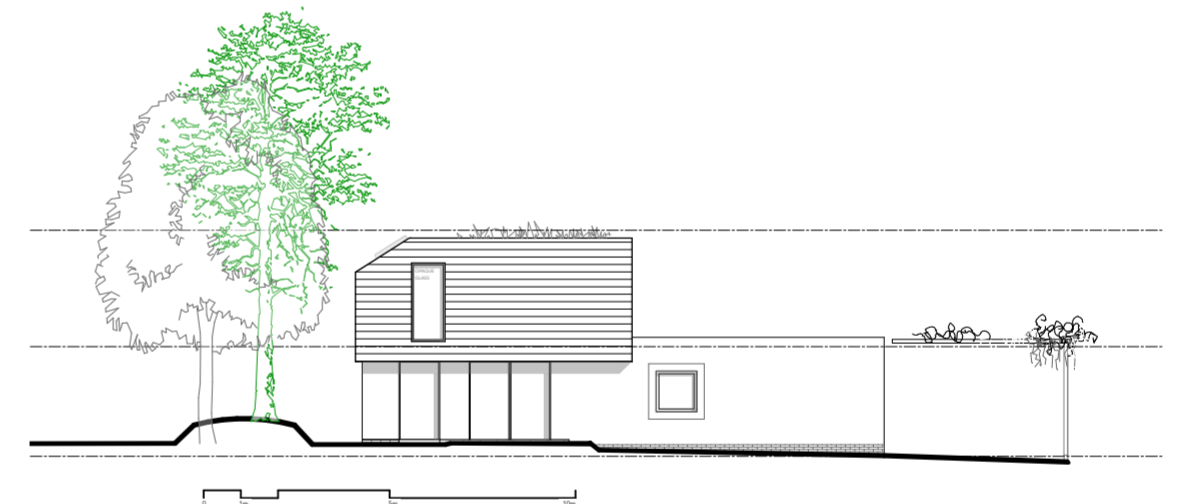
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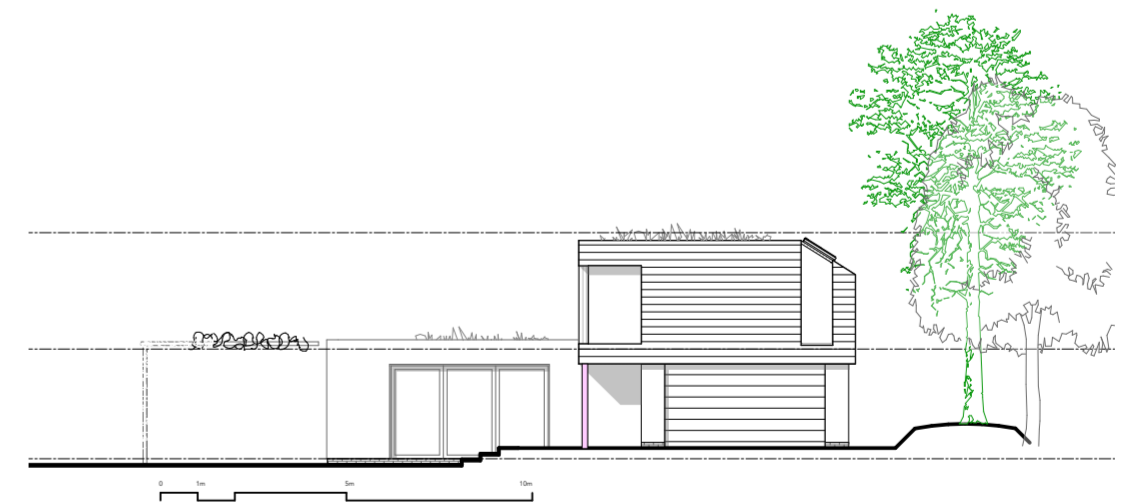
Proposed Front Elevation



