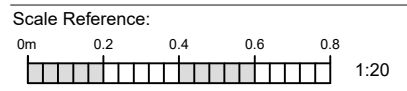


No allowance has been made for ground conditions. Contractors to check all dimensions prior to commencement of works. Note: Final floor and roof levels may vary due to Building Regulations or Engineering Requirements. Location of Electricity, Water, Gas and Telecoms to be determined by contractor on site. Drainage is unchecked, prior to commencement all drainage should be identified on site. No allowance has been made for structural requirements, Engineers to design structure at Building Regulations Stage.

Scale as indicated @ **A2**

ORIGINAL DRAWING SIZE : A1



All details shown on this drawing are based upon typical site conditions related to the area. No responsibility can be accepted for abnormal conditions unless reported to Pollard Architectural Ltd, so that design amendments may be considered.

Plans and Notes contained herein are for Planning and Building Regulations Approvals only. Plans and Notes are offered only as a guide to the Contractor, variations and alterations must be approved with Building Control. All figured dimensions are in millimetres unless otherwise stated.

The Builder/Developer will be ultimately responsible for ensuring that all construction is in accordance with the Approved Planning Permission and Building Regulations including any Conditions, relevant Trade and Professional Standards, Statutory requirements and product manufacturers' specifications, British Standards and Codes of Practice.

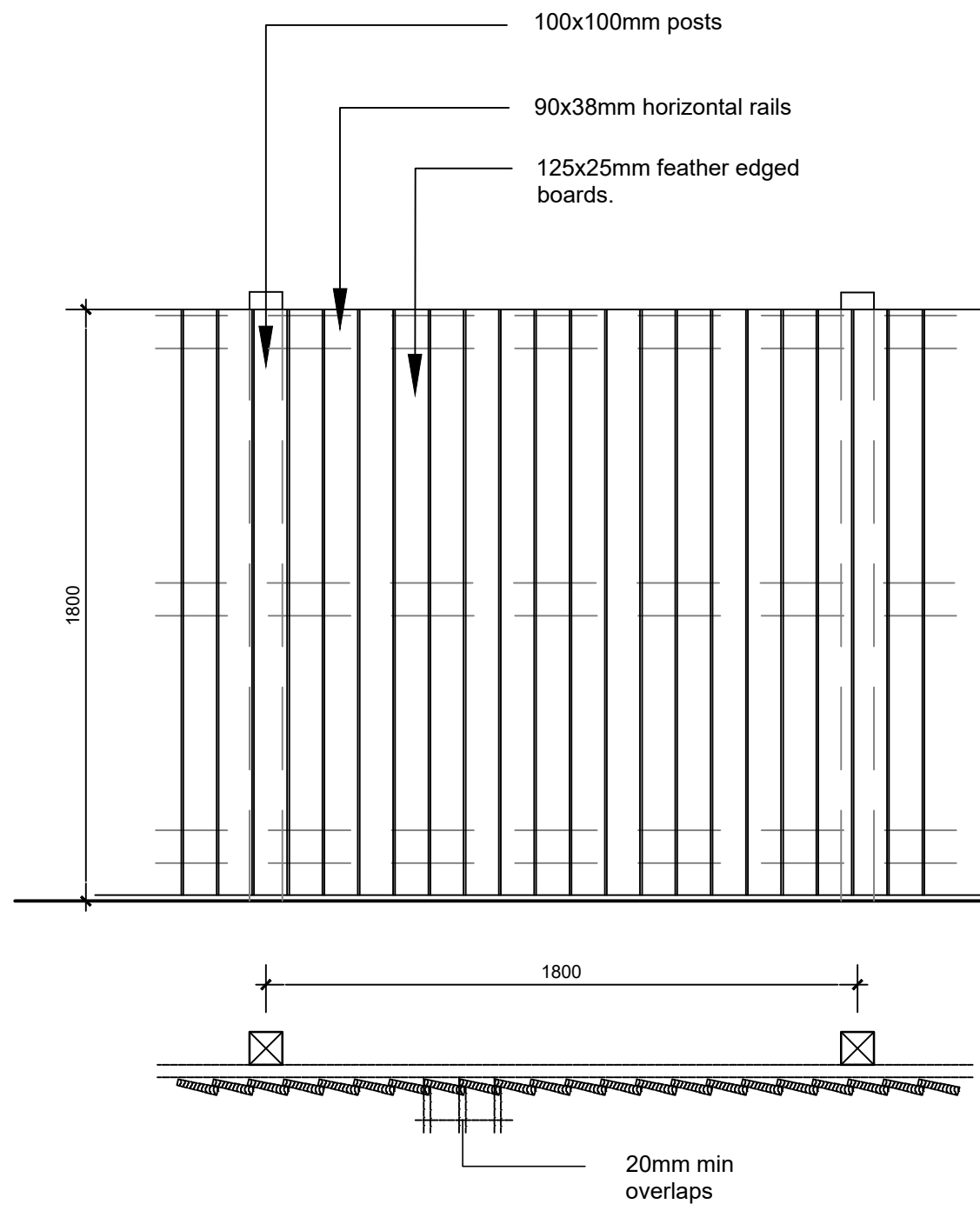
Position of all existing boundaries, walls, utilities, drains etc. (particularly in relation to the building) to be checked on site before start of any construction or ordering of any materials.

