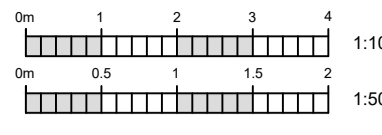


No allowance has been made for ground conditions.  
 Contractors to check all dimensions prior to commencement of works.  
 Note: Levels indicated AFL are assumed finished floor levels. Final floor and roof levels may vary due to Building Regulations Requirements.  
 Location of Electricity, Water, Gas and Telecoms to be determined by contractor on site.  
 Drainage is unchecked, prior to commencement all drainage should be identified on site.  
 No allowance has been made for structural requirements, Engineers to design structure at Building Regulations Stage.



All details shown on this drawing are based upon typical site conditions related to the area. No responsibility can be accepted for abnormal conditions unless reported to Pollard Architectural Ltd, so that design amendments may be considered.

Plans and Notes contained herein are for Planning and Building Regulations Approval only. Plans and Notes are offered only as a guide to the Contractor, variations and alterations must be approved with Building Control. All figured dimensions are in millimetres unless otherwise stated.

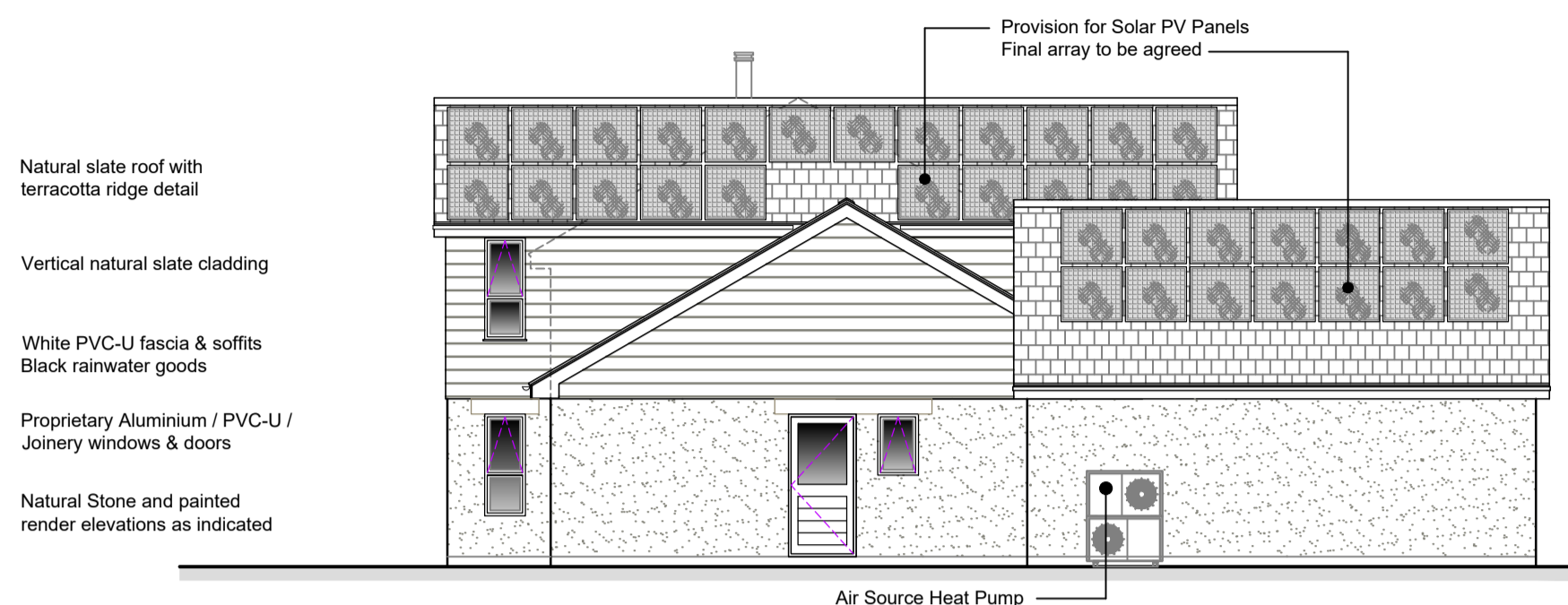
The Builder/Developer will be ultimately responsible for ensuring that all construction is in accordance with the Approved Planning Permission and Building Regulations including any Conditions, relevant Trade and Professional Standards, Statutory requirements and product manufacturers specifications, British Standards and Codes of Practice.