Proposed Rear Elevation



Proposed Side Elevation



Proposed Side Elevation

DESIGN AIMS

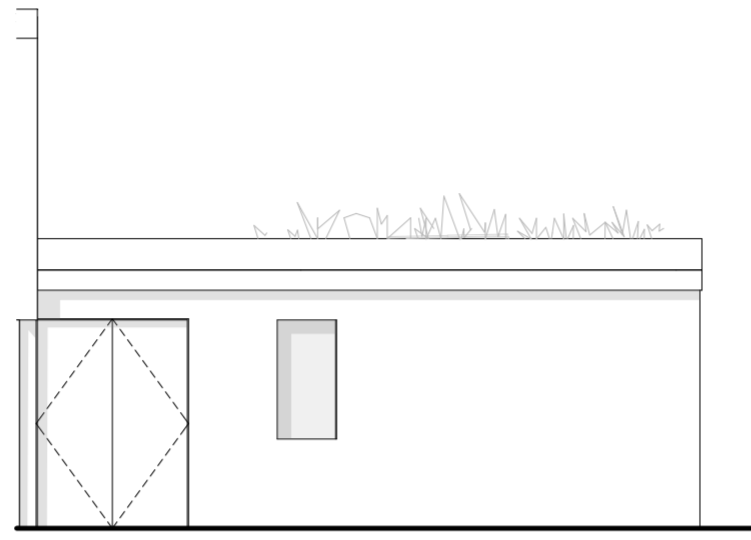
At present, the existing home does not meet the requirements or serve the needs of the clients; a young family with three children. The limitations of the existing house means there is a lack of opportunity for any future growth. This includes the spatial constraints presented by the inaccessible first floor as well as the current lack of future proofing in terms of sustainability. The existing house does not adhere to passive design principles.

