



RIDGE

DESIGN & ACCESS STATEMENT

**BANKING HUB
15 LOWER FORE STREET,
SALTASH
INTEGRAL (UK) LIMITED**



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15 LOWER FORE STREET, SALTASH, PL12 6JQ

INTEGRAL (UK) LIMITED

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DESIGN & ACCESS STATEMENT

1.1. Introduction

This Design & Access Statement has been prepared by Ridge & Partners LLP on behalf of Cash Access UK Limited. The purpose of this document is to provide a description and justification of the proposed works to support the Full Application for minor development for 15 Lower Fore Street, Saltash and proposed signage associated with the 'Banking Hub' as new tenants to the property. This document provides details of the Application, and impact upon the Conservation Area.

1.2. Application Details

Applicant's name: Cash Access UK Limited
Applicant's address: 27 Old Gloucester Street, London, WC1N 3AX
Date: 07/08/2023
Site address: 15 Lower Fore Street, Saltash, PL12 6JQ
Application reference number if known:

About Cash Access UK Limited:

Cash Access UK Limited is a not-for-profit company set up by a number of UK banks and building societies to enable consumers and small businesses to access cash, deposit and basic banking services where they are needed across the UK. The company will facilitate the provision of a range of services including shared banking spaces on local high streets.

Details of the proposal: Proposed Changed of Use Class from Sui Generis to Class E – Commercial, Business and Service. Proposed new condenser to replace existing Air Con unit on the North elevation. Two new proposed weather louvers on East rear elevation. Installation of Banking Hubs signage including an externally illuminated fascia with individual lettering, an illuminated heritage projecting sign and associated marketing posters and signs.

1.3. Heritage Assets

Is the application site located within a Conservation Area? Yes

Which Conservation area is the application located within? Lower Fore Street, Saltash Conservation Area

Is any part of the application site a listed building or listed garden? No

Is the application site within 15 m of a

listed building or listed garden?

No

1.4. Significance of the property concerned

The property consists of one building, 15 Lower Fore Street, on the edge of the main retail and tourist area. The property overlooks a small pedestrianised piazza with public information boards and seating. It sits within a conservation area and is in proximity to two listed buildings along the high street, The Guildhall and 30 and 30A Fore Street both of which are Grade II listed buildings.

1.1.1. 15 Lower Fore Street

15 Lower Fore Street is a retail unit on the Ground Floor, with a range of previous uses, including Adult Gaming and Amusement Centre, Betting Office, IT Training Centre, Food & Drinks, and Museum. The upper floors comprise business and residential accommodation.

The façade has a cream render on North, East and South elevations, and a grey slate tile on the West elevation where the primary entrance to the property is. On the Ground floor level, the West and South elevations are render facades that are painted black. The property has a hipped slate tile roof.

The primary entrance is a single door with high and low levels glazed panels. All along the West elevation at ground floor is glazed metal framed windows with a paint finish.

The property is provided with a matt black painted plaster ceiling throughout with similarly painted studwork walls concealing the original base-build masonry. Timber skirtings are provided together with low level areas of dado trunking.

1.1.2. Recent Planning History for 15 Lower Fore Street, Saltash

APPLICATION	STATUS	DECISION DATE	PROPOSAL
PA20/00765	Approved with Conditions	15/04/20	Change of use of the ground floor to an Adult Gaming and Amusement Centre with Bingo (Sui Generis)
PA20/00766	Approved with Conditions	15/04/20	Advertisement consent for installation of three externally illuminated fascia signs and one externally illuminated projecting sign.
PA10/05180	Approved with Conditions	02/11/10	Change of use of ground floor to A2 use (licensed betting office), installation of 1 air conditioning unit, erection of satellite dishes and fit out/shopfit works

1.1.3. Previous Condition / Use

15 Lower Fore Street was most recently hosting Merkur Slots – an Adult Gaming and Amusement Centre with Bingo.

1.1.4. Existing Condition / Use

The unit is currently has no occupation.

1.1.5. Proposed Condition / Use

The ground floor is proposed to service as a community banking hub.

Proposed external alterations:

1. Installation of new illuminated heritage brand lettering on the existing fascia above the entrance on the West façade and a heritage projecting sign along the South facade.
2. Removal of existing external entrance door
3. Installation of new accessible primary entrance door

Proposed internal alterations:

4. Removal of internal partition walls and internals doors.
5. Removal of existing Bar & Kitchenette
6. Installation of new internal partition walls, ceilings, floor, and wall finishes

1.1.6. Description of works

Internal Demolition

- Removal of internal partition walls and associated internal doors
- Removal of existing ceiling air conditioning unit
- Removal of existing customer service counter and display racking
- Removal of existing bar and kitchenette

Installation of External Signage

- This includes new illuminated heritage brand fascia, a projecting sign and subtle frosting to ground floor windows alongside a suspended illuminated Directory of Services and marketing posters.