Position of all existing boundaries, walls, utilities, drains etc. (particularly in relation to the building) to be checked on site before start of any construction or ordering of any materials.

N.B. The "owner" of the building to which this application relates carries the legal responsibility for any Building Regulation Faults.



REV	DATE	NOTES
A	17-04-2024	REVISED FURTHER TO LA COMMENT



PROPOSED SOUTH EAST ELEVATION  
SCALE 1 : 100



PROPOSED NORTH EAST ELEVATION  
SCALE 1 : 100



IMAGE 3 - COMPOSITE FRONT DOOR  
\*Indicative Only\*

**MATERIALS:** Beams should be made of waterproofing material, such as wood or 'wooden'. Beams made from the wood, plastic, metal or solid concrete may overheat, which is dangerous for birds.

**WATERPROOF:** Make sure that water cannot get into the box where the roof is fixed.

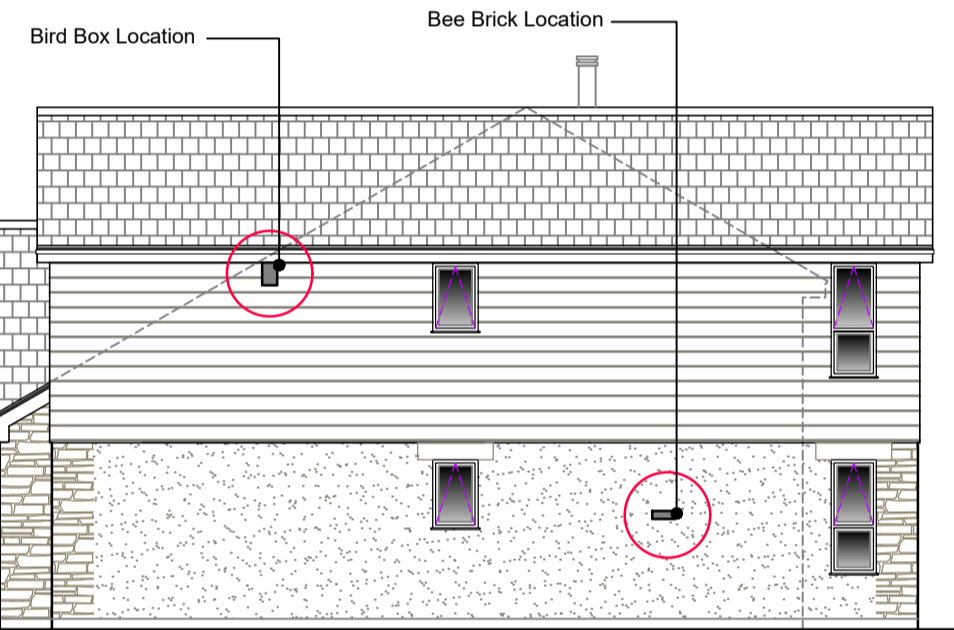
**WALLS:** Fix walls should be attached to roof back to provide adequate insulation. Beams should ideally look natural or inconspicuous.

**OPENING HOLES:** A roof that can be drilled will allow access for clearing and roof maintenance. An overhanging roof will make it harder for cats to reach in.

**HOLE LOCATION:** The hole should be at least 12cm above the floor of the box to prevent predators reaching in.

**BOX SIZE:** The inside cavity should be a minimum of 10cm across, and the floor should have small drainage holes in case water gets in.