NOTE: Planning Permission was granted on 10.10.2023

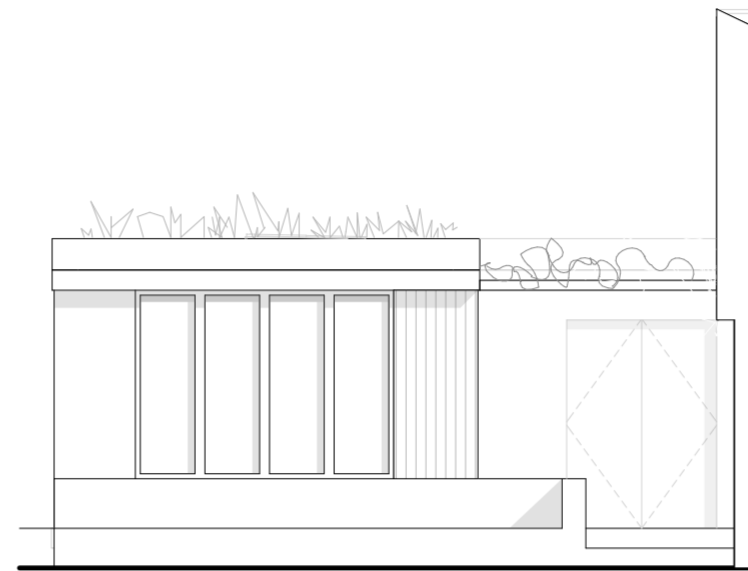
No N/23/00694/PP

- GARDEN ROOM DESIGN PROPOSALS -