Installation of new internal partition walls, ceilings, floor and wall finishes

- Full internal redecoration of all walls, previously painted ceilings and joinery items will be required to meet Cash Access UK standards.
- The internal finishes will be stripped out, and new proposed floor finishes, ceiling finishes and partition walls will be installed in place.

Works to the interior of the Building

- The interior of the building is proposed to be converted from a Adult Gaming centre to a Banking Hub. This will include re-organising of the internal layout to meet Cash Access UK standards. Works to the decoration of the property will be required to match the branding of the proposed Banking Hub. Further information can be found on drawings 5870, 5871, 5872, 5873 that provide images of the proposed interior changes, floor and ceiling finishes.

1.1.7. Conservation area context

15 Lower Fore Street (figure 1) is in proximity of 2 listed buildings. To the East, is 30 & 30A Fore Street, which houses the grade II listed building (figure 2). Across the Road to this is The Guildhall, another grade II listed building (figure 3).



Figure 1 15 Lower Fore Street - active, public facing façade



Figure 2 Grade II Listed buildings - 30 and 30A Lower Fore Street



Figure 3 Grade II Listed building - The Guildhall

1.5. Impact of proposed development upon Conservation Area

Changes proposed as part of the property's conversion from a Merkur Slots to a Banking Hub function includes replacing any existing branding with heritage aesthetic styled signage to reflect the new Banking Hub services. (figure 8) Illuminated Heritage brand fascia & projecting signage are to be situated in the same location as the previous signage and their heritage aesthetic will pay respect to the historical context. These additions are very much in keeping with the character of the area and the historical character of the building and will have very little impact on surrounding properties. The new proposed air conditioning system will replace the existing, and will be situated in the same location, (figure 9). The two proposed weather louvers will be located on the rear East elevation away from the public active front, (figure 10) and will not impact the wider heritage area.



Figure 4 Existing West Elevation – public facing to feature new Banking Hub signage

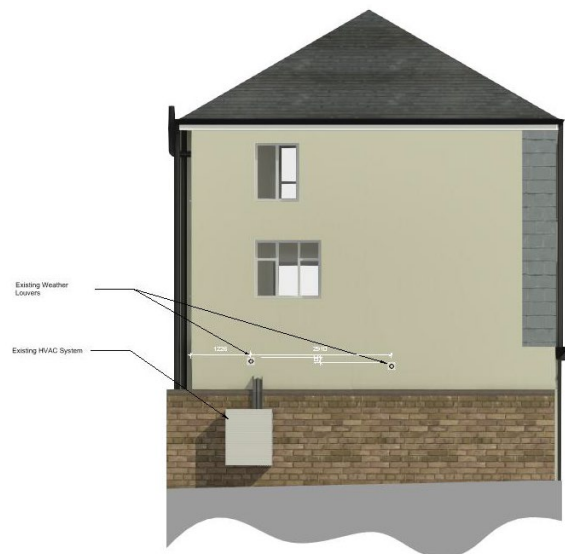


Figure 5 Existing North Elevations with existing air conditioning along an external wall and existing weather louvers



Figure 6 Existing East Elevations showing existing air conditioning and rear wall - without weather louvers