N.B. The "owner" of the building to which this application relates carries the legal responsibility for any Building Regulation Faults

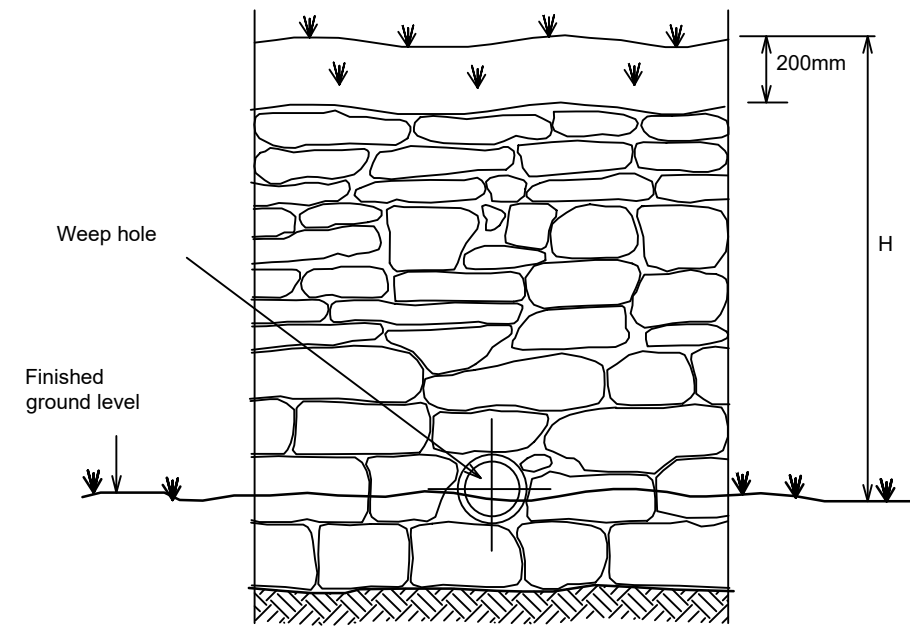
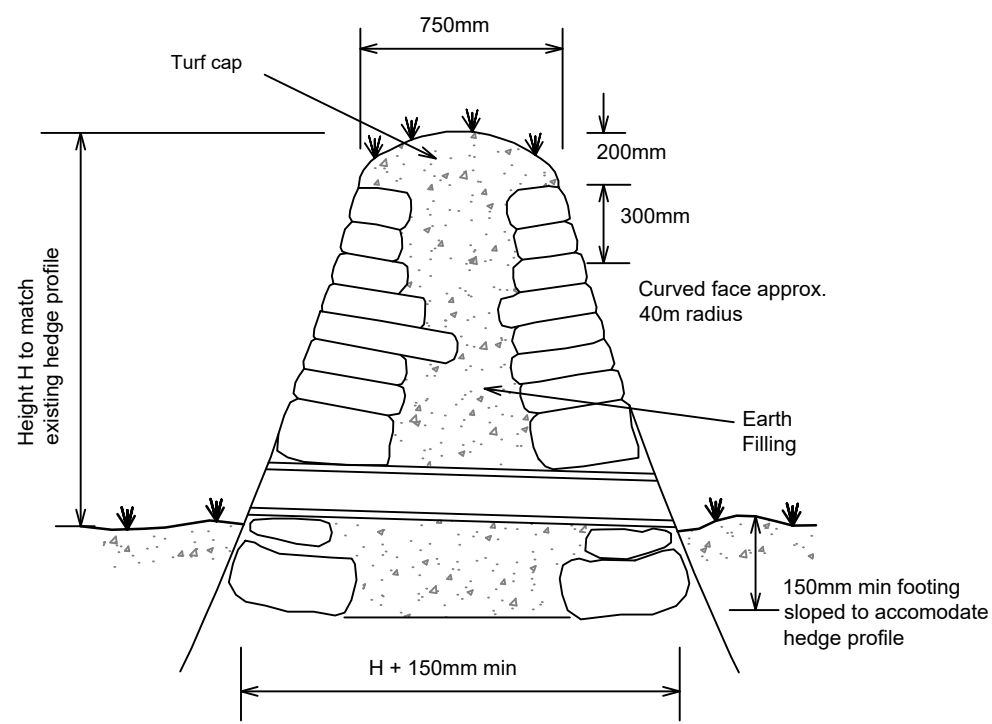