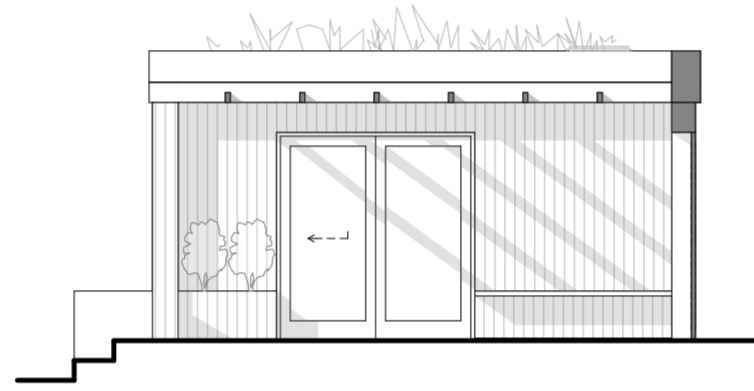
PLANS AND ELEVATIONS



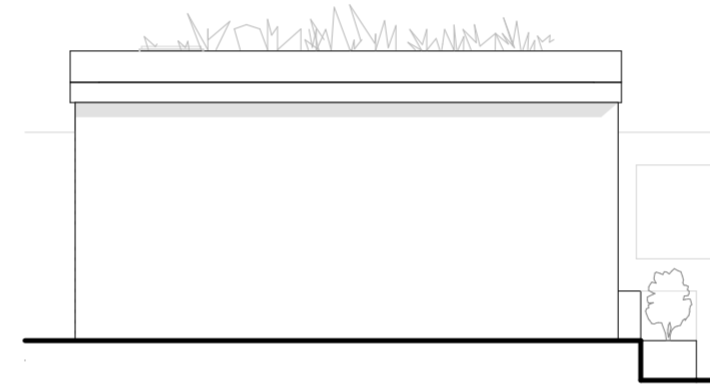
Proposed Front Elevation