IMAGE 1 - BIRD BOX \*Indicative Only\*



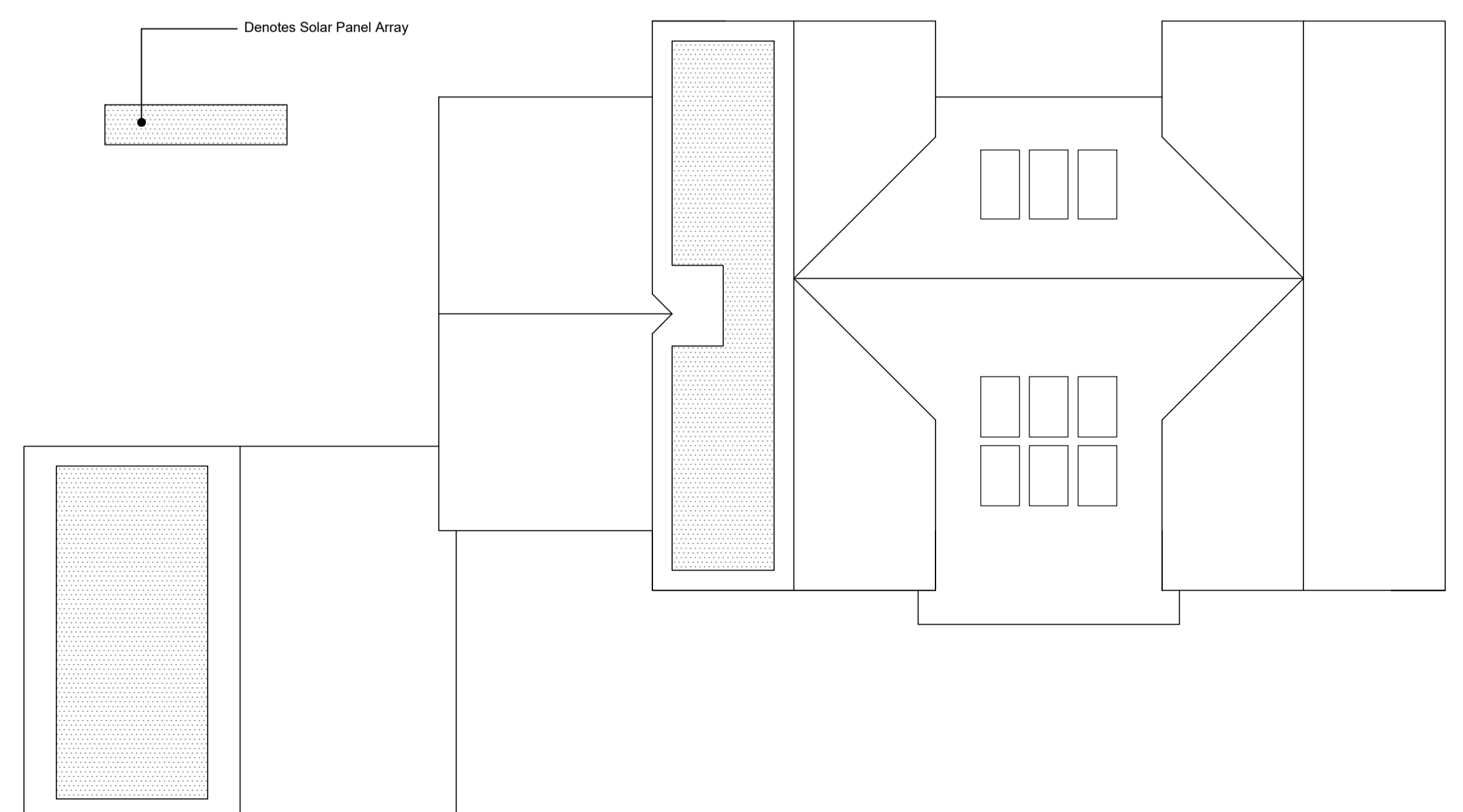
PROPOSED NORTH WEST ELEVATION  
SCALE 1 : 100



IMAGE 2 - BEE BRICK \*Indicative Only\*



PROPOSED SOUTH WEST ELEVATION  
SCALE 1 : 100



ROOF LAYOUT PLAN  
SCALE 1 : 100

Do not scale for construction purposes. This drawing is copyright © 2024 and may not be altered, traced, copied, photographed or used for any purpose other than that for which it is issued without the written permission of Pollard Architectural Ltd. The Contractor is to check all dimensions, levels and angles on site prior to commencement of works. Any discrepancy or query to be reported and clarified before associated work proceeds.

**NB. No works shall commence without Planning and/or Building Regulations Approvals firmly in place.**

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client: Mr C K Gubbin

job description: Single Dwelling Option Plot 18 (formerly plots 18 and 19)

job location: Blacksmiths Meadow, Coads Green  
Launceston, Cornwall, PL15 7FF

date: 17-12-2023  
 scale: As Stated @ A1  
 drawn: J. Pollard  
 drawing no: 2406-06A

PLANNING APPLICATION