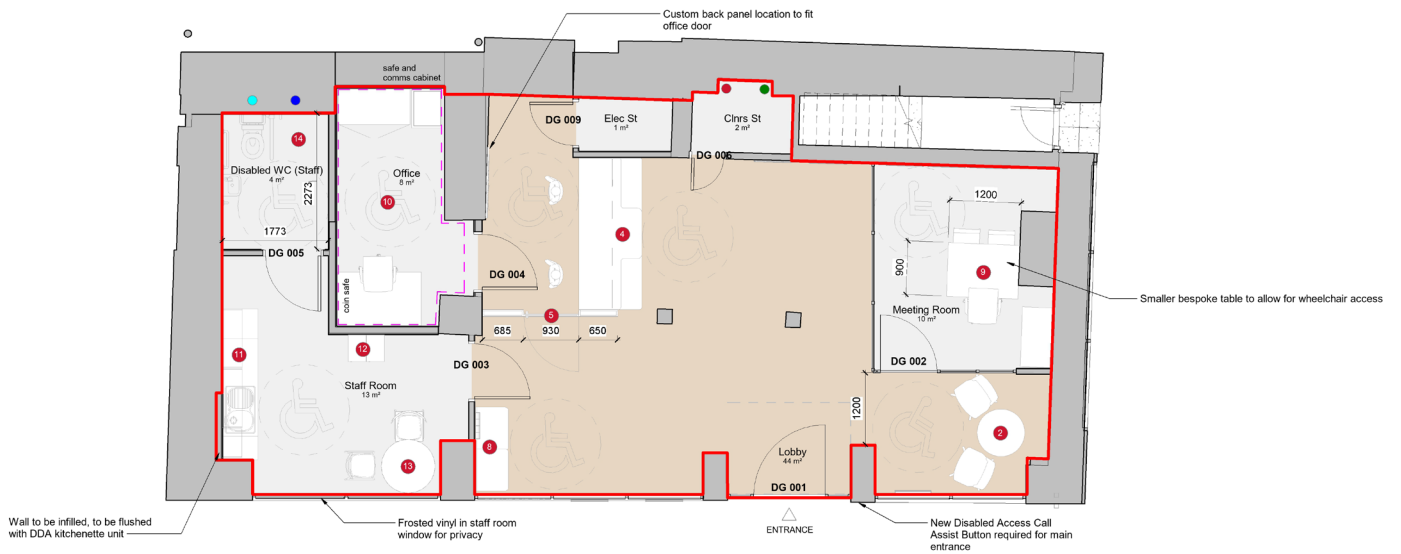


Figure 7 Proposed GA Floor Plans



Figure 8 Proposed West Elevations – public facing active front with proposed signage and marketing posters

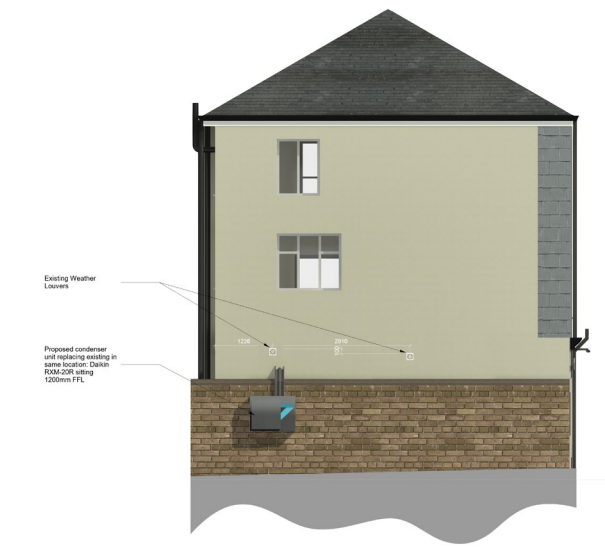


Figure 9 Proposed North Elevations – proposed new air conditioning to replace existing

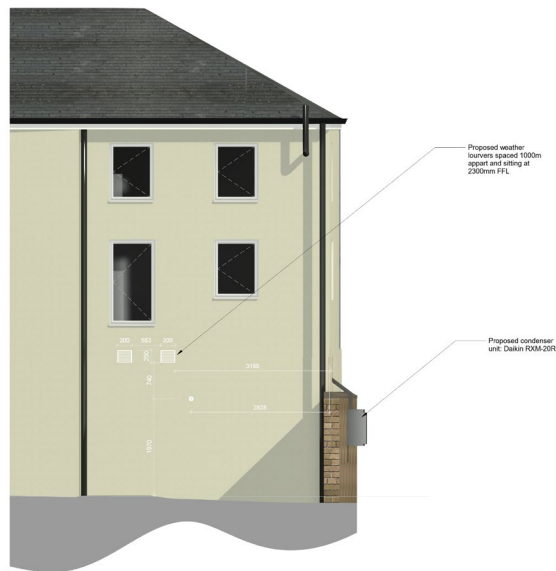


Figure 10 Proposed East Elevations – proposed new rear facing façade with weather louvers

1.6. Access

Pedestrian access to buildings will be level in line with Part M of the Building Regulations. All internal works will ensure there will be wheelchair access throughout the building. These changes will improve access for all to the property, with little to no impact on the surrounding area.

1.7. Photo References

Figure 1	Photo taken from JLL Building Survey (April 2023)
Figure 2	Historic England
Figure 3	Historic England
Figure 4	Drawings produced by Ridge & Partners LLP
Figure 5	Drawings produced by Ridge & Partners LLP
Figure 6	Drawings produced by Ridge & Partners LLP
Figure 7	Drawings produced by Ridge & Partners LLP
Figure 8	Drawings produced by Ridge & Partners LLP
Figure 9	Drawings produced by Ridge & Partners LLP
Figure 10	Drawings produced by Ridge & Partners LLP



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