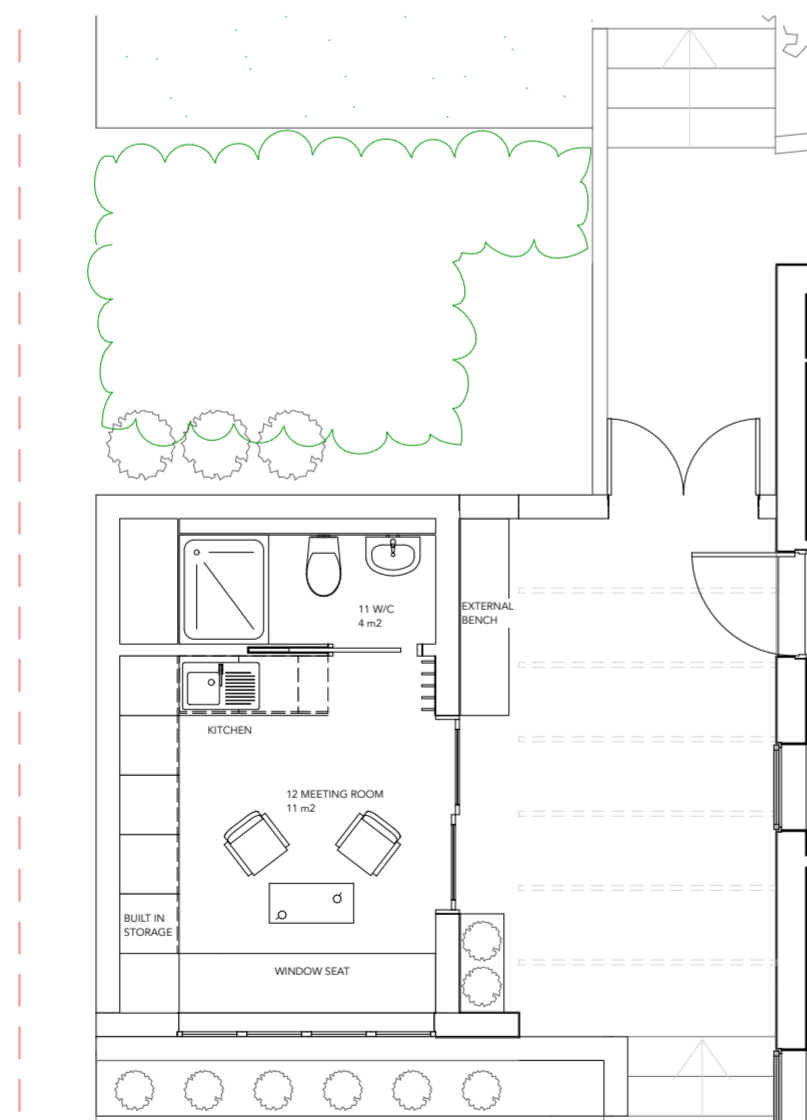
Proposed Rear Elevation



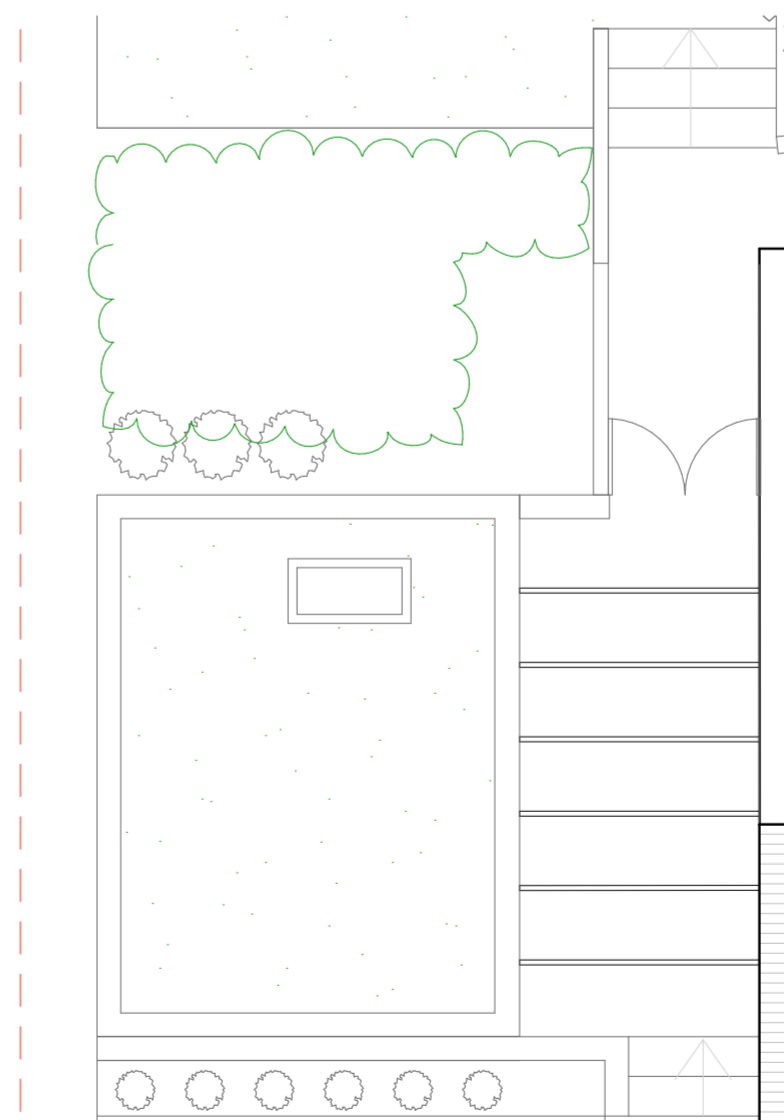
Proposed side Elevation