NOTES / REVISIONS

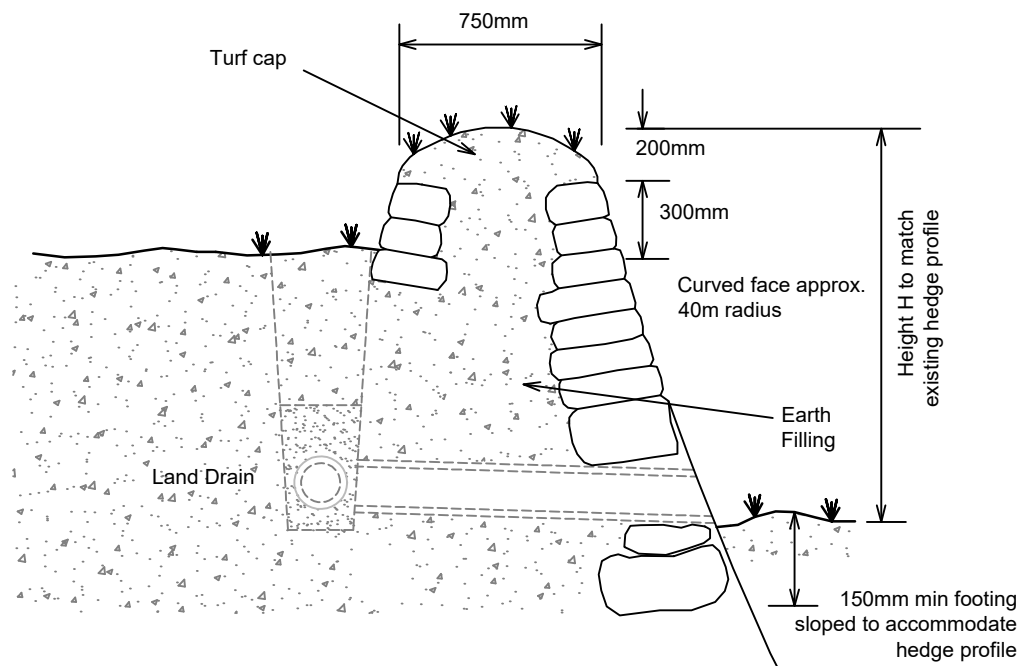
REV	DATE	NOTES



TIMBER SEPARATING FENCE DETAIL SCALE 1 : 20



HEDGE/BANK DETAIL N.T.S.



Native Hedge/Bank

- * Native Hedge/Bank to be finished to match that of existing hedge/banks on adjacent land.
- * Individual stone sizes should match those of the existing hedge/banks.
- * Stones shall be laid with bedding planes horizontal and with all stones lead bearing. Perpendicular joints in adjacent courses are to be staggered by at least 100mm with larger stones in the lower courses. Bonding stones shall be laid at one per 1.0 square metre of hedge (on the face of the hedge).
- * The heart of the hedge and any over excavation behind the facing stone shall be filled with suitable damp cohesive subsoil well punned in 150mm layers as the facework proceeds. A turf cap shall be fitted.
- * The hedge height shall be set with a tolerance of 200mm to that of the retained hedge to allow a flowing vertical alignment.
- * Weepholes to be provided at all low points and additionally at 10m nominal spacing. Pipes to be 150mm diameter Class L concrete to BS 5911 laid to fall to suit existing ground levels. (Minimum 1 : 50)
- * Ends of hedges to be vertical faced with stone.

Do not scale for construction purposes. This drawing is copyright © 2024 and may not be altered, traced, copied, photographed or used for any purpose other than that for which it is issued without the written permission of Pollard Architectural Ltd. The Contractor is to check all dimensions, levels and angles on site prior to commencement of works. Any discrepancy or query to be reported and clarified before associated work proceeds.

NB. No works shall commence without Planning and/or Building Regulations Approvals firmly in place.

First Floor
5 Barras Street
Liskeard
Cornwall
PL14 6AD



email: info@pollardarchitectural.co.uk
website: www.pollardarchitectural.co.uk
tel: 01579 347361

client
Mr C K Gubbin

job description
Single Dwelling Option Plot 18
(formerly plots 18 and 19)

job location
Blacksmiths Meadow, Coads Green
Launceston, Cornwall, PL15 7FF

date 17-12-2023 drawn J. Pollard ACABE ACIOB
scale As Stated @ A2 drawing no. 2406-08

PLANNING APPLICATION