Proposed side Elevation



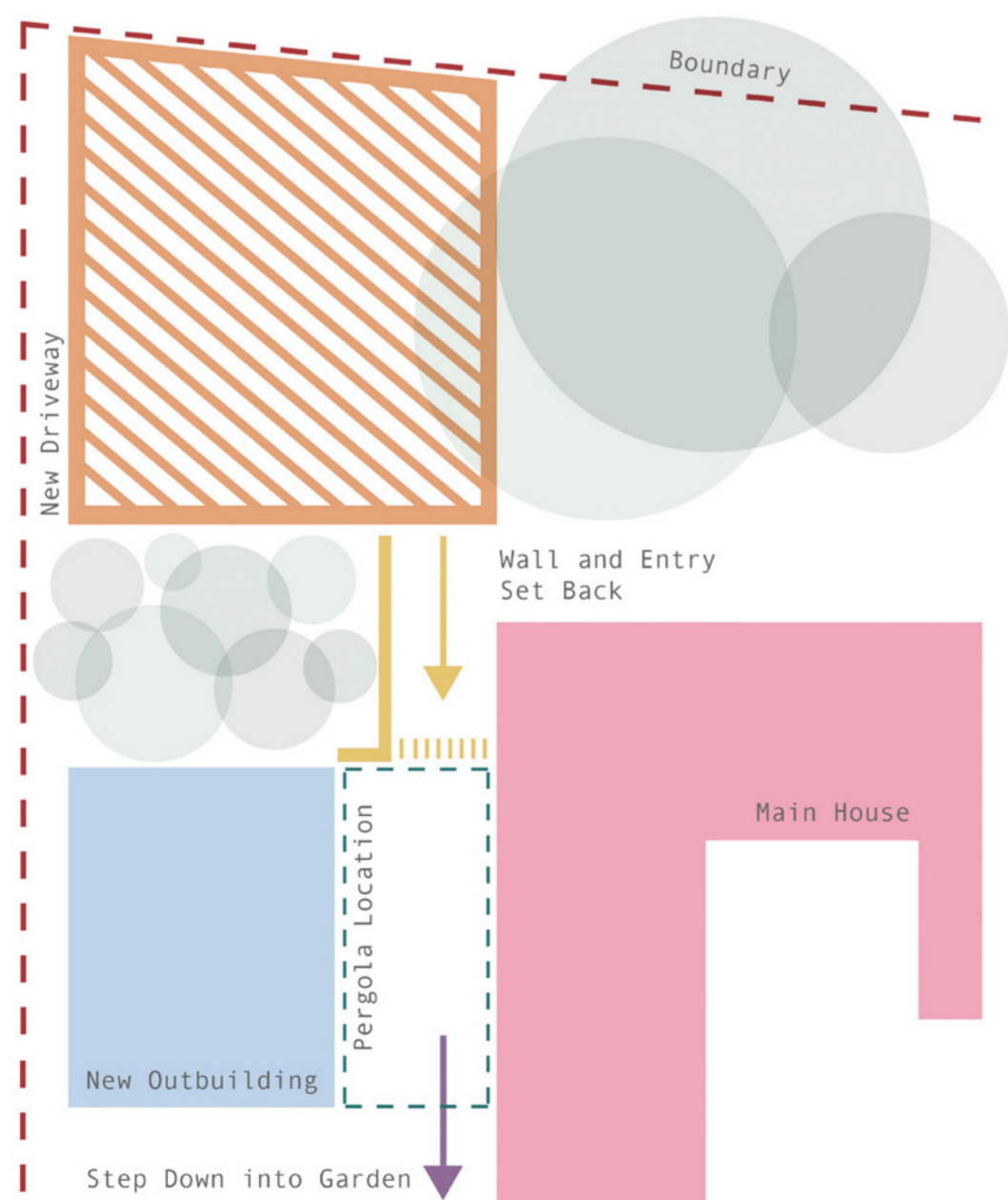
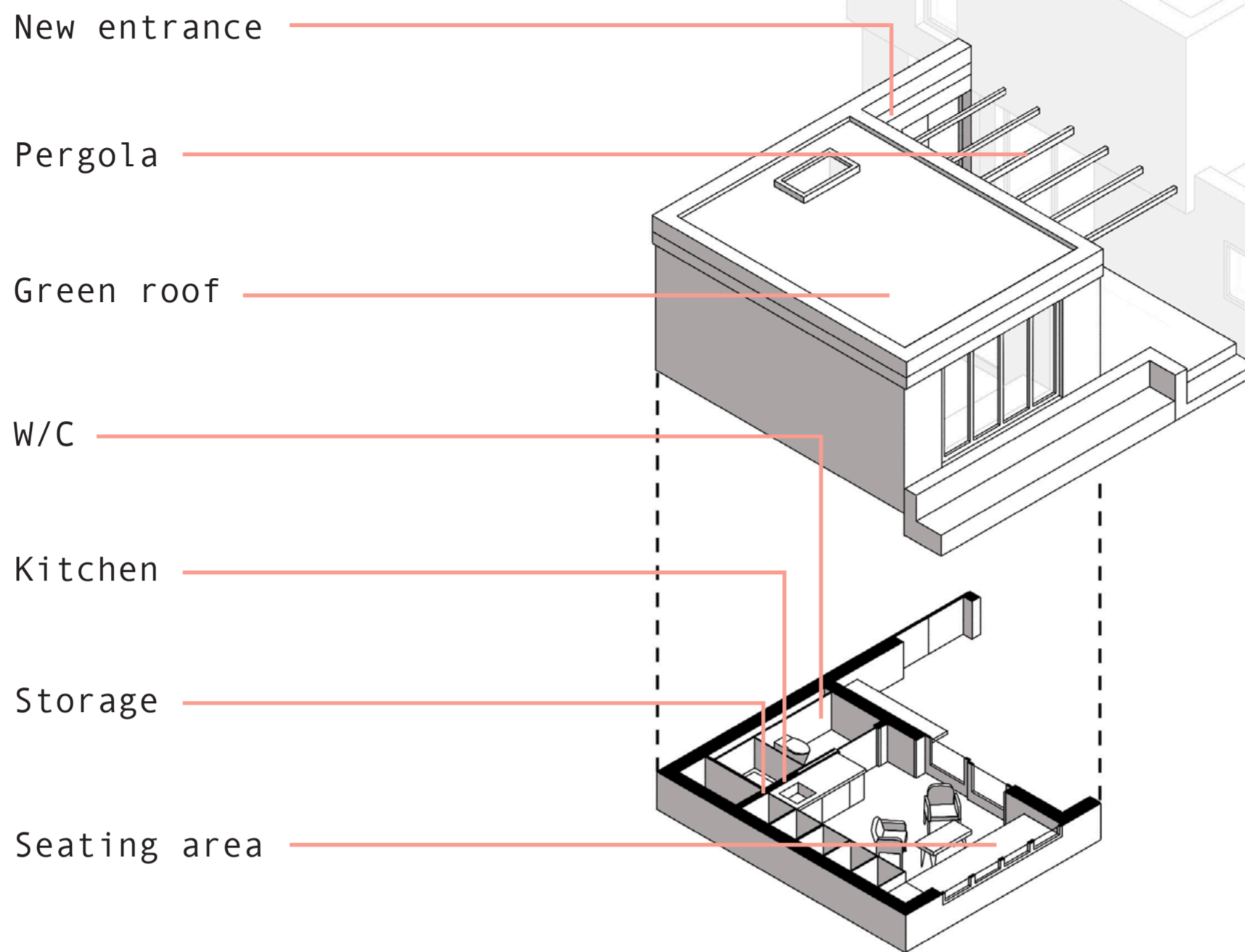
Proposed floor plan



Proposed roof plan

- DESIGN PROPOSALS -

PLANS AND ELEVATIONS



Concept diagram

BRIEF

The client would like a place separate to the main house where she will be able to meet with her clients. She is a counsellor and requires a space where she and her clients will feel safe and comfortable. As an additional feature, the client wants a new driveway for clients and guests. This is set to the North of the site and has a clear connection to the new outbuilding. Internally the client requested ample storage, a toilet with a shower, a small kitchen and a comfortable seating area to talk with clients.

- DESIGN PROPOSALS -

PLANS AND ELEVATIONS

THE PROPOSAL

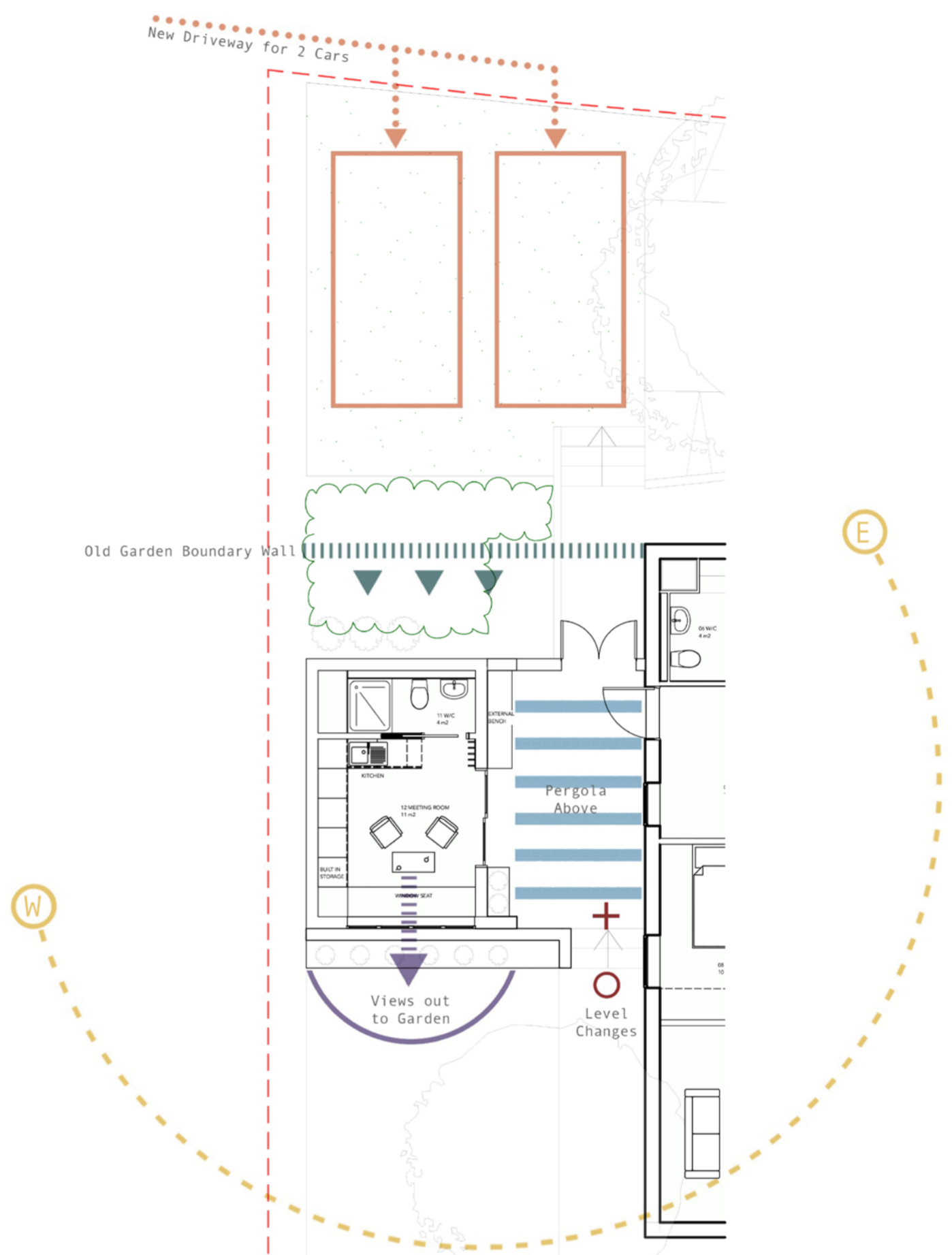
The proposed outbuilding, while separate to the main house, is highly complementary to the main house design by following the same design principles.

The design is sympathetic to the existing elevation. It is reflective of the existing garden wall in terms of materiality and form so not to alter the front elevation drastically.

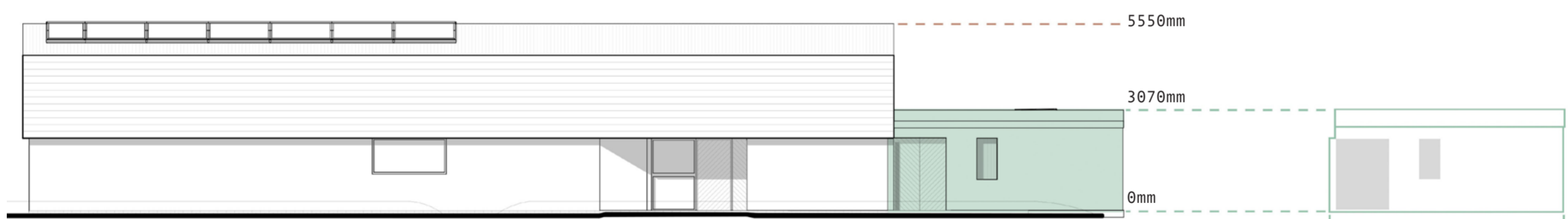
The outbuilding is set back 2300mm from the existing garden wall and is 370mm higher. The external mass of the outbuilding will be extended to the house to create a new garden wall. This will have similar gates to the existing as well as an opening acting as a window for the client to see visitors approaching.

The landscaping will also be enhanced with a pergola and overhang creating an external planting and seating area.

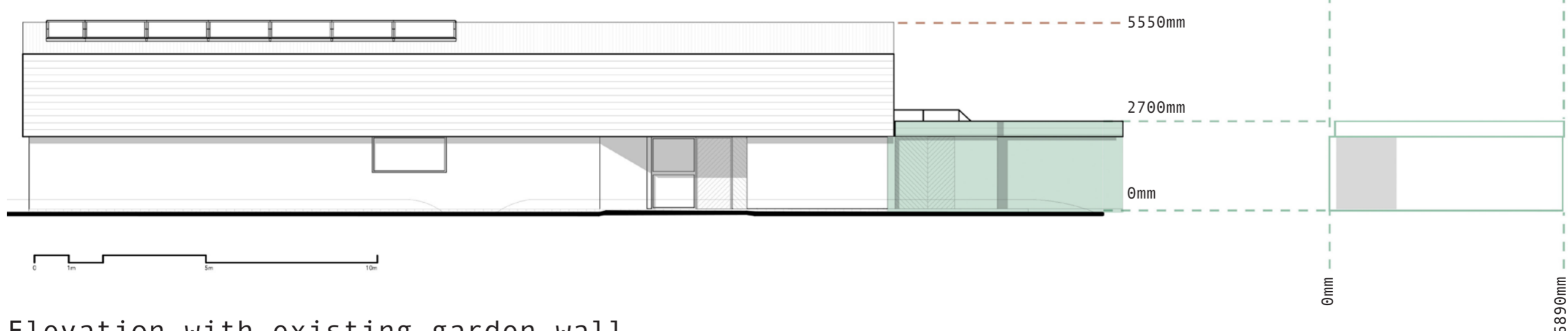
The new path will step down into the garden with additional planting creating an appealing view out of the garden room.



Plan analysis



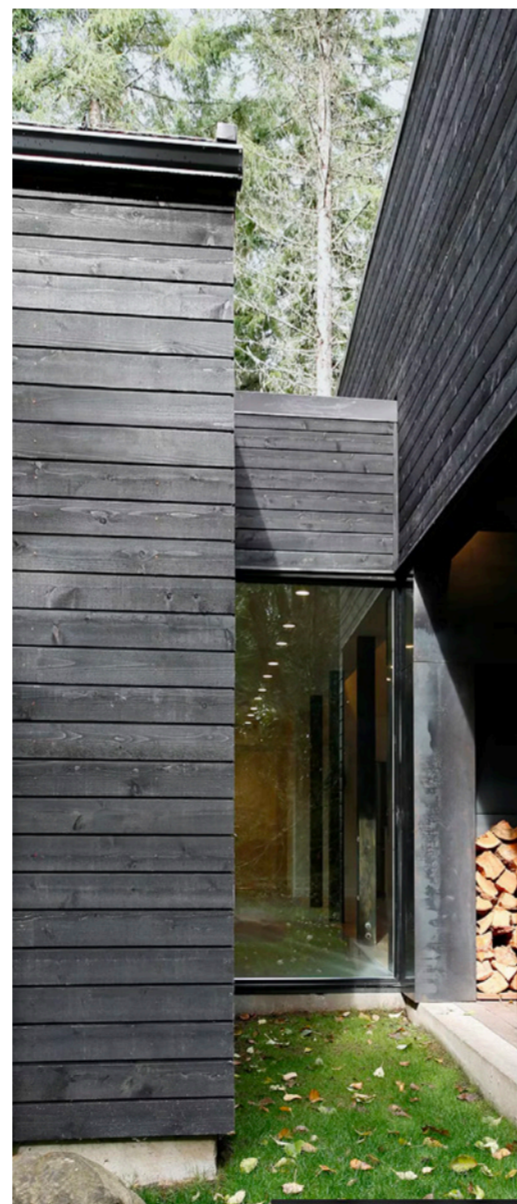
Elevation with proposed garden room



Elevation with existing garden wall

- PRECEDENTS -

MIRRORING THE HOME



- PRECEDENTS -

MODERNIST APPROACH



Maintaining the character of the existing house and adding to it

